



*****CANCELED*****

AGENDA FOR THE CITY PLAN COMMISSION

April 24, 2025

MAIN CONFERENCE ROOM, 300 NORTH CAMPBELL – 2ND FLOOR

1:30 PM

Notice is hereby given that a Hearing of the City Plan Commission will be conducted on the above date and time.

Members of the public may view the meeting via the following means:

Via the City's website. <http://www.elpasotexas.gov/videos>

Via television on City15,

YouTube: <https://www.youtube.com/user/cityofelpasotx/videos>

In compliance with the requirement that the City provide two-way communication for members of the public, members of the public may communicate with the City Plan Commission during public comment, and regarding agenda items by calling the following number:

1-915-213-4096 or Toll Free Number: 1-833-664-9267

At the prompt please enter the corresponding Conference ID: 249 814 370#

If you wish to sign up to speak please contact Elsa Ramirez at RamirezEZ@elpasotexas.gov or (915) 212-0088 no later than by the start of the meeting.

A sign-up form is available outside the Main Conference Room, 2nd Floor for those who wish to sign up on the day of the meeting. Requests to speak must be received by 1:30 p.m. on the date of the meeting.

A total time of three minutes may be allowed for each speaker. The Public Comment portion shall not exceed thirty (30) minutes, unless otherwise approved by the City Plan Commission.

A quorum of the City Plan Commission members must be present and participate in the meeting.

PUBLIC COMMENT

This time is reserved for members of the public who would like to address the City Plan Commission on any items that are not on the City Plan Commission Agenda and that are within the jurisdiction of the City Plan Commission. No action shall be taken.

CONSENT AGENDA

NOTICE TO THE PUBLIC:

All matters listed under the CONSENT AGENDA, including those on the Addition to the Agenda, will be considered by City Plan Commission to be routine, or have met all standards for development under state law (plats only not requiring a public hearing), and will be enacted by one motion unless separate discussion is requested by City Plan Commission or staff and the item is removed from the Consent Agenda. Members of the audience who wish to ask questions or speak regarding items on the Consent Agenda must sign up on the day of the meeting, and such requests to speak must be received by 1:30 p.m. on the date of the meeting. When the vote has been taken, if an item has not been called out for separate discussion, the item has been approved. The City Plan Commission may, however, reconsider any item at any time during the meeting.

Approval of Minutes

1.
- Discussion and action on the City Plan Commission minutes for April 10, 2025.
- BC-608

Detailed Site Development Plan:

2.

PZDS24-00031:

Lot 1, Block 367, Vista Del Sol Unit No. 80, City of El Paso, El Paso County, Texas

BC-609
- Location:

11409 Cedar Oak Dr.
- Existing Zoning:

C-4/c (Commercial/condition)
- Request:

Detailed site development plan approval as per Ordinance No. 014649
- Existing Use:

Office warehouse
- Proposed Use:

Office warehouse
- Property Owner:

AMPTX Properties, LLC
- Representative:

Sitework Engineering, LLC
- District:

7
- Staff Contact:

Andrew Salloum, (915) 212-1603, SalloumAM@elpasotexas.gov
3.

PZDS25-00002:

Lot 2, Block 9, Lafayette Place, City of El Paso, El Paso County, Texas

BC-610
- Location:

8021 North Loop Dr.
- Existing Zoning:

C-3/c (Commercial/condition)
- Request:

Detailed site development plan approval as per Ordinance No. 016540
- Existing Use:

Automobile (sales, service, storage and rental)

Proposed Use: Automobile (sales, service, storage and rental)
Property Owner: Jorge G. Rivera
Representative: Vanessa Duran
District: 3
Staff Contact: Andrew Salloum, (915) 212-1603,
SalloumAM@elpasotexas.gov

4. **PZDS25-00010:** Tract 2G3B and a portion of Tract 2G3, Section 38, Block 80, Township 2, City of El Paso, El Paso County, Texas

[BC-611](#)

Location: 10642 Montana Ave.
Existing Zoning: P-I (Planned Industrial), C-4 (Commercial),
C-1 (Commercial)
Request: Detailed Site Development Plan per
P-I (Planned Industrial) zone district
Existing Use: Self-storage warehouse
Proposed Use: Self-storage warehouse
Property Owner: El Paso Six Storage 18 (TX) LLC
Representative: Jeff Tondre, ESP Associates, Inc.
District: 3
Staff Contact: Blanca Perez, (915) 212-1561,
PerezBM@elpasotexas.gov

REGULAR AGENDA - DISCUSSION AND ACTION:

Subdivision Applications

SUBDIVISION MAP APPROVAL

The staff report for an agenda item may include conditions, exceptions, or modifications. The Commission's motion to approve an item in accordance with the staff report or with all staff comments means that any modifications, waivers, exceptions requested by the applicant and recommended for approval by staff and any staff recommended conditions, have been approved, without necessitating that the Commission restate the modifications, exceptions, waivers, or conditions as part of the motion to approve and that any findings required to be made by the Commission, have been made. If the Commission does not wish to approve an exception or modification, or require a condition, then the Commission's motion will state which have not been approved, otherwise, the staff report, with all modifications, exceptions and conditions, is approved and the applicant shall comply with all provisions of the staff report.

Major Combination

5. **SUSU25-00025:** Gomez Subdivision Unit Two - Tracts 1-B-5 and 1 -G, Block 9, Upper Valley Surveys, El Paso County, Texas

[BC-612](#)

Location: West of Westside Dr. and North of Gomez Rd.
Existing Zoning: R-2
Property Owner: Templo Cristiano Fuente De Vida, Inc.
Representative: G-3engineering, LLC

District: 1
Staff Contact: Saul Fontes, (915) 212-1606,
FontesSA@elpasotexas.gov

Resubdivision Combination

6. **SUSC25-00001:** Montecillo Unit Eight Replat A - Being a replat of Blocks 1 and 2, Vin Madrid Street, and Vin Aragon Street Rights of Way, Montecillo Unit Eight and a portion of Castellano Drive Right of Way, Montecillo Unit 4 "A", City of El Paso, El Paso County, Texas **BC-613**
- Location: South of Castellano Dr. and West of Mesa St.
Existing Zoning: SCZ-T4O (SmartCode; Transect 4O) and SCZ -T1 (SmartCode; Transect 1)
Property Owner: EPT Mesa Development, LP
Representative: Brock & Bustillos
District: 8
Staff Contact: Armida R Martinez, (915) 212-1605,
MartinezAR@elpasotexas.gov

PUBLIC HEARING Rezoning Application

7. **PZRZ24-00019:** A portion of Tracts 5C, 6C, and 7C and all of Tracts 8B, Block 55, Ysleta Grant, City of El Paso, El Paso County, Texas **BC-614**
- Location: 9050 Escobar Dr.
Zoning: R-3 (Residential)
Request: To rezone from R-3 (Residential) to C-4 (Commercial)
Existing Use: Vacant
Proposed Use: Motor carrier terminal
Property Owner: Idea Public Schools
Representative: Conrad Conde, Conde, Inc
District: 7
Staff Contact: Luis Zamora, (915) 212-1552,
ZamoraLF@elpasotexas.gov

EXECUTIVE SESSION

The City Plan Commission may retire into Executive Session pursuant to Section 3.5A of the El Paso City Charter and the Texas Government Code, Section 551.071 Consultation with Attorney, Section 551.072 Deliberation Regarding Real Property, and Section 551.073 Deliberation Regarding Prospective Gifts to discuss any item on this agenda.

ADJOURN

NOTE TO THE PROPERTY OWNER:

CITY PLAN COMMISSION POLICY REQUIRES THAT THE APPLICANT OR REPRESENTATIVE BE PRESENT AT THE PUBLIC HEARING FOR THEIR ITEM(S). PLEASE DIRECT ANY QUESTIONS TO THE PLANNING & INSPECTIONS DEPARTMENT, PLANNING DIVISION, (915) 212-1569.

NOTICE TO THE PUBLIC:

Sign language interpreters will be provided for this meeting upon request. Requests must be made to Elsa Ramirez at RamirezEZ@elpasotexas.gov a minimum of 48 hours prior to the date and time of this hearing.

If you need Spanish Translation Services, please email RamirezEZ@elpasotexas.gov at least 48 hours in advance of the meeting.

Posted this _____ of _____ by _____.



El Paso, TX

300 N. Campbell
El Paso, TX

Legislation Text

File #: BC-608, **Version:** 1

CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

Discussion and action on the City Plan Commission minutes for April 10, 2025.



CITY PLAN COMMISSION MEETING
2nd Floor, Main Conference Room
April 10, 2025
1:30 P.M.

MINUTES

The City Plan Commission met at the above place and date.

The meeting was called to order at 1:31 p.m. Chair Alredo Borrego present and presiding and the following Commissioners answered roll call.

COMMISSIONERS PRESENT:

Alfredo Borrego (Chair)
Lauren Hanson (2nd Chair)
Albert Apodaca
Brandon Carrillo
Margaret Livingston
Sal Masoud
Juan Uribe

COMMISSIONERS ABSENT:

Ken Gorski (1st Chair)
Jose L. Reyes

AGENDA

Commissioner Uribe read the rules into the record.

Alex Alejandre, Senior Planner, noted that Items #7 & #10 are to be heard together. There are four items on Consent which includes the minutes and a one revised staff report.

ACTION: Motion made by Commissioner Masoud, seconded by Commissioner Hanson and unanimously carried to **APPROVE THE CHANGES TO AGENDA.**

AYES: Commissioners Borrego, Hanson, Apodaca, Carrillo, Livingston, Masoud, and Uribe

NAYS: N/A

ABSTAIN: N/A

ABSENT: Commissioner Gorski and Reyes

NOT PRESENT FOR THE VOTE: N/A

Motion Passed.

I. CALL TO THE PUBLIC – PUBLIC COMMENT

This time is reserved for members of the public who would like to address the City Plan Commission on any items that are not on the City Plan Commission Agenda and that are within the jurisdiction of the City Plan Commission. No action shall be taken.

A sign-up form is available outside the City Hall – Main Conference Room for those who wish to sign up on the day of the meeting. Requests to speak must be received by 1:30 p.m. on the date of the meeting. A total time of three minutes may be allowed for each speaker. The Public Comment portion shall not exceed thirty (30) minutes, unless otherwise approved by the City Plan Commission.

NONE

II. CONSENT AGENDA

NOTICE TO THE PUBLIC:

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Approval of Minutes:

1. Discussion and action on the City Plan Commission minutes for: March 27, 2025

Major Final:

2. **SUSU25-00027:** Stone Ridge Unit Five, Being Tract 15, and portion of Tracts 8 and 14, O.A. Danielson Survey No. 310; and Portion of 60 Feet County Road, City of El Paso, El Paso County, Texas
Location: East of Zaragoza Rd. and North of Rojas Dr.
Existing Zoning: R-3 (Residential)
Property Owner: Jorge M. Sanchez
Representative: Conde, Inc.
District: 6
Staff Contact: Saul Fontes, (915) 212-1606, FontesSA@elpasotexas.gov

Resubdivision Combination

3. **SUSC25-00002:** Montecillo Unit Seven Replat "A" – Being a replat of Lot 1, Block 48, Montecillo Unit Seven, City of El Paso, El Paso County, Texas
Location: South of Castellano Dr. and West of Mesa St.
Existing Zoning: SCZ-T4O (SmartCode; Transect 4O)
Property Owner: EPT Mesa Development, LP
Representative: Brock & Bustillos
District: 8
Staff Contact: Armida R Martinez, (915) 212-1605, MartinezAR@elpasotexas.gov

Postponement - Resubdivision Combination:

4. **SUSC25-00001:** Montecillo Unit Eight Replat "A" – Being a replat of Blocks 1 and 2, Vin Madrid Street, and Vin Aragon Street Rights of Way, Montecillo Unit Eight and a portion of Castellano Drive Right of Way, Montecillo Unit 4 "A", City of El Paso, El Paso County, Texas

Location: South of Castellano Dr. and West of Mesa St.
Existing Zoning: SCZ-T4O (SmartCode; Transect 4O) and SCZ -T1 (SmartCode; Transect 1)
Property Owner: EPT Mesa Development, LP
Representative: Brock & Bustillos
District: 8
Staff Contact: Armida R Martinez, (915) 212-1605, MartinezAR@elpasotexas.gov

ACTION: Motion made by Commissioner Hanson, seconded by Commissioner Carrillo to **APPROVE** all matters listed under the **CONSENT AGENDA** and carried unanimously.

Motion Passed.

III. REGULAR AGENDA - DISCUSSION AND ACTION:

Subdivision Applications:

SUBDIVISION MAP APPROVAL:

NOTICE TO THE PUBLIC AND APPLICANTS:

The staff report for an agenda item may include conditions, exceptions, or modifications. The Commission's motion to approve an item in accordance with the staff report or with all staff comments means that any modifications, waivers, exceptions requested by the applicant and recommended for approval by staff and any staff recommended conditions, have been approved, without necessitating that the Commission restate the modifications, exceptions, waivers, or conditions as part of the motion to approve and that any findings required to be made by the Commission, have been made. If the Commission does not wish to approve an exception or modification, or require a condition, then the Commission's motion will state which have not been approved, otherwise, the staff report, with all modifications, exceptions, and conditions, is approved and the applicant shall comply with all provisions of the staff report.

ACTION: Motion made by Commissioner Masoud **TO CORRECT MOTION TO HEARD ITEMS #6 AND #9 TOGETHER INSTEAD OF #7 AND #10 AS PREVIOUSLY STATED**, seconded by Commissioner Carrillo, and unanimously accepted.

Motion Passed.

ACTION: Motion made by Commissioner Livingston **TO TAKE A FIVE MINUTE BREAK AT 1:39 P.M.**, seconded by Commissioner Masoud, and unanimously approved.

Motion Passed.

ACTION: Motion made by Commissioner Livingston **TO RECONVENE AT 1:47 P.M.**, seconded by Commissioner Carrillo, and unanimously approved.

Motion Passed.

PUBLIC HEARING Resubdivision Combination:

5. **SUSU25-00028:** Emory Road Subdivision Replat A – A replat of Lot 1, 2 & 3, Block 1, Emory Road & Tracts 4-A-1, 4-B-1 and 5-A-1, Block 1, Upper Valley, City

Location: of El Paso, El Paso County, Texas
 Existing Zoning: North of Sunland Park Dr. and West of Doniphan Dr.
 Property Owner(s): R-3 (Residential)
 Representative: Enrique Escobar
 District: Sitework Engineering LLC
 Staff Contact: 1
 Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov

Myrna Aguilar, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 200 feet on March 24, 2025. As of April 10, 2025 the Planning Division has not received any communication in support or opposition to this request. Staff recommend **approval** of Emory Road subdivision Replat A on a Resubdivision Combination basis as it complies with Title 19 requirements.

In addition, the applicant is requesting from the City Plan Commission the following exceptions:

- To waive the dedication of 1.5 feet of additional right-of-way along Emory Road.
- To waive the construction of 2.5 feet of additional roadway along Emory Road.
- To waive the construction of a 5-foot sidewalk along Emory Road.
- To allow Panhandle lots exceeding the maximum length of one hundred (100') feet.

Jorge Garcia, Sitework Engineering LLC, agrees with staff comments.

PUBLIC COMMENT: None

ACTION: Motion made by Commissioner Uribe **TO APPROVE ITEM #SUSU25-00028**, seconded by Commissioner Livingston.

VOTE:

Ayes = 6 (Livingston, Masoud, Borrego, Hanson, Uribe, and Apodaca)

Nayes = 1 (Carrillo)

Motion Passed.

PUBLIC HEARING Rezoning Application:

6. **PZRZ25-00007:** Lot 1, Block 1, River Run Subdivision Unit One, City of El Paso, El Paso County, Texas
 Location: 1071 Country Club Rd.
 Existing Zoning: R-2/spc (Residential/special protective condition)
 Request: Rezone from R-2 (Residential) to C-1 (Commercial)
 Existing Use: Vacant
 Proposed Use: Other retail establishment
 Property Owner: Upper Valley Investment Corporation
 Representative: Aaron Barraza
 District: 1
 Staff Contact: Blanca Perez, (915) 212-1561, PerezBM@elpasotexas.gov

ITEMS #6 AND #9 TO BE HEARD TOGETHER

Blanca Perez, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 300 feet on March 28, 2025. The Planning Division has received four (4) calls of inquiry and one (1) call in support of the request. Staff recommend **approval with a condition** of the rezoning request.

- That a ten-foot (10') landscaped buffer with high-profile native or naturalized trees of at least two-inch (2") caliper and ten feet (10') in height shall be placed at twenty feet (20') on center

along the property lines adjacent to a residential zone districts or uses. The landscaped buffer shall be irrigated and maintained by the property owner at all times and shall be installed prior to the issuance of any certificates of occupancy or certificates of completion.

Staff recommend **approval** of the condition release request.

Aaron Barraza agrees with all staff recommendations.

PUBLIC COMMENT: None

ACTION: Motion made by Commissioner Masoud **TO APPROVE ITEM #PZRZ25-00007 and PZCR25-00001**, seconded by Commissioner Carrillo and unanimously carried.

Motion Passed.

7. **PZRZ25-00004:** A portion of Block 8, Caster Range Subdivision No. 1,
City of El Paso, El Paso County, Texas
- Location: 9909 Kenworthy St.
Zoning: C-1 (Commercial)
Request: To rezone from C-1 (Commercial) to C-3 (Commercial)
Existing Use: Vacant
Proposed Use: Administrative Office Expansion
Property Owner: FirstLight Federal Credit Union
Representative: Brock and Bustillos, c/o Aaron Alvarado
District: 4
Staff Contact: Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov

Jose Beltran, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 300 feet on March 28, 2025. The Planning Division has not received any communication in support or opposition to the request. Staff recommend **approval** of the rezoning request.

Aaron Alvarado, Brock and Bustillos, concurs with all staff comments and recommendations.

PUBLIC: None

ACTION: Motion made by Commissioner Livingston **TO APPROVE ITEM #PZRZ25-00004**, seconded by Commissioner Masoud and unanimously carried.

Motion Passed.

PUBLIC HEARING Special Permit Application:

8. **PZST24-00005:** Lot 34 and 35, Block 6, Stiles Gardens, City of El Paso, El Paso County,
Texas
- Location: 7233-7235 Dale Rd.
Zoning: A-2 (Apartment)
Request: Special permit to allow for a planned residential development with
reductions to setbacks and lot size
- Existing Use: Vacant
Proposed Use: Single-family and duplex dwellings
Property Owner: EVIS Properties, LLC
Representative: Ray Mancera
District: 3
Staff Contact: Saul J. G. Pina, (915) 212-1604, PinaSJ@elpasotexas.gov

Saul Pina, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 300 feet on March 28, 2025. The Planning Division received one (1) call of inquiry. Not shown in the backup material is one (1) vote in support from the Stiles Garden Neighborhood Association. Staff recommend **Approval with a Condition** of the special permit and detailed site development plan request. The condition is the following:

- That the proposed private street be subject to modifications based on the approval of the subdivision plat.

Ray Mancera concurs with staff comments.

PUBLIC: None

ACTION: Motion made by Commissioner Uribe **TO APPROVE ITEM #PZST24-00005**, seconded by Commissioner Livingston and unanimously carried.

Motion Passed.

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PUBLIC HEARING Zoning Condition Release Application:

9. **PZCR25-00001:** Lot 1, Block 1, River Run Subdivision Unit One, City of El Paso, El Paso County, Texas
Location: 1071 Country Club Rd.
Existing Zoning: R-2/spc (Residential/special protective condition)
Request: To release conditions imposed by Ordinance No. 9332
Existing Use: Vacant
Proposed Use: Other retail establishment
Property Owner: Upper Valley Investment Corporation
Representative: Aaron Barraza
District: 1
Staff Contact: Blanca Perez, (915) 212-1561, PerezBM@elpasotexas.gov

**ITEMS #6 AND #9 TO BE HEARD TOGETHER
SEE ABOVE ITEM #6 FOR DETAILS**

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10. Adjournment of the City Plan Commission's Meeting.

ADJOURNMENT:

ACTION: Motion made by Commissioner Masoud, seconded by Commissioner Livingston and unanimously carried to **ADJOURN**.

Motion passed.

Meeting adjourned at 2:26 p.m.

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EXECUTIVE SESSION

The City Plan Commission may retire into Executive Session pursuant to Section 3.5A of the El Paso City Charter and the Texas Government Code, Section 551.071 Consultation with Attorney, Section 551.072 Deliberation Regarding Real Property, and Section 551.073 Deliberation Regarding Prospective Gifts to discuss any item on this agenda.

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Approved as to form:



Kevin W. Smith, City Plan Commission Executive Secretary

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Legislation Text

File #: BC-609, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZDS24-00031: Lot 1, Block 367, Vista Del Sol Unit No. 80, City of El Paso, El Paso County,
Texas

Location: 11409 Cedar Oak Dr.
Existing Zoning: C-4/c (Commercial/condition)
Request: Detailed site development plan approval as per
Ordinance No. 014649

Existing Use: Office warehouse
Proposed Use: Office warehouse
Property Owner: AMPTX Properties, LLC
Representative: Sitework Engineering, LLC
District: 7

Staff Contact: Andrew Salloum, (915) 212-1603,
SalloumAM@elpasotexas.gov

11409 Cedar Oak

City Plan Commission — April 24, 2025

SITE PLAN



CASE NUMBER: PZDS24-00031
CASE MANAGER: Andrew Salloum, (915) 212-1603, SalloumAM@elpasotexas.gov
PROPERTY OWNER: AMPTX Properties, Inc.
REPRESENTATIVE: SiteWork Engineering, LLC
LOCATION: 11409 Cedar Oak Dr. (District 7)
PROPERTY AREA: 1.18 acres
REQUEST: Detailed Site Development Plan Approval per Ordinance No. 14649
RELATED APPLICATIONS: None
PUBLIC INPUT: None

SUMMARY OF REQUEST: The applicant is requesting approval of a Detailed Site Development Plan review as required per Ordinance No. 14649, dated October 10, 2000, requiring approval from both City Plan Commission and City Council prior to issuance of building permits. The applicant proposes to develop the subject property as office warehouses.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the request as the use of office warehouse is consistent with adjacent commercial uses and meets the requirements of El Paso City Code Section 20.04.150 Detailed Site Development Plan. Furthermore, the development complies with the G7, Industrial and/or Railyards future land use designation of *Plan El Paso*, the City's adopted Comprehensive Plan.

PZDS24-00031



This map is designed for illustrative purposes only. The features depicted here are approximate and more precise field studies may be required to draw accurate conclusions. Enlargement of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspection Department Planning Division makes no claim to its accuracy or completeness.



0 20 40 80 120 160 Feet



Figure A. Site Plan Superimposed on Aerial Imagery

DESCRIPTION OF REQUEST: The applicant is requesting City Plan Commission approval of a Detailed Site Development Plan as required per Ordinance No. 14649, dated October 10, 2000. The detailed site development plan shows a new 5,250 square-foot warehouse building along with the existing 12,500 square-foot office warehouse building. The applicant is providing eleven (11) parking spaces and three (3) bicycle spaces. Access to the subject property is proposed from Cedar Oak Drive and Bessemer Drive.

PREVIOUS CASE HISTORY: On May 3, 2016, City Council approved of the detailed site development plan to allow for office warehouse for a portion of the development for the existing building. At this time, the applicant is requesting approval of a detailed site development plan for the entire development property.

On October 10, 2000, the subject property was rezoned from P-I (Planned Industrial) to C-4/c (Commercial/condition). At the time of rezoning, the following condition was imposed via Ordinance No. 14649 (Attachment 4):

Submittal of a Detailed Site Development Plan, pursuant to the notice and approval requirements of Article III of Title 20 (Zoning) of the El Paso Municipal Code, to be approved by the City Plan Commission and City Council prior to the issuance of building permits and certificates of occupancy.

Note: Condition being satisfied by this request.

COMPATIBILITY WITH NEIGHBORHOOD CHARACTER: The proposed development is compatible with similarly-zoned, abutting commercial and industrial developments. The adjacent property to the north is zoned R-3 (Residential) consisting single-family dwellings and private utility easement. To the south is zoned C-4/c (Commercial/conditions) consisting a general warehouse. To the east and west are zoned P-I (Planned Industrial) consisting a general warehouse and office warehouse, respectively. The nearest school is Desert View Middle School (0.82 miles). The nearest school is Mary Robbins Park (1.10 miles).

COMPLIANCE WITH THE ZONING ORDINANCE – When evaluating whether a proposed Detailed Site Development Plan is in accordance with the Zoning Ordinance, consider following factors:	
Criteria	Does the Request Comply?
El Paso City Code Section 20.04.140 – When Required. Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.	Yes. Per Ordinance No. 14649, dated October 10, 2000, the property owner must obtain detailed site development plan approval by the City Plan Commission and City Council prior to an issuance of any building permits for the subject property.

<p>Compatibility with Zoning Regulations: The zoning district permits the proposed use, and all applicable regulations are met</p> <p>C-4 (Commercial) District: The purpose of these districts is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities.</p>	<p>Yes. The proposed use of office warehouse is permitted in the C-4 (Commercial) zone district. The proposed Detailed Site Development Plan is in keeping with the applicable regulations and spirit of the C-4 (Commercial) zone district.</p>
<p>THE PROPOSED ZONING DISTRICT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:</p>	
<p>Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.</p>	<p>There are no Historic Districts or Special designations on the subject property.</p>
<p>Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the special permit.</p>	<p>There are no anticipated adverse impacts from the approval of the Detailed Site Development Plan request.</p>
<p>Natural Environment: Anticipated effects on the natural environment.</p>	<p>None. The subject property does not involve greenfield or environmentally sensitive land or arroyo disturbance.</p>

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: Access to the proposed development is from Cedar Oak Drive and Bessemer Drive, which are designated as a local street per the City of El Paso's Major Thoroughfare Plan (MTP). The roadway is appropriate to serve the proposed development. The nearest bus stop is located 0.25 miles from the subject property at the intersection of Pellicano Drive and Lionel Drive. Sidewalks are present along Cedar Oak Drive and Bessemer Drive.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: There are no adverse comments from reviewing departments.

PUBLIC COMMENT: Notices are not required per El Paso City Code Section 20.04.150.

OTHER CONSIDERATIONS: N/A

CITY PLAN COMMISSION OPTIONS:

The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

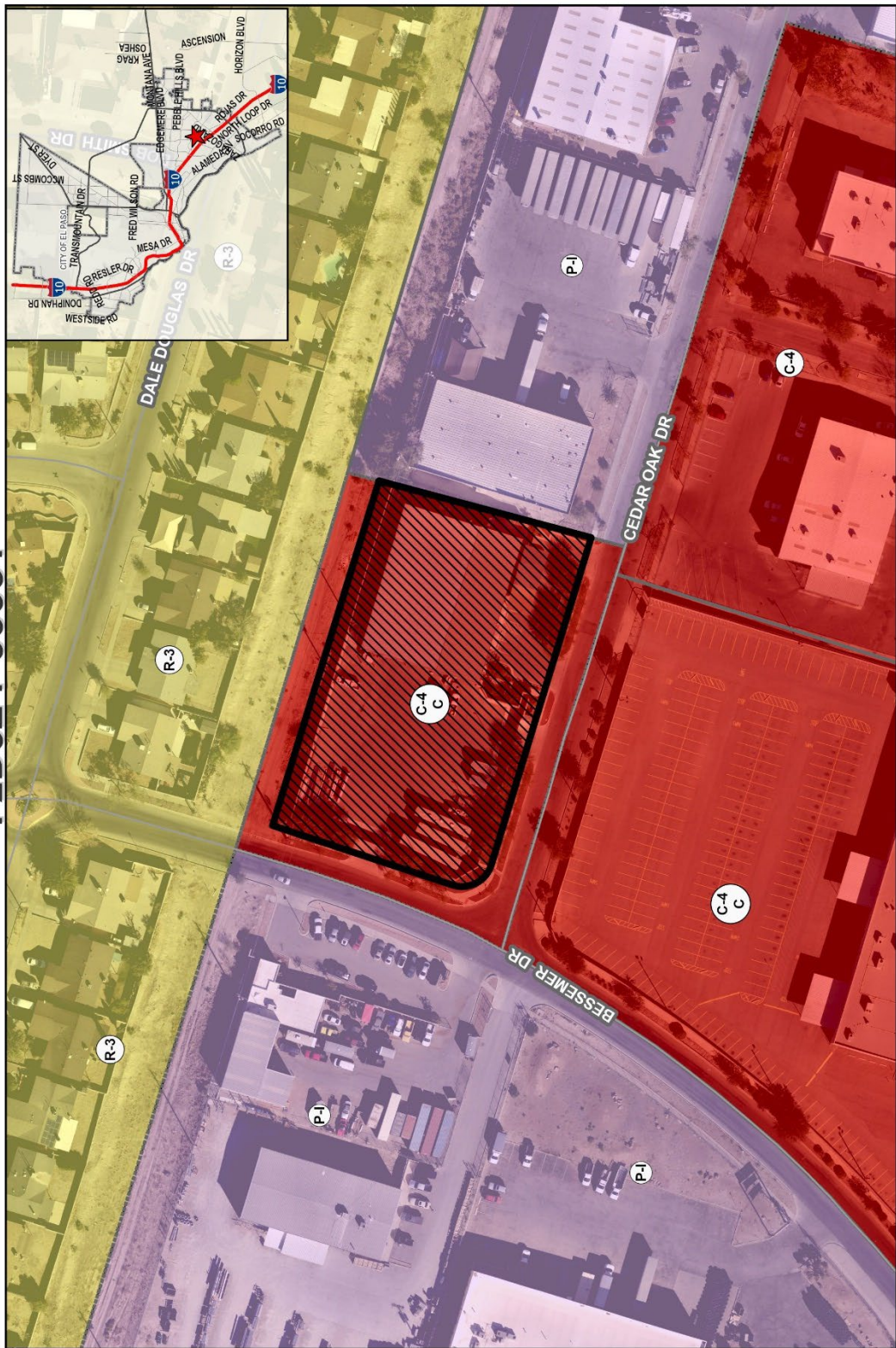
1. **Approve/Recommend Approval** of the Detailed Site Development Plan, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. **(Staff Recommendation)**
2. **Approve/Recommend Approval of the Detailed Site Development Plan With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Deny/Recommend Denial** of the Detailed Site Development Plan, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

ATTACHMENTS:

1. Zoning Map
2. Detailed Site Development Plan
3. Elevation
4. Ordinance No. 14649
5. Department Comments

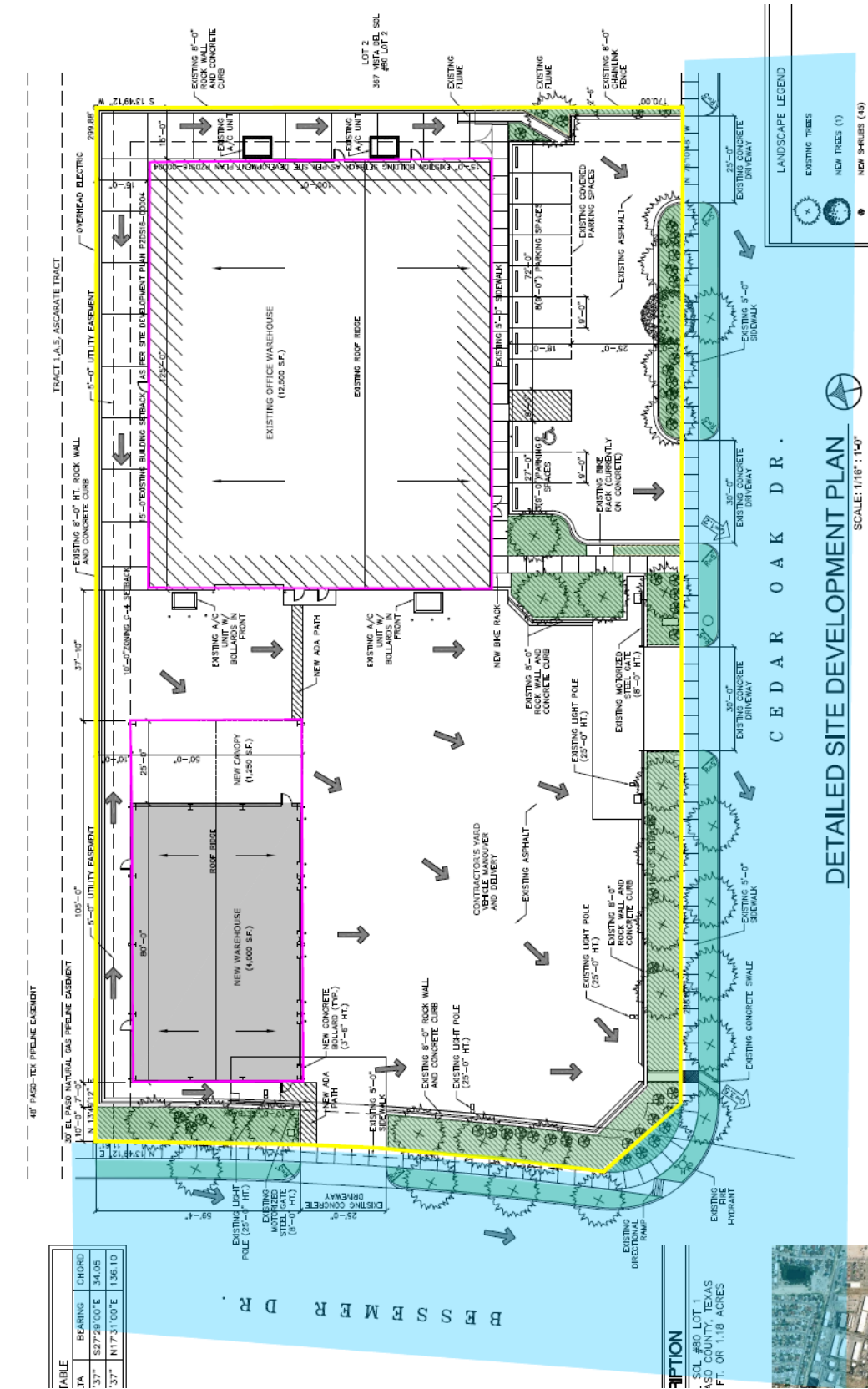
ATTACHMENT 1

PZDS24-00031

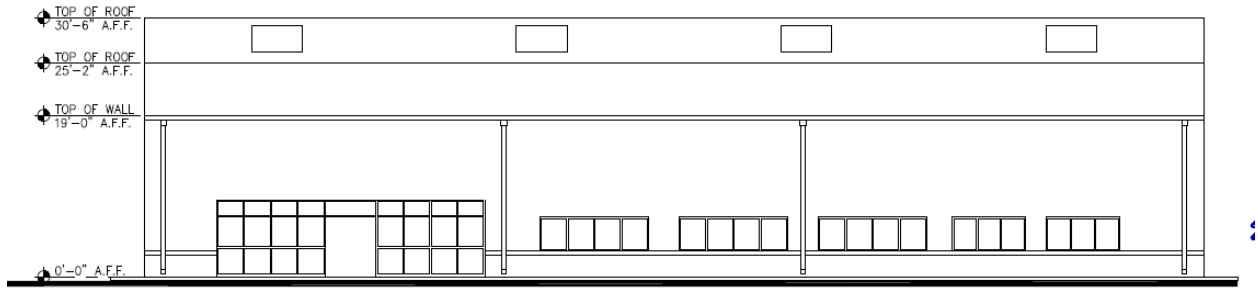


This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to determine the exact location of the subject property. The map is not to be used for legal purposes and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

ATTACHMENT 2

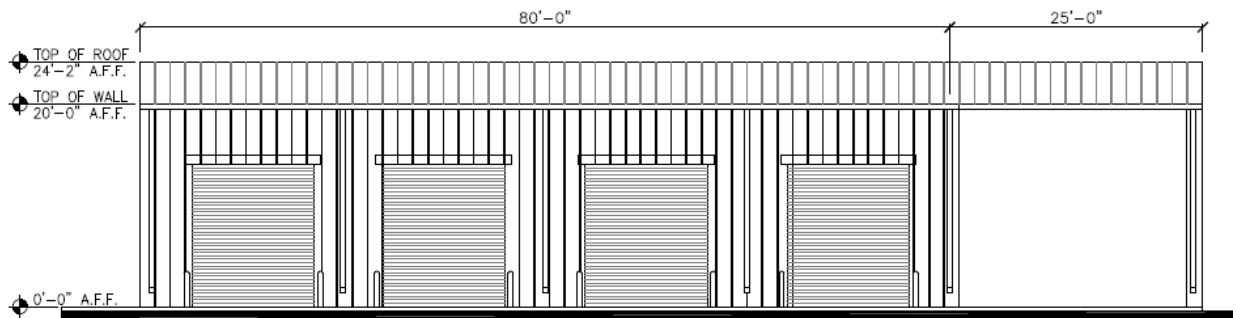


ATTACHMENT 3



EXISTING BUILDING FRONT ELEVATION

THE FRONT
APPROX. G.
SHEET, AU



PROPOSED BUILDING FRONT ELEVATION

ATTACHMENT 4

19H

014649

ORDINANCE NO. _____

AN ORDINANCE CHANGING THE ZONING OF LOT 1, BLOCK 367, VISTA DEL SOL UNIT 80, CITY OF EL PASO, EL PASO COUNTY, TEXAS (11400 BLOCK OF CEDAR OAK DRIVE) FROM P-I (PLANNED INDUSTRIAL) TO C-4 (COMMERCIAL) AND IMPOSING CERTAIN CONDITIONS. THE PENALTY BEING AS PROVIDED IN SECTION 20.68.010 OF THE EL PASO MUNICIPAL CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the zoning of *Lot 1, Block 367, VISTA DEL SOL UNIT 80, City of El Paso, El Paso County, Texas*, be changed from **P-I (Planned Industrial)** to **C-4 (Commercial)**, within the meaning of the zoning ordinance, and that the zoning map of the City of El Paso be revised accordingly; and

That the property be subject to the following condition which is necessitated by and attributable to the increased intensity of use generated by the change of zoning from **P-I (Planned Industrial)** to **C-4 (Commercial)**, in order to protect the health, safety and welfare of adjacent property owners and the residents of this city:

Submittal of a Detailed Site Development Plan, pursuant to the notice and approval requirements of Article III of Title 20 (Zoning) of the El Paso Municipal Code, to be approved by the City Plan Commission and City Council prior to the issuance of building permits and certificates of occupancy.

This condition runs with the land, is a charge and servitude thereon, and binds the current property owner and any successors in title. The City may enforce this condition by injunction, by rescission of the zoning which is made appropriate as a result of this condition, or by any other legal or equitable remedy. The City Council of the City of El Paso may amend or release

C:\c:\pmc\#73045\ZON\PLA\Y6

ORDINANCE NO. _____

1

8/31/00


Zoning Case No. ZC-00051

120

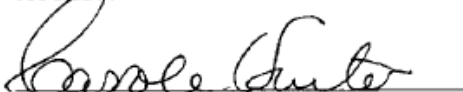
the above condition in its discretion without the consent of any third person who may be benefited thereby, and without affecting the validity of this Ordinance.

PASSED AND APPROVED this 10th day of October, 2000.

THE CITY OF EL PASO


Carlos M. Ramirez, P.E.
Mayor

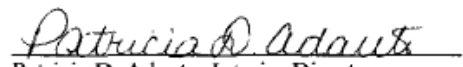
ATTEST:


Carole Hunter
City Clerk

APPROVED AS TO FORM:


Carolyn J. Culum
Assistant City Attorney

APPROVED AS TO CONTENT:


Patricia D. Adauto, Interim Director
Dept. of Planning, Research & Development


Acknowledgment

THE STATE OF TEXAS)
)
COUNTY OF EL PASO)

This instrument is acknowledged before me on this 10th day of October, 2000, by CARLOS M. RAMIREZ, P.E. as Mayor of THE CITY OF EL PASO.

My Commission




Notary Public, State of Texas
Notary's Printed or Typed Name:
Rose G. Aguilar

CJC:pnc/73045/ZON/PLAY6

2

8/31/00

ORDINANCE NO. _____

Zoning Case No. ZC-00051

119

ATTACHMENT 5

Planning and Inspections Department - Planning Division

Recommend approval.

Planning and Inspections Department – Plan Review & Landscaping Division

No objections to the proposed detailed site development plan.

At the time of submittal for building permit, the project will need to comply with all applicable provisions of the ICC, TAS and Municipal Code

Planning and Inspections Department – Land Development

No objections to proposed detailed site development plan.

Fire Department

No adverse comments

Police Department

No comments provided.

Environmental Services

No comments provided.

Streets and Maintenance Department

Traffic Engineering Department

No objections to application.

Street Lights Department

Street Lights Department does not object to this request.

For the development of this lot a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that all projects that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department. The applicant is responsible for any relocations or adjustments of a street light.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Sun Metro

Proposed land use and site does not affect Sun Metro transit operations or services.

El Paso Water

EPWater-PSB does not object to this request.

Water:

There is an existing 8-inch diameter water main that extends along Cedar Oak Dr., located approximately 20-feet south of the north right-of-way line. This main is available for service.

There is an existing 8-inch diameter water main that extends along Bessemer Dr., located approximately 40-feet west of the east right-of-way line. This main is available for service.

EPWater-PSB records indicate an active 1-inch domestic water meter and a 6-inch fire line serving the subject property. The service address for these meters is 11409 Cedar Oak Dr.

Previous water pressure reading from fire hydrant #4712, located on the northeast corner of Cedar Oak Dr. and Bessemer Dr., has yielded a static pressure of 94 (psi), a residual pressure of 90 (psi), and a discharge of 1,384 (gpm). The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer, and relief valve, to be set for pressure as desired by the customer. The Lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer main that extends along Cedar Oak Dr., located approximately 35-feet south of the north right-of-way line. This main is available for service.

There is an existing 12-inch diameter sanitary sewer main that extends along Bessemer Dr., located approximately 25-feet west of the east right-of-way line. This main is available for service.

General:

EPWater-PSB requires a new service application to provide additional service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater-PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

As per Municipal Code: new developments and redevelopments are required to maintain the pre-development hydrologic response in their post-development state as nearly as practicable in order to reduce flooding. The code also encourages the use of nonstructural storm water management such as the preservation of greenspace, water harvesting, and other conservation efforts, to the maximum extent practicable, per Chapter 19.19, Section 19.19.010, and Subparagraph A-2 & A-5.

Texas Department of Transportation

No comments provided.

El Paso 9-1-1 District

The 911 District has no comments/concerns regarding this zoning.

El Paso County Water Improvement District #1

No comments provided.

El Paso Electric Company

No adverse comments.

Texas Gas Service

No adverse comments.

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	BEARING
C1	34.00	20.00	97°23'37"	S27°29'00"E
C2	136.20	1055.45	07°23'37"	N17°31'00"E

LEGAL DESCRIPTION

BLOCK 367 VISTA DEL SOL #80 LOT 1
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING: 51,487 SQ. FT. OR 1.18 ACRES

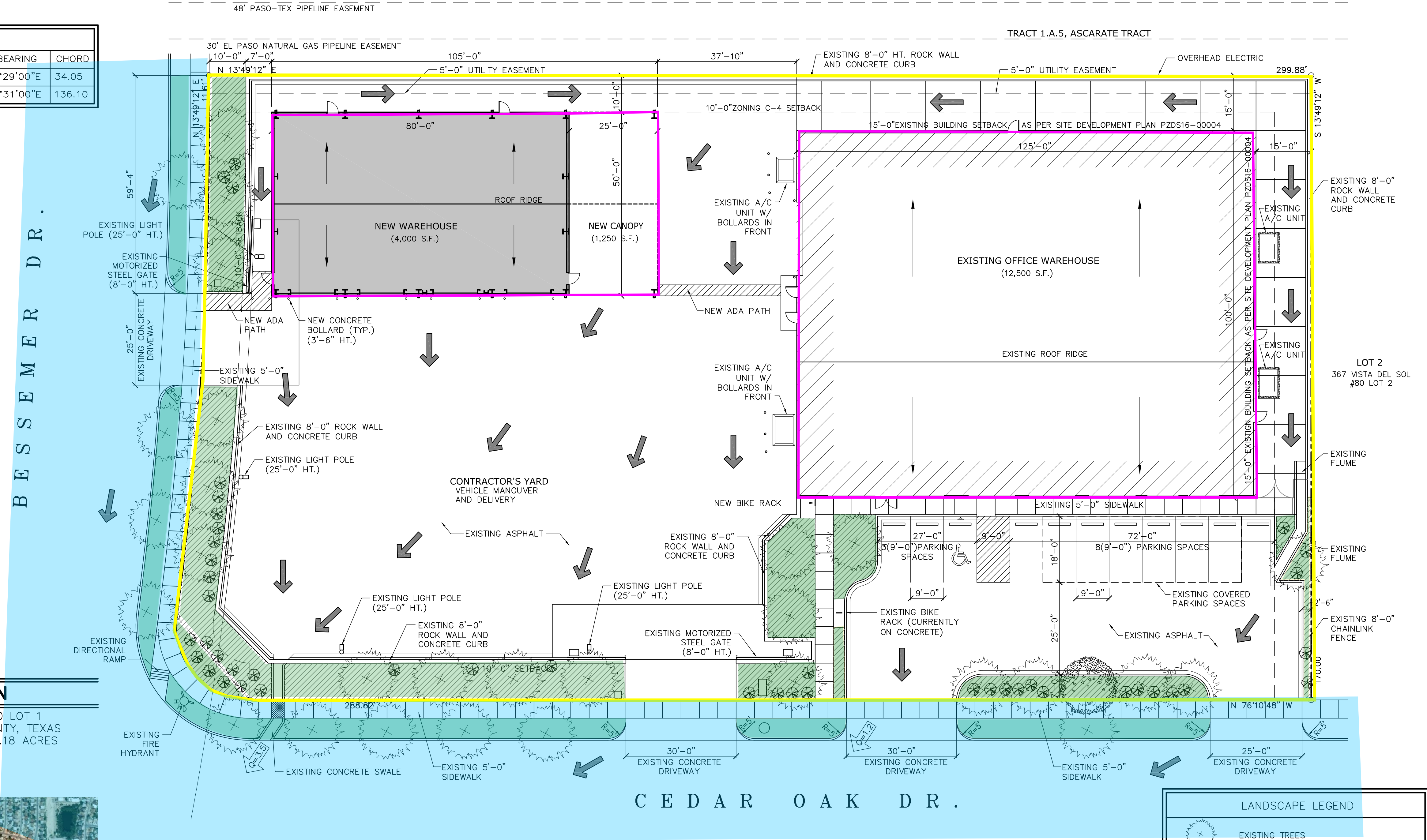


LOCATION MAP
SCALE: N.T.S.

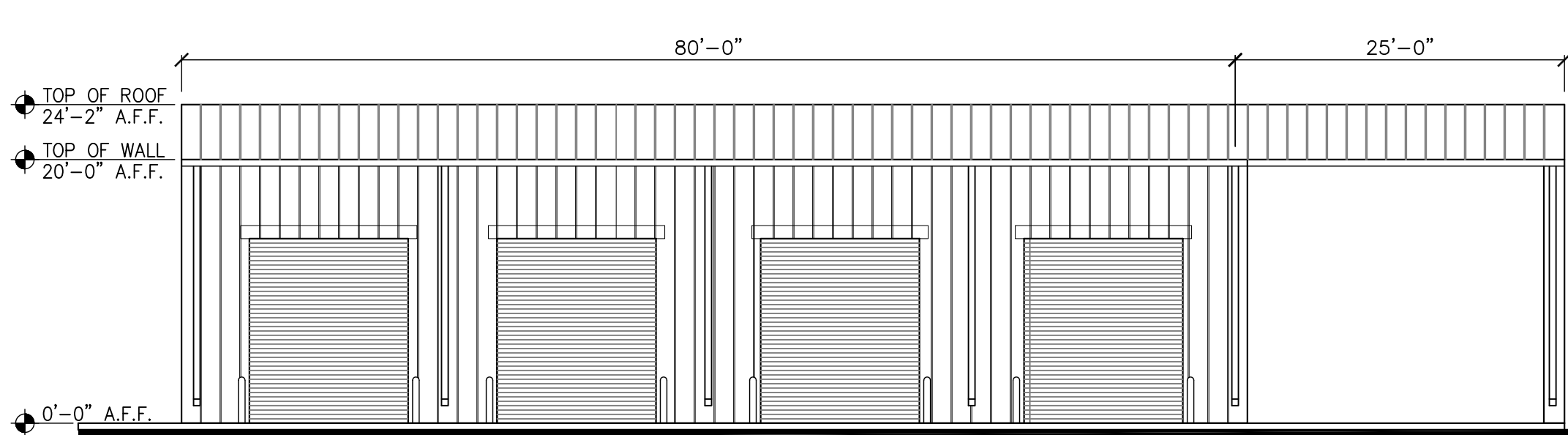
DRAINAGE CALCULATIONS				
DRAINAGE AREA (ACRES)	RUNOFF COEFF. Co.	Tc (MIN.)	I (IN/HR)	Q ₁₀₀ (CFS)
1.18	0.95	10.0	4.3	4.8

FLOOD ZONE DESIGNATION

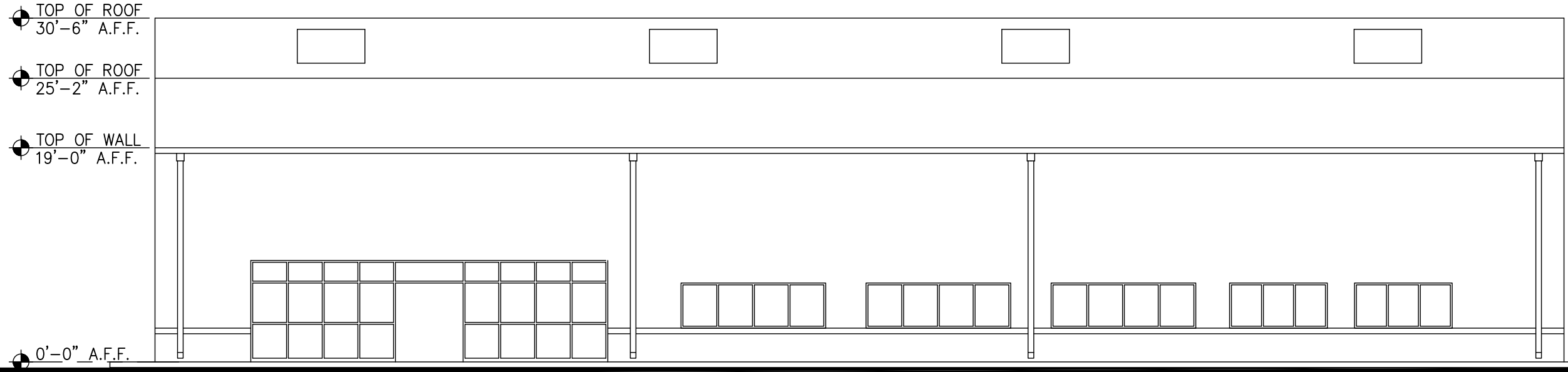
FLOOD ZONE "X" AREA OF MINIMAL FLOOR HAZARD; AS PER FEMA MAP 480214-0042 C DATED FEBRUARY 16, 2006



DETAILED SITE DEVELOPMENT PLAN
SCALE: 1/16" = 1'-0"



PROPOSED BUILDING FRONT ELEVATION
SCALE: 3/32" = 1'-0"



EXISTING BUILDING FRONT ELEVATION
SCALE: 3/32" = 1'-0"

PROJECT:

AMPTX ELECTRIC, LP - NEW METAL BUILDING
11409 CEDAR OAK DR.
EL PASO TEXAS, 79936

CODE REQUIREMENTS		
<ul style="list-style-type: none"> ZONING C-4 C SETBACKS FOR ZONING C-4: <ul style="list-style-type: none"> FRONT YARD = 0 FT. REAR YARD = 10 FT. SIDE YARD = 0 FT. (10 FT. WHEN ABUTTING RESIDENTIAL OR APARTMENT DISTRICT) SIDE STREET = 10 FT. HEIGHT LIMIT FOR C-4 = 60 FT. SETBACKS FOR ZONING C-4 AS PER PLANNING & INSPECTIONS SITE DEVELOPMENT PLAN PZDS16-0004 REAR AND SIDE BACK EXPANDED TO 15 FT. 		
<ul style="list-style-type: none"> REQUIRED NUMBER OF PARKING SPACES (PER EL PASO ZONING ORDINANCE - OFFICE WAREHOUSE) 		
EXISTING OFFICE/WAREHOUSE (12,500 SF.)	OFFICE	=1@ 576 SF. MIN. (4,614 SF. TOTAL)
		4,614 SF./ 576 SF. = 8 REQUIRED MIN.
	OFFICE	=1@ 400 SF. MAX. (4,614 SF. TOTAL)
		4,614 SF./ 400 SF. =12 REQUIRED MAX.
EXISTING OFFICE/WAREHOUSE (12,500 SF.)	WAREHOUSE	=1@ 7,200 SF. MIN. (7,886 SF. TOTAL)
		7,886 SF./7,200 SF.= 1 REQUIRED MIN.
NEW WAREHOUSE (4,000 SF.)	WAREHOUSE	=1@ 5,000 SF. MAX.(7,886 SF. TOTAL)
		7,886 SF./5,000 SF.= 2 REQUIRED MAX.
NEW WAREHOUSE (4,000 SF.)	WAREHOUSE	=1@ 7,200 SF. MIN. (4,000 SF. TOTAL)
		4,000 SF./7,200 SF.= 1 REQUIRED MIN.
NEW WAREHOUSE (4,000 SF.)	WAREHOUSE	=1@ 5,000 SF. MAX.(4,000 SF. TOTAL)
		4,000 SF./5,000 SF.= 1 REQUIRED MAX.
10 SPACES MINIMUM/ 15 SPACES MAXIMUM REQUIRED/ 11 SPACES PROVIDED		
BIKE RACK REQUIRED = 3 SPACES REQUIRED MINIMUM / 3 PROVIDED		
ACCESSIBLE PARKING SPACES AS PER TAS 208.2.2		
1 ACCESSIBLE SPACE REQUIRED/ 1 ACCESSIBLE SPACE PROVIDED		

LANDSCAPE ORDINANCE		
LANDSCAPED AREA REQUIRED = 15% OF LOT AREA LESS BUILDING AREA		
LANDSCAPE AREA REQUIRED: 51,487 SF. - 12,500 SF (EXIST). = 38,987 SF.		
38,987 SF x 15% = 5,848 SQ. FT. REQUIRED		
TOTAL PROVIDED LANDSCAPE: 6,354 SQ. FT. (7 UNITS)		
PLANT QUANTITIES	REQUIRED	PROVIDED
QTY. OF PROJECT TREES	6	7
QTY. OF CANOPY TREES	2	2
QTY. OF STREET TREES	11	11
QTY. OF FRONTAGE TREES	11	11
QTY. OF 5 GAL. SHRUBS	263	265
TOTAL AMOUNT OF TREES	30	31
LANDSCAPED AREA REQUIRED FOR EXPANSION: = 15% OF NEW BUILDING AREA		
LANDSCAPE AREA REQUIRED: 4,000 x 15% = 600 SF. REQUIRED (1 UNIT)		
PLANT QUANTITIES	REQUIRED	PROVIDED
QTY. OF PROJECT TREES	1	1
QTY. OF CANOPY TREES	0	0
QTY. OF STREET TREES	0	0
QTY. OF FRONTAGE TREES	0	0
QTY. OF 5 GAL. SHRUBS	45	45
TOTAL AMOUNT OF TREES	1	1



04 / 07 / 2025

THE PROFESSIONAL ARCHITECT SEAL AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS OR OTHER DOCUMENTS NOT EXHIBITING THIS SEAL SHALL NOT BE CONSIDERED PREPARED BY THE ARCHITECT, AND THIS ARCHITECT EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLANS, DRAWINGS OR DOCUMENTS NOT EXHIBITING THIS SEAL.



Legislation Text

File #: BC-610, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZDS25-00002: Lot 2, Block 9, Lafayette Place, City of El Paso, El Paso County, Texas

Location: 8021 North Loop Dr.
Existing Zoning: C-3/c (Commercial/condition)
Request: Detailed site development plan approval as per Ordinance No. 016540
Existing Use: Automobile (sales, service, storage and rental)
Proposed Use: Automobile (sales, service, storage and rental)
Property Owner: Jorge G. Rivera
Representative: Vanessa Duran
District: 3
Staff Contact: Andrew Salloum, (915) 212-1603,
SalloumAM@elpasotexas.gov

8021 North Loop

City Plan Commission — April 24, 2025

SITE PLAN

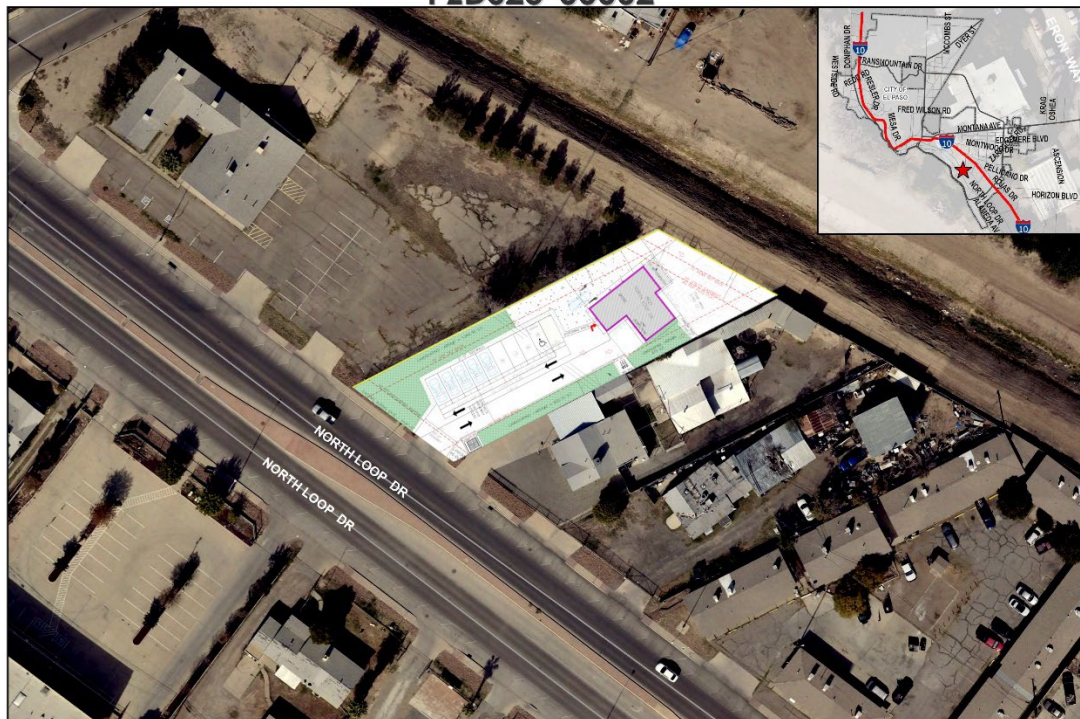


CASE NUMBER:	PZDS25-00002
CASE MANAGER:	Andrew Salloum, (915) 212-1603, SalloumAM@elpasotexas.gov
PROPERTY OWNER:	Jorge G. Rivera
REPRESENTATIVE:	Vanessa Duran
LOCATION:	8021 North Loop Dr. (District 3)
PROPERTY AREA:	0.37 acres
REQUEST:	Detailed Site Development Plan Approval per Ordinance No. 016540
RELATED APPLICATIONS:	None
PUBLIC INPUT:	None

SUMMARY OF REQUEST: The applicant is requesting approval of a Detailed Site Development Plan review as required per Ordinance No. 016540, dated January 16, 2007, requiring approval from City Plan Commission prior to issuance of building permits. The applicant proposes to develop the subject property as automobile (sale, service, storage, and rental).

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the request as the use of automobile (sale, service, storage, and rental) is consistent with adjacent commercial uses and meets the requirements of El Paso City Code Section 20.04.150 – Detailed Site Development Plan. Furthermore, the development complies with the G-3, Post-War future land use designation of *Plan El Paso*, the City's adopted Comprehensive Plan.

PZDS25-00002



This map is designed for illustrative purposes only. The features depicted herein are to provide a visual representation of the site plan and are not to be used as a basis for any legal or financial decisions. The Planning & Inspection Department reserves the right to modify the map at any time without notice.



0 15 30 60 90 120 Feet



Figure A. Site Plan Superimposed on Aerial Imagery

DESCRIPTION OF REQUEST: The applicant is requesting City Plan Commission approval of a Detailed Site Development Plan as required per Ordinance No. 016540, dated January 16, 2007. The detailed site development plan shows an existing 1,326 square-foot office along with the existing garage building for automobile (sale, service, storage, and rental). The applicant is providing nine (9) parking spaces and three (3) bicycle spaces. Access to the subject property is proposed from North Loop Drive.

PREVIOUS CASE HISTORY: On January 16, 2007, the subject property was rezoned from C-1 (Commercial) to C-3/c (Commercial/condition). At the time of rezoning, the following conditions were imposed via Ordinance No.016540 (Attachment 4) and summarized as follows:

That a detailed site development plan be reviewed and approved by the City Plan Commission prior to issuance of building permits.

Note: Condition being satisfied by this request.

COMPATIBILITY WITH NEIGHBORHOOD CHARACTER: The proposed development is compatible with similarly-zoned, abutting commercial and multi-family dwelling developments. The adjacent properties to the north, south, and east are zoned R-3 (Residential) and includes single-family and multi-family dwellings, while the adjacent property to the west is zoned C-4/c (Commercial/condition) consisting a small contractor's yard. The nearest park is Lafayette Park (0.68 miles). The nearest school is North Loop Elementary School (0.38 miles). Access to the subject property is proposed from North Loop Drive.

COMPLIANCE WITH THE ZONING ORDINANCE – When evaluating whether a proposed Detailed Site Development Plan is in accordance with the Zoning Ordinance, consider following factors:	
Criteria	Does the Request Comply?
El Paso City Code Section 20.04.140 – When Required. Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.	Yes. Per Ordinance No. 016540, dated January 16, 2007, the property owner must obtain detailed site development plan approval by the City Plan Commission prior to an issuance of any building permits for the subject property.
Compatibility with Zoning Regulations: The zoning district permits the proposed use, and all applicable regulations are met C-3 (Commercial) District: The purpose of this district is to accommodate establishments providing goods or rendering services which are used in support of the community's trade and service establishments and serving multi-neighborhoods within a planning area of the city. The regulations of the districts will permit intensities designed to be compatible with each other and to provide for a wide range of types of commercial activity, including light automobile related uses.	Yes. The proposed use of automobile (sale, service, storage, and rental) is permitted in the C-3 (Commercial) zone district. The proposed Detailed Site Development Plan is in keeping with the applicable regulations and spirit of the C-3 (Commercial) zone district.
THE PROPOSED ZONING DISTRICT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
Historic District or Special Designations & Study Area Plans: Any historic district or other special designations	There are no Historic Districts or Special designations on the subject property.

that may be applicable. Any adopted small areas plans, including land-use maps in those plans.	
Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the special permit.	There are no anticipated adverse impacts from the approval of the Detailed Site Development Plan request.
Natural Environment: Anticipated effects on the natural environment.	None. The subject property does not involve greenfield or environmentally sensitive land or arroyo disturbance.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: Access to the proposed development is from North Loop Drive, which is designated as a major arterial per the City of El Paso's Major Thoroughfare Plan (MTP). The roadway is appropriate to serve the proposed development. The nearest bus stop is located 0.2 mile from the subject property located on North Loop Drive. Sidewalks are present along North Loop Drive.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: There are no adverse comments from reviewing departments.

PUBLIC COMMENT: Notices are not required per El Paso City Code Section 20.04.150.

OTHER CONSIDERATIONS: N/A

CITY PLAN COMMISSION OPTIONS:

The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

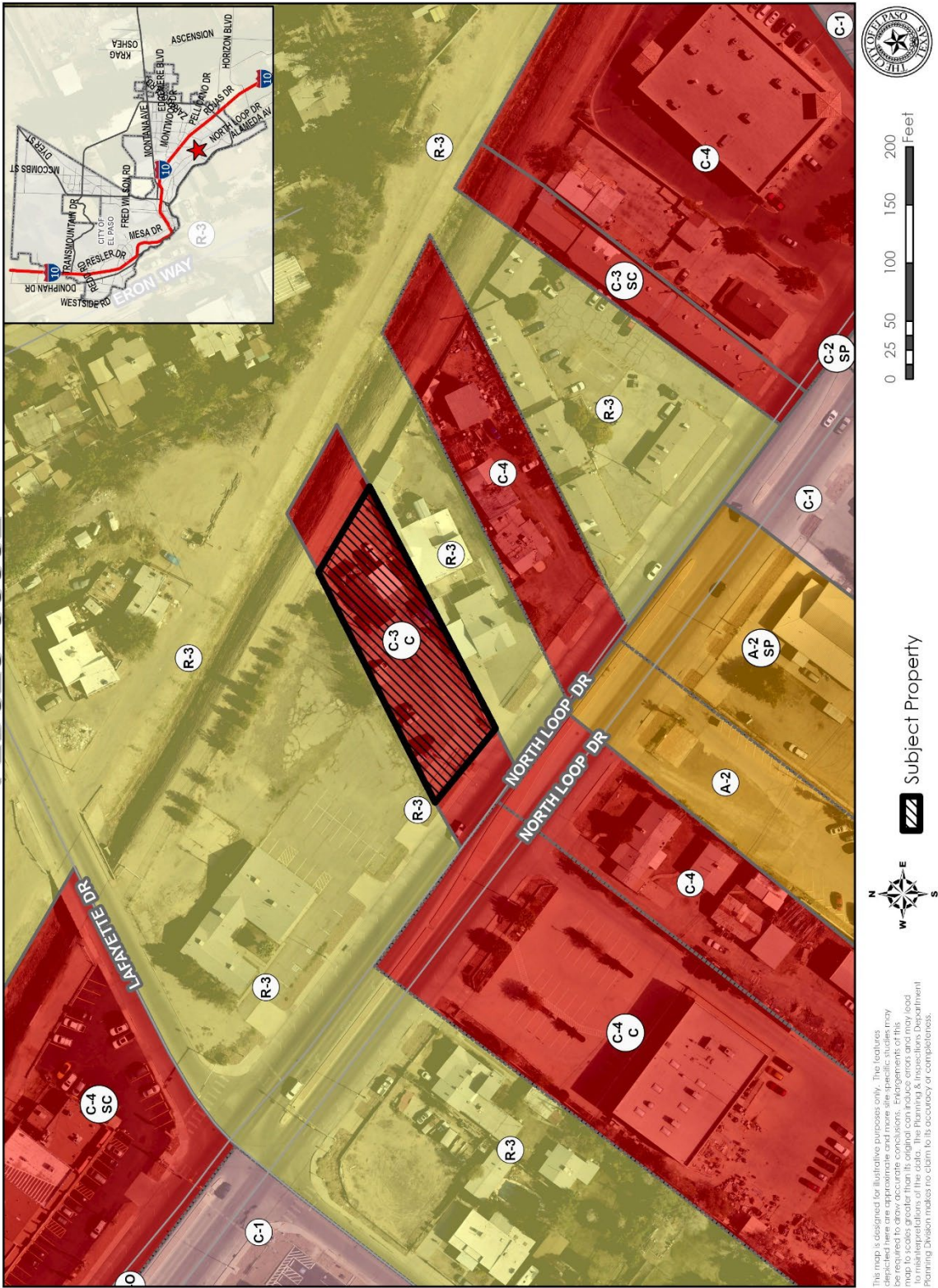
1. **Approve/Recommend Approval** of the Detailed Site Development Plan, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. (Staff Recommendation)
2. **Approve/Recommend Approval of the Detailed Site Development Plan With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Deny/Recommend Denial** of the Detailed Site Development Plan, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

ATTACHMENTS:

1. Zoning Map
2. Detailed Site Development Plan
3. Elevation
4. Ordinance No. 8929
5. Department Comments

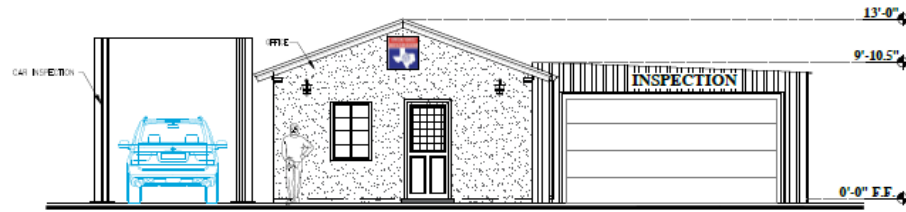
ATTACHMENT 1

PZDS25-00002

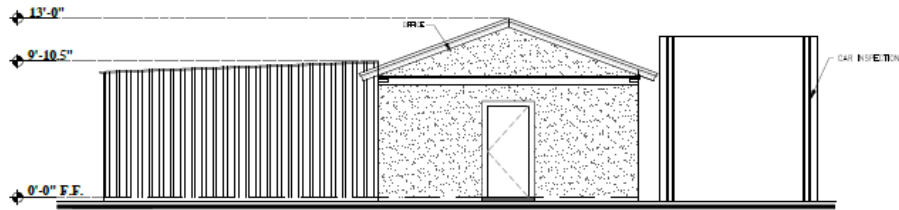


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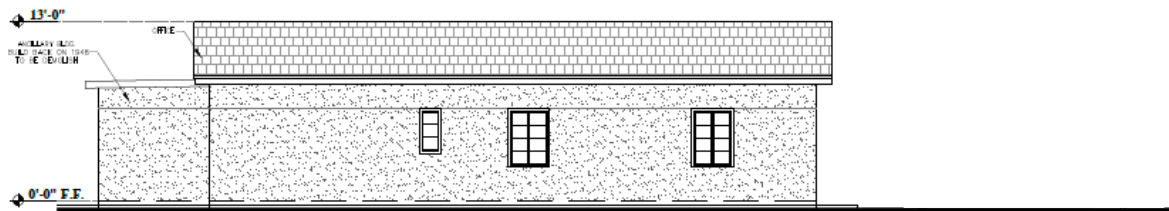
ATTACHMENT 3



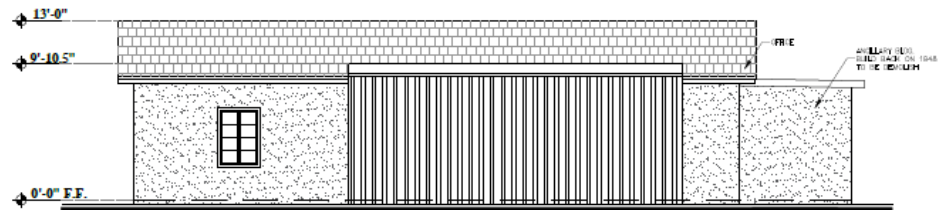
2 FRONT ELEVATION
Scale: 1/4" = 1' - 0"



3 REAR ELEVATION
Scale: 1/4" = 1' - 0"



4 LEFT SIDE ELEVATION
Scale: 1/4" = 1' - 0"



5 LEFT SIDE ELEVATION
Scale: 1/4" = 1' - 0"

ATTACHMENT 4

ORDINANCE NO. 018540

AN ORDINANCE CHANGING THE ZONING OF LOT 2, BLOCK 9, LAFAYETTE PLACE, CITY OF EL PASO, EL PASO COUNTY, TEXAS FROM C-1 (COMMERCIAL) TO C-3 (COMMERCIAL) AND IMPOSING A CONDITION. THE PENALTY IS AS PROVIDED FOR IN CHAPTER 20.68 OF THE EL PASO CITY CODE.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the zoning of Lot 2, Block 9, Lafayette Place, City of El Paso, El Paso County, Texas, be changed from C-1 (Commercial) to C-3 (Commercial), within the meaning of the zoning ordinance, and that the zoning map of the City of El Paso be revised accordingly.

Further, that the property described above be subject to the following condition which is necessitated by and attributable to the increased intensity of use generated by the change of zoning in order to protect the health, safety and welfare of the adjacent property owners and the residents of this city:

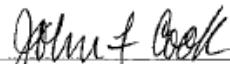
That a detailed site development plan be reviewed and approved by the City Plan Commission prior to issuance of building permits.

PASSED AND APPROVED this 11th day of January, 2007.

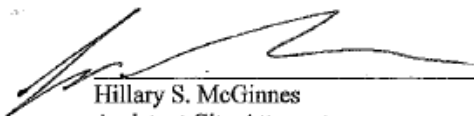
THE CITY OF EL PASO

ATTEST:


Richarda Duffy Momsen
City Clerk


John F. Cook
Mayor

APPROVED AS TO FORM:


Hillary S. McGinnes
Assistant City Attorney

APPROVED AS TO CONTENT:


Kimberly Forsyth, Senior Planner
Development Services Department

Doc#27037/ORD/Rezoning/ZON06-00130/HMCG

ORDINANCE NO. 018540

Zoning Case No: ZON06-00130

ATTACHMENT 5

Planning and Inspections Department - Planning Division

Recommend approval.

Planning and Inspections Department – Plan Review & Landscaping Division

Recommend approval.

No objections to the proposed detailed site development plan. At the time of submittal for building permit, the project will need to comply with all applicable provisions of the ICC, TAS and Municipal Code

Planning and Inspections Department – Land Development

No objections to detailed site development plan.

Fire Department

No adverse comments.

Police Department

No comments provided.

Environmental Services

No comments provided.

Streets and Maintenance Department

Traffic and Transportation Engineering:

No objections to the application.

Street Lights Department:

does not object to this request.

For the development of a subdivision a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that a project that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Sun Metro

No affect to Sun Metro transit service and operations.

El Paso Water

EPWater-PSB does not object to this request.

Water:

There is an existing 12-inch diameter water main that extends along North Loop Dr., located approximately 13-feet south of the north right-of-way line. This main is available for service.

Previous water pressure from fire hydrant #4897, located on Lafayette Dr. approximately 500-feet south of North Loop Dr., has yielded a static pressure of 110 (psi), a residual pressure of 98 (psi), and a discharge of 993 (gpm). The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer, and relief valve, to be set for pressure as desired by the customer. The Lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

Sanitary Sewer:

There is an existing 12-inch diameter sanitary sewer main that extends along North Loop Dr., located approximately 23-feet south of the north right-of-way line. This main is available for service.

General:

North Loop Dr. is a Texas Department of Transportation (TxDOT) right-of-way. All proposed water and sanitary sewer work to be performed within North Loop Dr. right-of-way requires written permission from TxDOT.

EPWater requires a new service application to provide additional service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

EP Water-SW reviewed the property described above and provide the following comments:

As per Municipal Code: new developments and redevelopments are required to maintain the pre-development hydrologic response in their post-development state as nearly as practicable in order to reduce flooding. The code also encourages the use of nonstructural storm water management such as the preservation of greenspace, water harvesting, and other conservation efforts, to the maximum extent practicable, per Chapter 19.19, Section 19.19.010, and Subparagraph A-2 & A-5.

Note: Comments will be addressed at the permitting stage.

Texas Department of Transportation

Please have the requestor submit grading and drainage plans to TXDOT for review and approval.

Note: Comments will be addressed at the permitting stage.

El Paso 9-1-1 District

The 911 District has no comments/concerns regarding this zoning.

El Paso County Water Improvement District #1

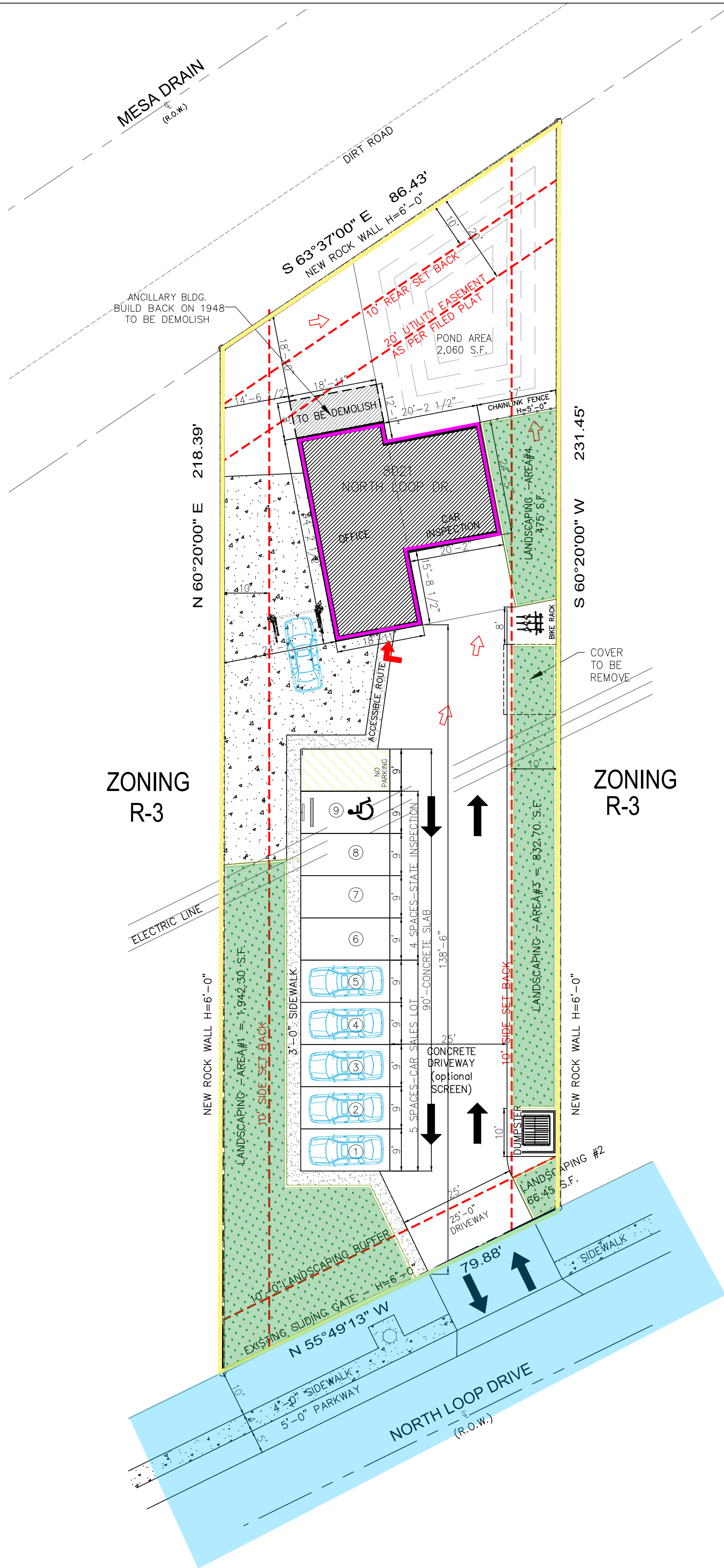
No comments provided.

El Paso Electric Company

No comments received.

Texas Gas Service

In reference to case PZDS25-00002 - 8021 North Loop Drive, Texas Gas Service has a service line at 8021 North Loop.



1 SITE PLAN
Scale: 1/16" = 1' - 0"

PROJECT DATA

LEGAL ADDRESS

8021 NORTH LOOP DR.
EL PASO, TX 79915

LEGAL DESCRIPTION

9 LAFAYETTE PLACE 2 (EXC WLY PT) (16111.24 SQ FT)

ZONING

CLASSIFICATION:

PROPERTY IS CURRENT ZONING: C-3 C

SET BACKS	C-3 C
FRONT YARD	0'-0"
REAR YARD	10'-0"
CUM. FRONT & REAR YARD	N/A
SIDE YARD	10' when abutting a residential or apartment district
SIDE STREET	10'-0"
MAXIMUM HEIGHT	35'-0"

LAND AREA

TOTAL AREA = 16,111.24 S.F.
ACRES AREA = 0.37

BUILDING AREA: TOTAL AREA = 1,326.00 S.F.

OFFICE = 836.00 S.F.
AUTOMOBILE (SALES, SERVICE, STORAGE & RENTAL) = 490.00 S.F.

PARKING CALCULATION:

TOTAL MIN. REQUIRED = 2 PARKING SPACES
TOTAL PROVIDED = 9 PARKING SPACES
PROVIDED = 8 PARKING SPACES
1 H.C. PARKING SPACE

BUILDING AREA
OFFICE = 836.00 S.F.
AUTOMOBILE (SALES, SERVICE, STORAGE & RENTAL) = 490.00 S.F.

836.00 S.F. OFFICE + 490.00 S.F. STATE INSPECTION
MIN. = $\frac{5}{16}$ SF GFA + $\frac{5}{16}$ SF OF GFA OF BUILDINGS; PLUS MERCHANDISE PARKING AREAS
MIN. = $\frac{5}{16}$ sf (836.00) + $\frac{5}{16}$ sf (490.00)
MIN. = 1.45 + 0.85 = 2.3

TOTAL MIN. REQUIRED = 2 PARKING SPACES

836.00 S.F. OFFICE + 490.00 S.F. STATE INSPECTION
MAX. = $\frac{1}{100}$ SF GFA + $\frac{1}{100}$ SF OF GFA OF BUILDINGS; PLUS MERCHANDISE PARKING AREAS
MAX. = $\frac{1}{100}$ sf (836.00) + $\frac{1}{100}$ sf (490.00)
MAX. = 2.09 + 1.22 = 3.31

TOTAL MAX. REQUIRED = 3 PARKING SPACES

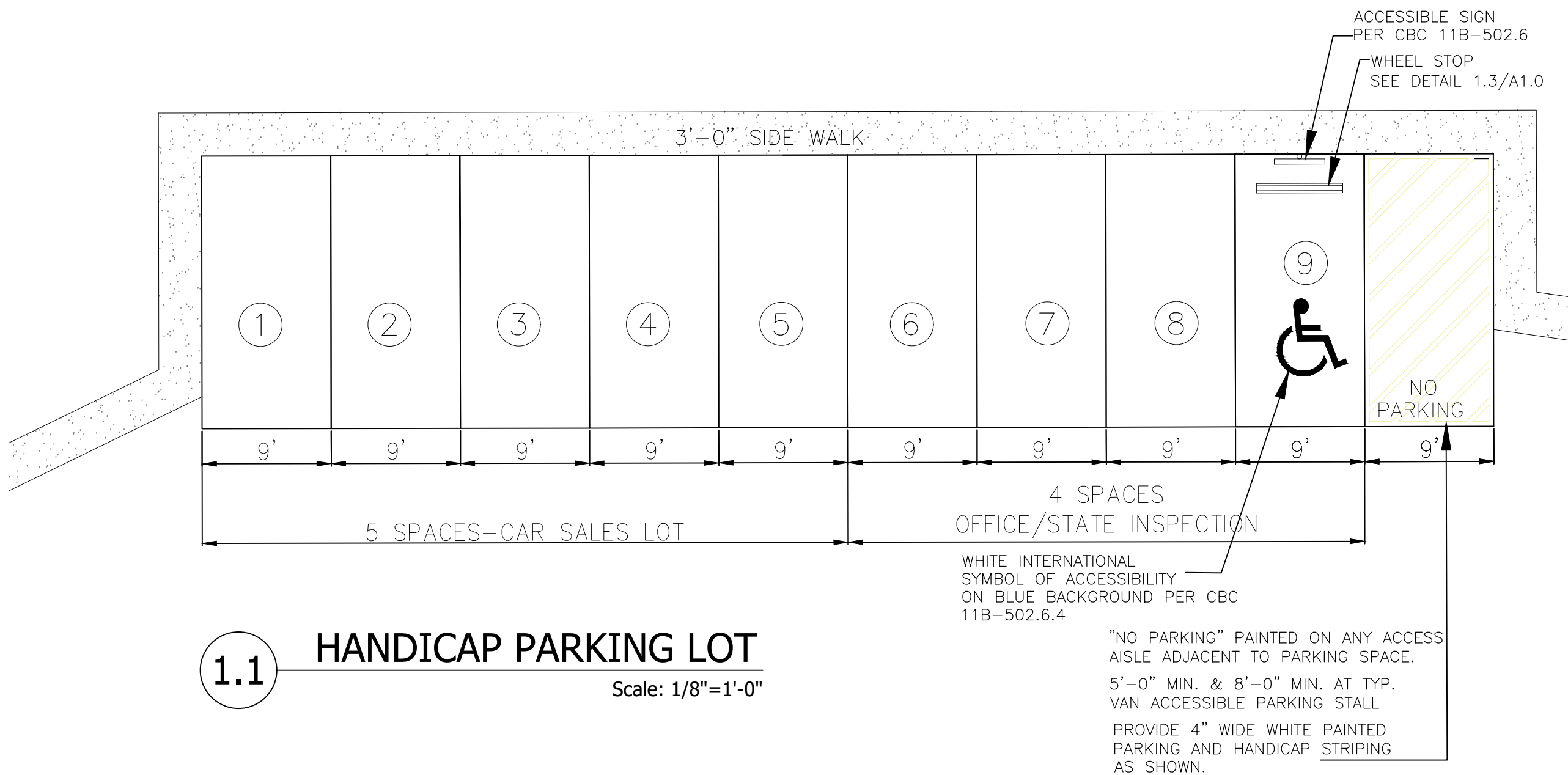
BICYCLE RACK

MIN. 3 BICYCLE SPACES

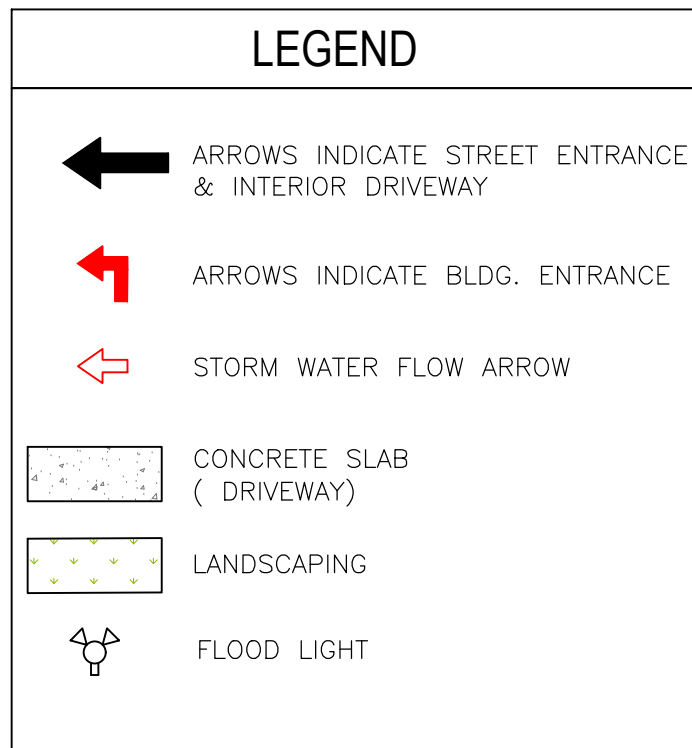
LANDSCAPING

NEW POND AREA = 2,060.00 S.F.
LAND 16,111.24 S.F. - BUILDING 1,326.00 S.F. = 14,785.24 S.F.
14,785.24 (15%) = 2,217.78 S.F.
AREA #1 = 1,942.30 S.F.
AREA #2 = 66.45 S.F.
AREA #3 = 832.70 S.F.
AREA #4 = 475.00 S.F.

PROVIDED = 3,316.45 S.F.
REQUIRED = 2,219.78 S.F.



1.1 HANDICAP PARKING LOT
Scale: 1/8" = 1'-0"



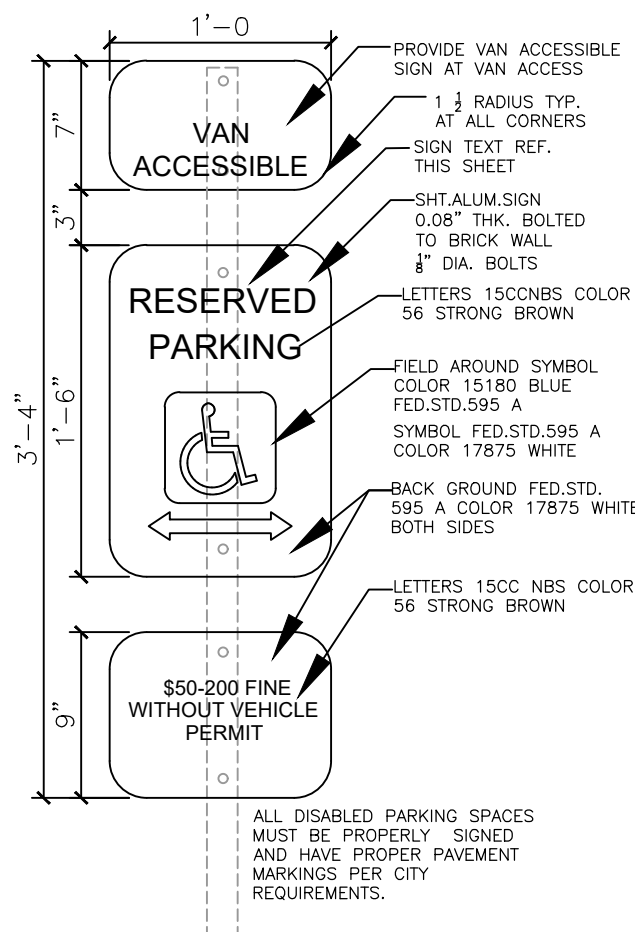
NOTES:

SECTION: 20.10.090 - AUTOMOTIVE USES LIST OF THE CITY CODE:

C.Motor Vehicle Storage Yard (accessory use to motor vehicle repair).
Facilities shall comply with the following standards:
1.These yards shall be paved and enclosed by a six-foot screening wall except for necessary ingress and egress or where prohibited by this Code, to prevent visibility from adjacent properties or rights-of-way;
2.For the purposes of this use, temporary storage of a vehicle means for a maximum of ten consecutive calendar days;
3.The maximum number of vehicles authorized in temporary storage at any one time shall be the greater of three vehicles per bay or ten vehicles; and
4.A vehicle must be inoperative and waiting for parts, or unsafe to operate, to be temporarily stored in this manner.

SUBJECT PROPERTY IS WITHIN THE CURRENT FEMA FLOOD ZONE "B"

A portion of the property area will be in the Flood zone according to the preliminary future FEMA maps. Meaning; that according to current maps from FEMA, the property is not in the hazard flood zone area, just in the flood zone "B" (500 years storm), but a portion of the property will be in the hazard flood zone area in the future when new maps become effective, it is recommended to build 1foot above the preliminary BFE for on the affected lots.



1.2 TYP. H.C. SIGNAGE
Scale: N/A

COMPLETE
DESIGN & DRAFTING
Inc.
810 TEXAS AVENUE
EL PASO, TEXAS
79901
PH. 915-777-3056
PH. 915 701-7643
carlos.cdd@yahoo.com
www.designanddrafting.com

ARCHITECT:

PROPOSED DETAILED SITE DEVELOPMENT PLAN FOR:
CAR SALES LOT & STATE INSPECTION
ADDRESS : 8021 NORTH LOOP DR
EL PASO, TEXAS 79915

PROJECT

8021 NORTH LOOP DR.
EL PASO, TX. 79915

PROJECT NUMBER	DATE
058.2024	JANUARY 2025

REVISIONS

APRIL 2025

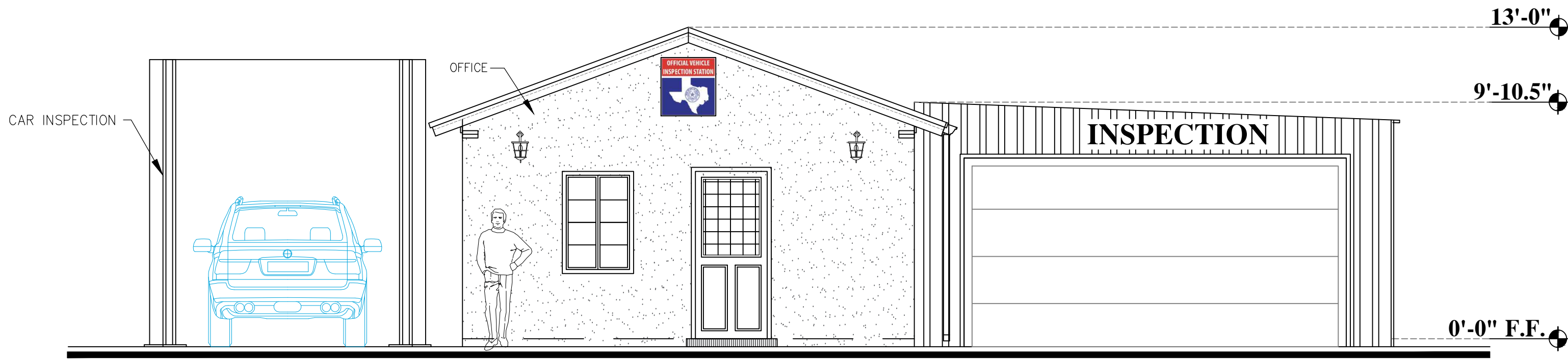
SHEET TITLE

DETAIL SITE DEVELOPMENT PLAN

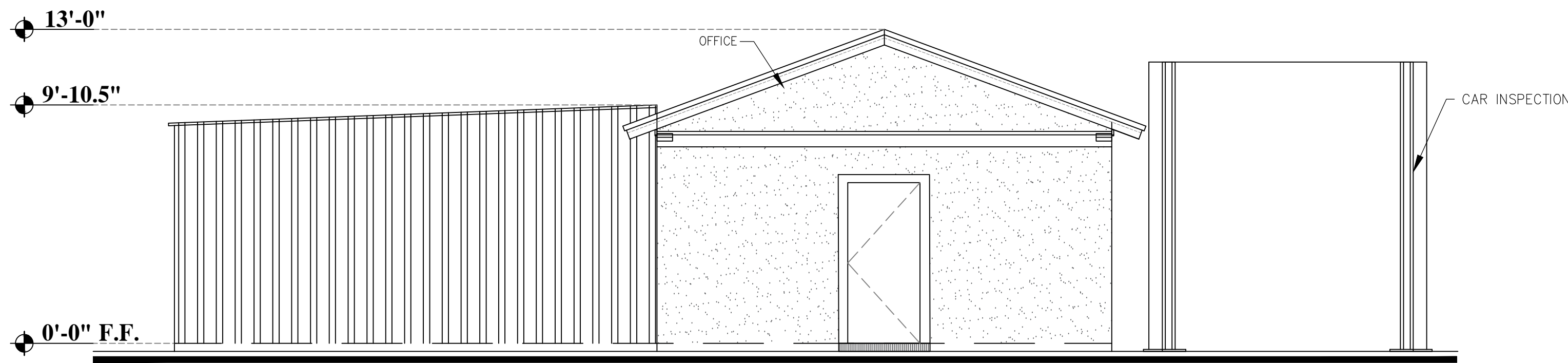
SHEET NUMBER

A1.0

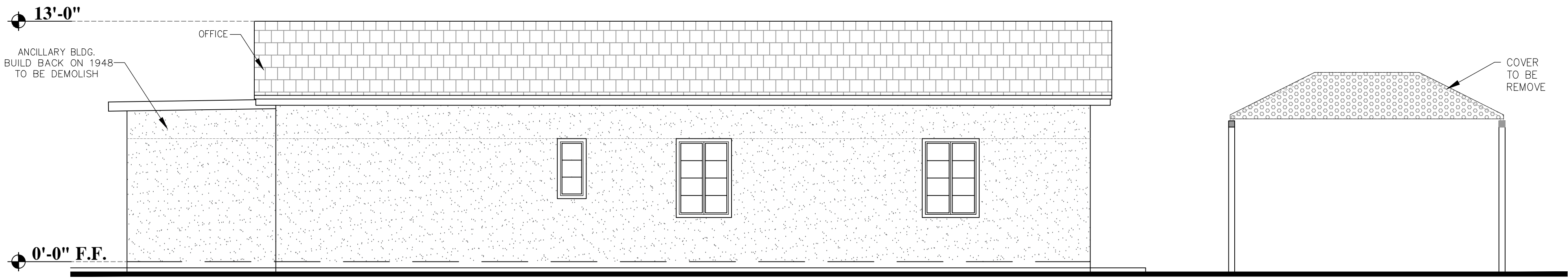
1 OF 2



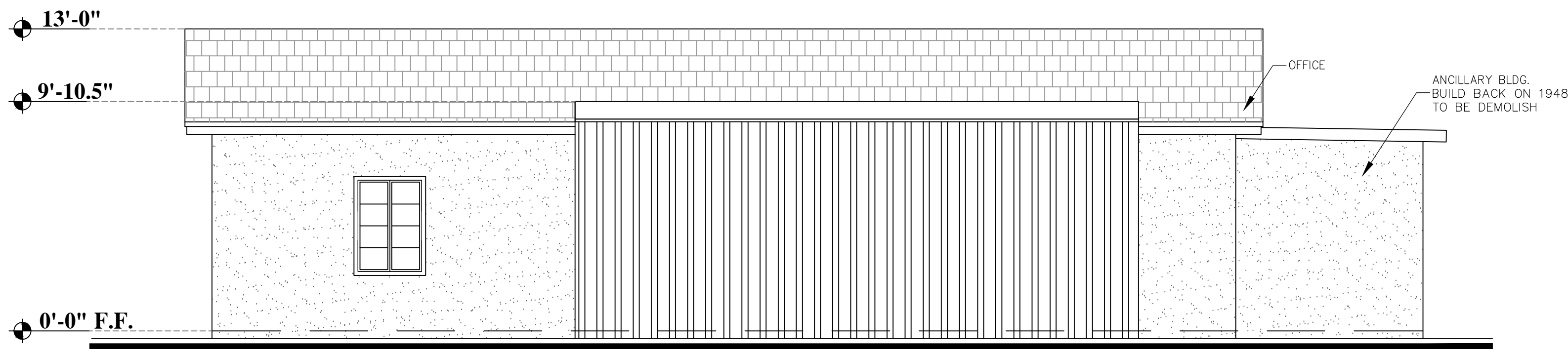
2 FRONT ELEVATION
Scale: 1/4" = 1' - 0"



3 REAR ELEVATION
Scale: 1/4" = 1' - 0"



4 LEFT SIDE ELEVATION
Scale: 1/4" = 1' - 0"



5 LEFT SIDE ELEVATION
Scale: 1/4" = 1' - 0"



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ARCHITECT:

PROPOSED DETAILED SITE DEVELOPMENT PLAN FOR:
CAR SALES LOT & STATE INSPECTION
ADDRESS : 8021 NORTH LOOP DR
EL PASO, TEXAS 79915

PROJECT

8021 NORTH LOOP DR.
EL PASO, TX. 79915

PROJECT NUMBER	DATE
058.2024	JANUARY 2025

REVISIONS

APRIL 2025	

SHEET TITLE

**DETAIL SITE DEVELOPMENT PLAN
ELEVATIONS**

SHEET NUMBER

A2.0
2 OF 2



Legislation Text

File #: BC-611, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZDS25-00010: Tract 2G3B and a portion of Tract 2G3, Section 38, Block 80, Township 2, City of El Paso, El Paso County, Texas

Location: 10642 Montana Ave.
Existing Zoning: P-I (Planned Industrial), C-4 (Commercial),
C-1 (Commercial)
Request: Detailed Site Development Plan per
P-I (Planned Industrial) zone district
Existing Use: Self-storage warehouse
Proposed Use: Self-storage warehouse
Property Owner: El Paso Six Storage 18 (TX) LLC
Representative: Jeff Tondre, ESP Associates, Inc.
District: 3
Staff Contact: Blanca Perez, (915) 212-1561,
PerezBM@elpasotexas.gov

10642 Montana

City Plan Commission — April 24, 2025

SITE PLAN

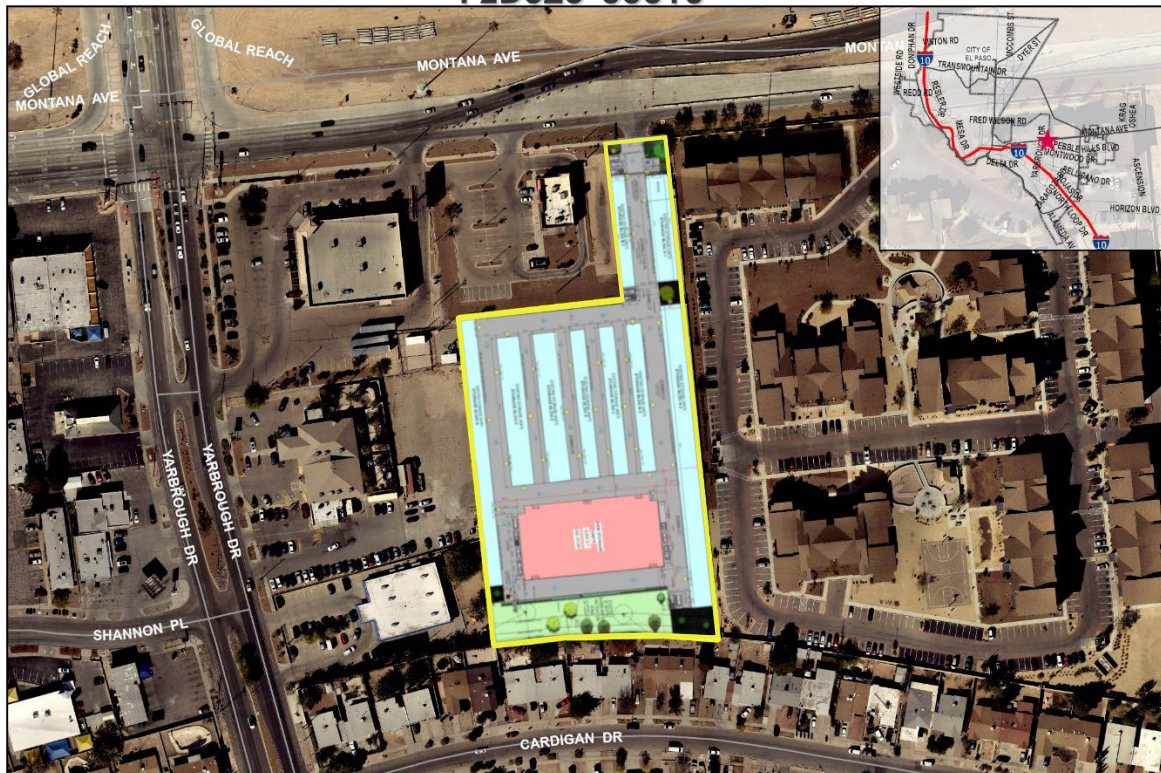


CASE NUMBER: PZDS25-00010
CASE MANAGER: Blanca Perez, (915) 212-1561, PerezBM@elpasotexas.gov
PROPERTY OWNER: El Paso Six Storage 18 (TX) LLC
REPRESENTATIVE: Jeff Tondre (ESP Associates, Inc.)
LOCATION: 10642 Montana Ave. (District 3)
PROPERTY AREA: 3.44 acres
REQUEST: Detailed Site Development Plan Approval per P-I (Planned Industrial) zone district.
RELATED APPLICATIONS: None
PUBLIC INPUT: None

SUMMARY OF REQUEST: The applicant is requesting approval of a Detailed Site Development Plan, as required under the standards of the P-I (Planned Industrial) zoning district. The proposed development consists of expanding the subject property for use as a self-storage warehouse.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the request. The proposed use is permitted by right within the P-I (Planned Industrial) zoning district, subject to approval of a Detailed Site Development Plan. The proposed development is compatible with surrounding commercial uses and meets the requirements of El Paso City Code Section 20.04.150 Detailed Site Development Plan. Furthermore, the development complies with the G-4 Suburban (Walkable) future land use designation of *Plan El Paso*, the City's adopted Comprehensive Plan.

PZDS25-00010



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of the map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspection Department Planning Division makes no claim to its accuracy or completeness.



Subject Property

0 37.5 75 150 225 300 Feet



Figure A. Site Plan Superimposed on Aerial Imagery

DESCRIPTION OF REQUEST: The subject property is currently split-zoned among three districts: C-1 (Commercial), C-4 (Commercial), and P-I (Planned Industrial). The applicant is requesting approval of a Detailed Site Development Plan, as required by the P-I zoning district, which is the most restrictive of the three and the most dominant zoning on the property. The site plan proposes the development of a 3.44-acre property located at 10642 Montana Avenue for the expansion of an existing self-storage warehouse. There are nine (9) existing self-storage warehouse buildings and applicant is proposing a single-story addition that will add approximately 18,800 square feet of self-storage units warehouse building. The development meets the parking requirement of twelve (12) spaces, with the applicant providing fourteen (14) spaces, along with four (4) bicycle parking spaces. Pedestrian and vehicular access to the site will be provided via Montana Avenue.

COMPATIBILITY WITH NEIGHBORHOOD CHARACTER: The proposed development is compatible with the surrounding commercial and residential uses. To the north, the property is zoned C-4 (Commercial) and is currently a restaurant and adjacent is the state highway. To the south, the adjacent properties are zoned R-4 (Residential) and developed with single-family homes. To the east, the property is split-zoned C-1 and C-4 (Commercial) and is developed with apartments. To the west, the area includes a restaurant, a school, and retail uses within the C-1 (Commercial) zoning district. The nearest school, Reginald “Reg” Washington Elementary School, is located approximately 0.24 miles from the site, and the closest park, Pebble Hills Park, is located about 0.95 miles away.

COMPLIANCE WITH THE ZONING ORDINANCE – When evaluating whether a proposed Detailed Site Development Plan is in accordance with the Zoning Ordinance, consider following factors:	
Criteria	Does the Request Comply?
El Paso City Code Section 20.04.140 – When Required. Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.	Yes. The subject property is split-zoned across three districts, with P-I (Planned Industrial) being both the most restrictive, requiring a Detailed Site Development Plan, and the most dominant zoning on the property and within the proposed development area. In accordance with the zoning district standards, approval of a Detailed Site Development Plan is required prior to any further development permitted within the P-I (Planned Industrial) zone.
Compatibility with Zoning Regulations: The zoning district permits the proposed use, and all applicable regulations are met P-I (Planned Industrial) District: The purpose of this district is to establish an industrial environment for certain types of manufacturing, business or industrial uses which are compatible with any adjacent land use by performance, appearance, and general operating characteristics. The regulations of the district are designed so that all operations and activities, specifically including but not limited to, the storage of materials of all kinds are conducted within a building or appropriately screened.	Yes. The proposed self-storage warehouse is a permitted use within the P-I (Planned Industrial) zoning district, subject to approval of a Detailed Site Development Plan. The development is also subject to the supplemental use regulations outlined in Section 20.10.610 – Self-storage warehousing, all of which are being met.
THE PROPOSED ZONING DISTRICT’S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.	There are no Historic Districts or Special Designations on the subject property.

COMPLIANCE WITH THE ZONING ORDINANCE – When evaluating whether a proposed Detailed Site Development Plan is in accordance with the Zoning Ordinance, consider following factors:

Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the special permit.	There are no anticipated adverse impacts from the approval of the Detailed Site Development Plan.
Natural Environment: Anticipated effects on the natural environment.	The subject property does not involve greenfield or environmentally sensitive land or arroyo disturbance.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: Access to the subject property is proposed from Montana Avenue, which is designated as a freeway on the City of El Paso’s Major Thoroughfare Plan (MTP). The existing roadway infrastructure is adequate to support the proposed development. There are three (3) bus stops located within a 0.25-mile walking distance of the site, with the nearest stop approximately 0.09 miles away. Sidewalks along Montana Avenue further enhance pedestrian accessibility to and from the property.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: There are no adverse comments from reviewing departments.

PUBLIC COMMENT: Notices are not required per El Paso City Code Section 20.04.150.

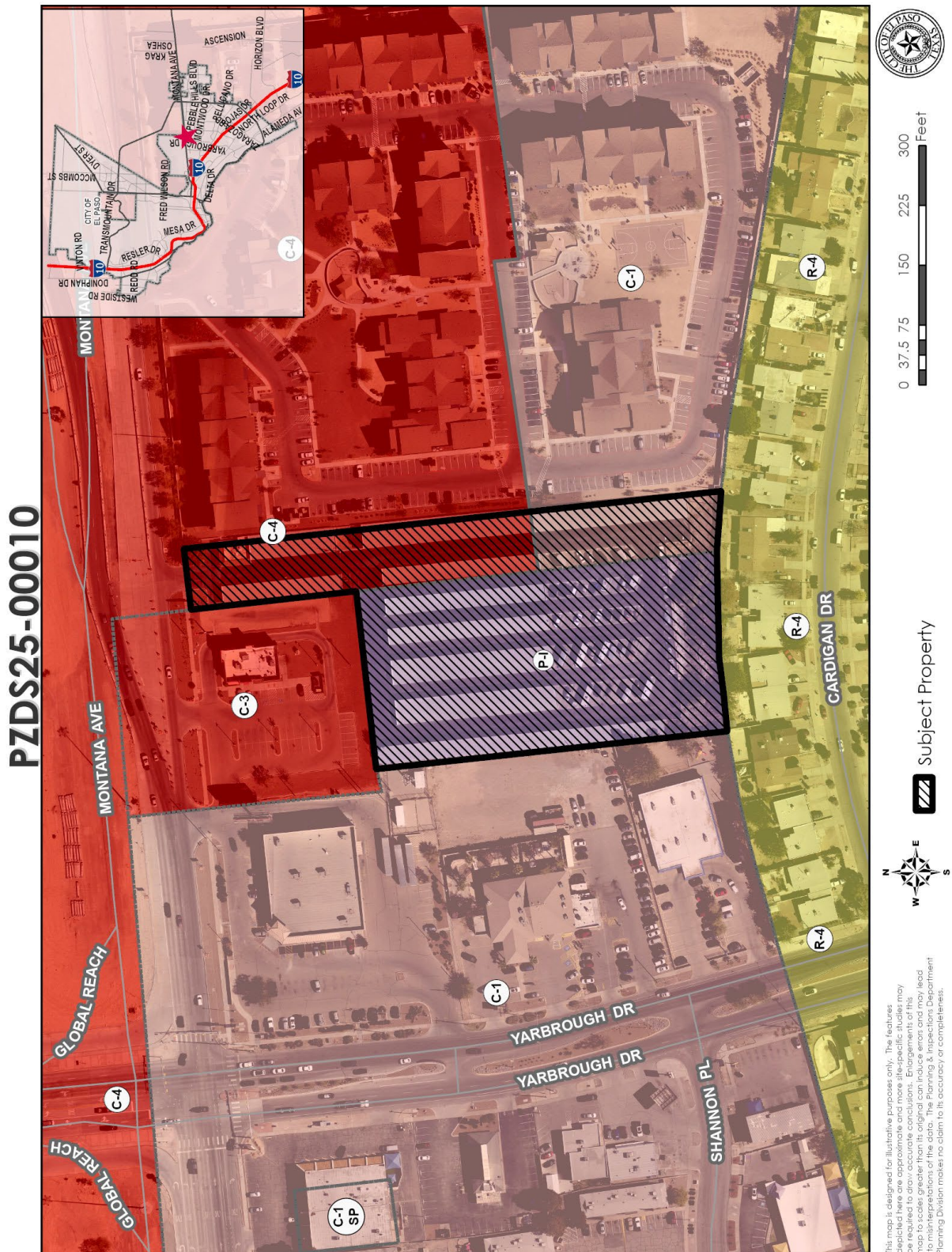
CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

1. **Approve/Recommend Approval** of the Detailed Site Development Plan, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. (Staff Recommendation)
2. **Approve/Recommend Approval of the Detailed Site Development Plan With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Deny/Recommend Denial** of the Detailed Site Development Plan, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

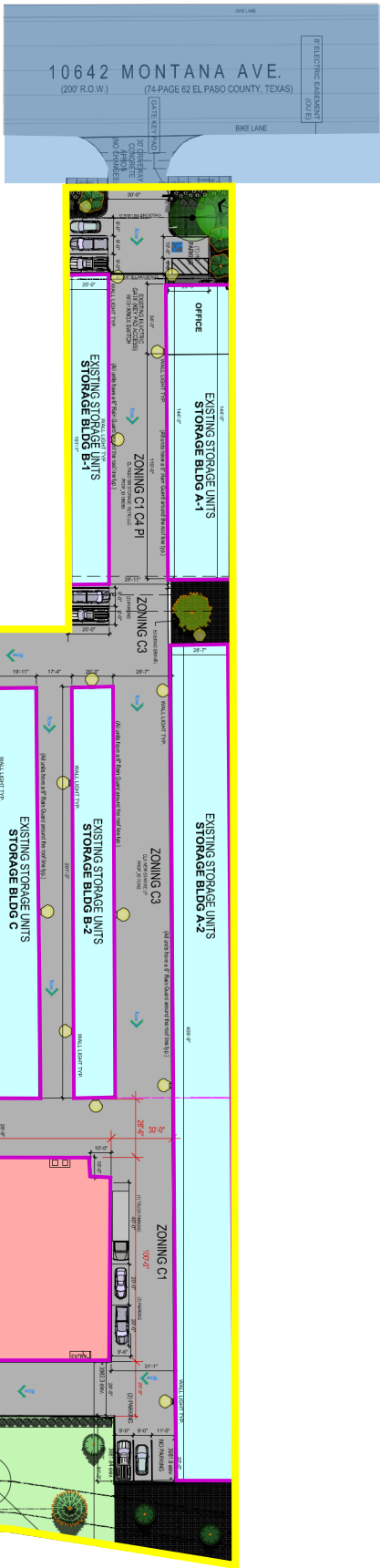
ATTACHMENTS:

1. Zoning Map
2. Detailed Site Plan
3. Elevations
4. Department Comments

ATTACHMENT 1



ATTACHMENT 2



47

ENTRANCE
ALLOW
A4
SOUTH ELEVATION BUILDING A
SCALE 1/8"=1'-0"

10'-0"
10'-0"

ATTACHMENT 4

Planning and Inspections Department - Planning Division

Staff recommends **APPROVAL** of the request. The proposed use is permissible by right with a Detailed Site Development Plan approval in the P-I (Planned Industrial) zone district and is compatible with surrounding commercial uses. The proposed development meets the requirements of El Paso City Code Section 20.04.150 Detailed Site Development Plan. Furthermore, the development complies with the G-4 Suburban (Walkable) future land use designation of *Plan El Paso*, the City's adopted Comprehensive Plan.

Staff recommends consolidating the zoning of the subject property under a single zoning district for consistency in the future.

Planning and Inspections Department – Plan Review & Landscaping Division

Recommend approval. No comments for the proposed detailed site plan.

Planning and Inspections Department – Land Development

No objections to proposed detailed site plan. Just show proposed drainage flow patterns on site plan and identify the discharge location(s) for all storm-water runoff.

Fire Department

No adverse comments.

Police Department

No comments provided

Environment Services

No comments provided.

Streets and Maintenance Department

Traffic and Transportation Engineering:

No objections to application.

Street Lights Department:

Does not object to this request.

Montana Ave. is a Texas Department of Transportation (TXDoT) right-of-way (ROW).

For the development of the subdivision a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that a project that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Sun Metro

No comments provided.

El Paso Water

No comments provided.

EPWU-PSB Comments

No comments provided.

Sanitary Sewer

No comments provided.

General

No comments provided.

Stormwater:

There is a Retention Storm Sewer Pond in the rear of this property.

EPWater SW has no objections to the proposed development.

Texas Department of Transportation

Submit plans for TXDOT grading and drainage review.

El Paso County Water Improvement District #1

No comments provided.

Texas Gas Service

Does not have any comments.

El Paso Electric

Does not have any comments.

911 District

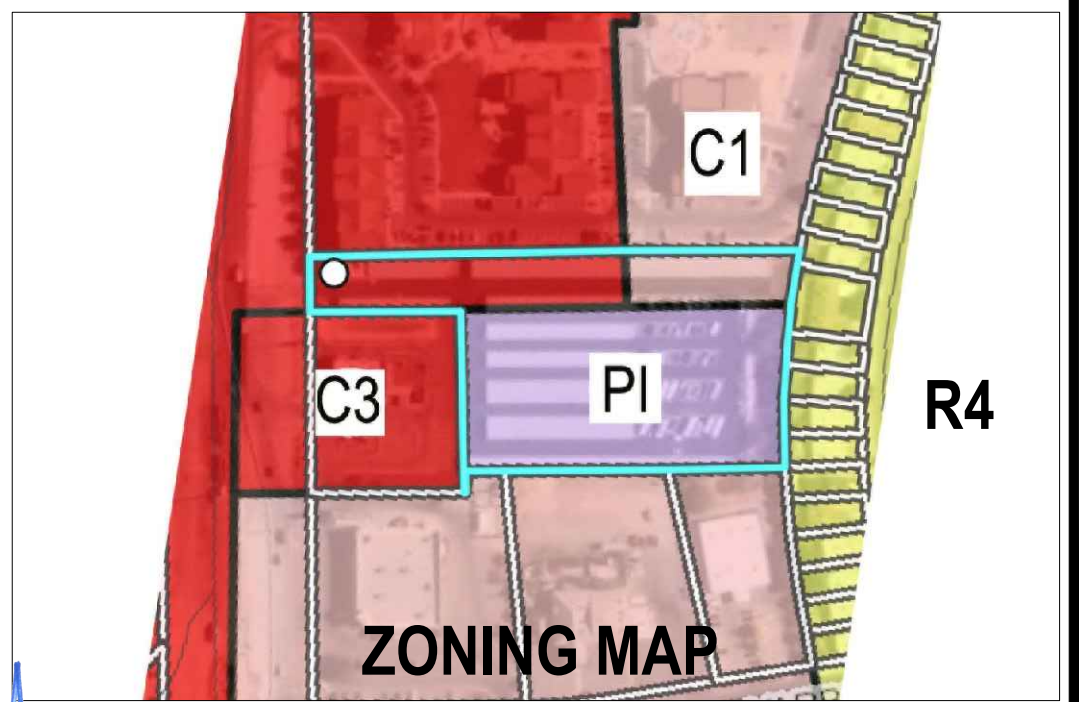
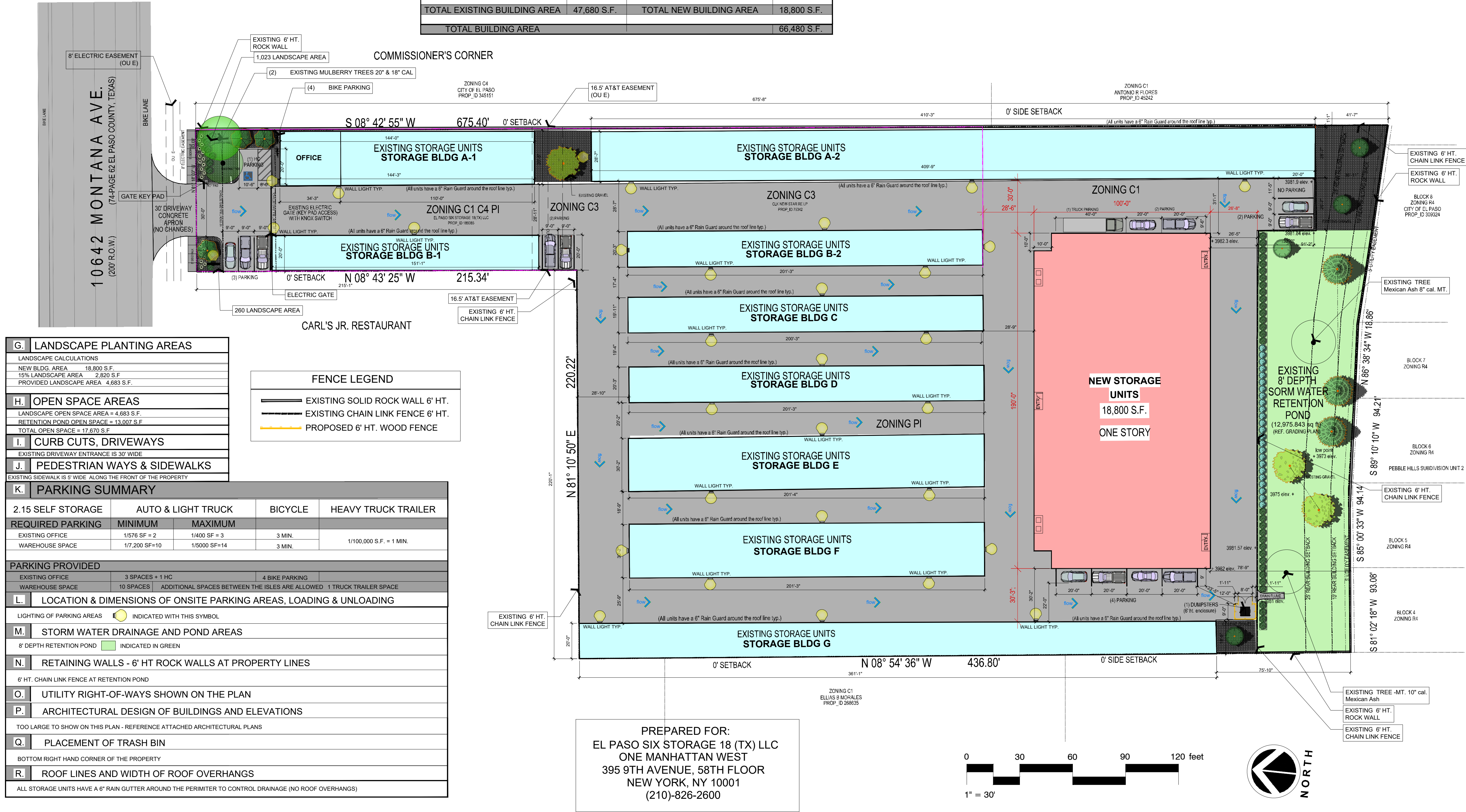
No comments or concerns regarding this zoning.

DETAILED SITE DEVELOPMENT PLAN

A. LEGAL DESCRIPTION OF THE PROPERTY		D. SIZE AND STRUCTURAL LAYOUT		E. SIZE AND STRUCTURAL LAYOUT (SEE PLAN BELOW FOR DIMENSIONS)	
BEING A PORTION OF TRACT 2G, SECTION 38, BLOCK 80, TSP 2, CITY OF EL PASO, EL PASO COUNTY, TEXAS "EL PASO SIX STORAGE 18 (TX) LLC CALLED 3.449 ACRES DOC. NO. 20150074873, O.P.R.P.E.P.C.T. EXECUTED: OCTOBER 7, 2015"		BUILDING SUMMARY		F. REQUIRED YARDS AND SETBACKS	
B. ZONING C1 - C4 - PI		EXISTING BUILDING SUMMARY		TABLE OF DENSITY AND DIMENSIONAL STANDARD	
PROPOSED LAND USE IS TO CONVERT SURFACE STORAGE FOR BOATS, RVS, AND CARS TO A (1) ONE STORY CLIMATE CONTROLLED SELF STORAGE.		PROPOSED BUILDING SUMMARY		SUBPART C-BUILDING SETBACKS (IN FEET)	
C. SIZE AND STRUCTURAL LAYOUT (REF. SITE PLAN)		EXISTING OFFICE	1,000 S.F.	EXISTING CLIMATE CONTROLLED BLDG.	18,800 S.F.
		EXISTING STORAGE BLDG. A-1	2,240 S.F.	EXISTING STORAGE BLDG. A-2	12,240 S.F.
		EXISTING STORAGE BLDG. A-2	12,240 S.F.	EXISTING STORAGE BLDG. B-1	3,000 S.F.
		EXISTING STORAGE BLDG. B-2	4,000 S.F.	EXISTING STORAGE BLDG. C	4,000 S.F.
		EXISTING STORAGE BLDG. D	4,000 S.F.	EXISTING STORAGE BLDG. E	4,000 S.F.
		EXISTING STORAGE BLDG. F	6,000 S.F.	EXISTING STORAGE BLDG. G	7,200 S.F.
		TOTAL EXISTING BUILDING AREA	47,680 S.F.	TOTAL NEW BUILDING AREA	18,800 S.F.
		TOTAL BUILDING AREA	66,480 S.F.		



LOCATION MAP



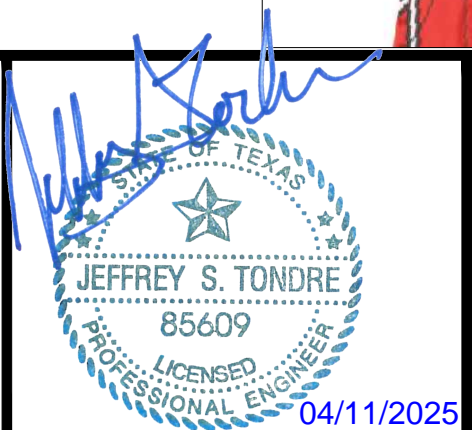
ZONING MAP

CUBESMART CLIMATE STORAGE
BUILDING ADDITION

DEVELOPER:
EL PASO SIX STORAGE 18 (TX) LLC
LOCATION:
10642 MONTANA AVE. EL PASO, TX 79935

DETAILED SITE DEVELOPMENT PLAN
MARCH 04, 2025

scale 1" = 30.0'





ISSUE DATE
SUBMITTAL 2/25/2025

EXISTING CUBESMART
NEW STORAGE BUILDING
10642 MONTANA
EL PASO, TEXAS 79935

**Kaufman
Design
Group**

ARCHITECTURE

9415 E. HARRY ST.
SUITE 405
WICHITA, KS 67207
(316) 618-0448
sally@kdginc.co

SHEET TITLE
COLORED BUILDING ELEVATIONS

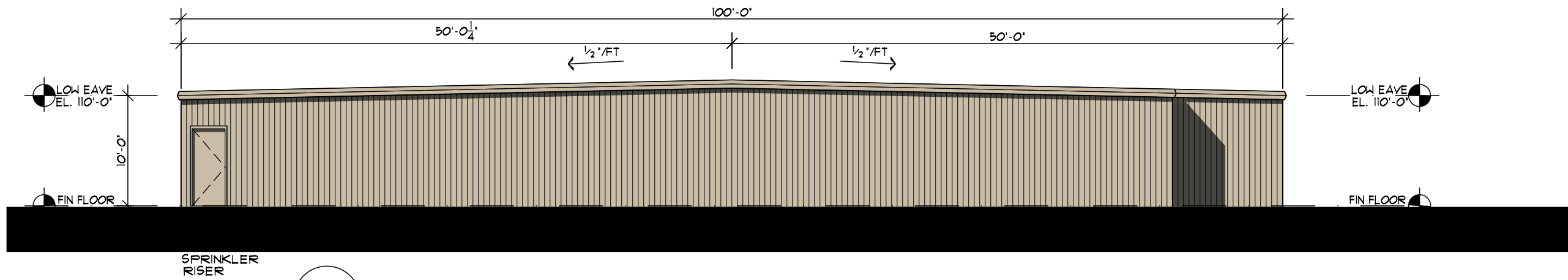
SHEET NUMBER

A1

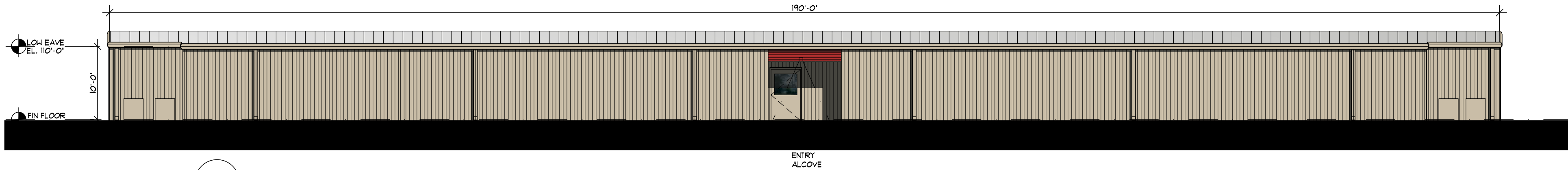
OF SHEETS

MATERIAL LEGEND

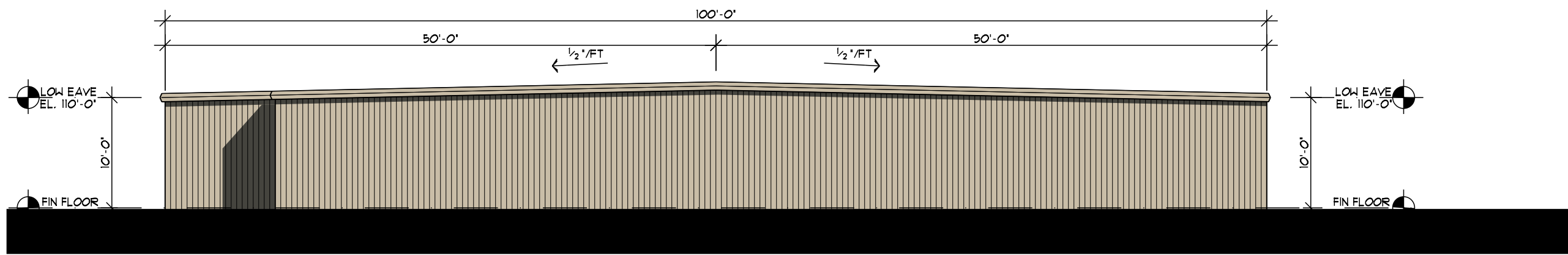
- PREFINISHED METAL GUTTER, RAKE TRIM OR COPING CAP
- MBCI LIGHT STONE (VERIFY MATCH W/ EXISTING)
- PREFINISHED VERTICAL REVERSE U METAL PANEL
- MBCI LIGHT STONE (VERIFY MATCH W/ EXISTING)
- 24 GA. HORIZONTAL TYPE D METAL PANEL
COLOR RED ACCENT
- PREFINISH STANDING SEAM ROOF
- MBCI GALVALUME
- HOLLOW METAL DOOR W/ HALF GLASS
- PAINT TO MATCH MBCI LIGHT STONE



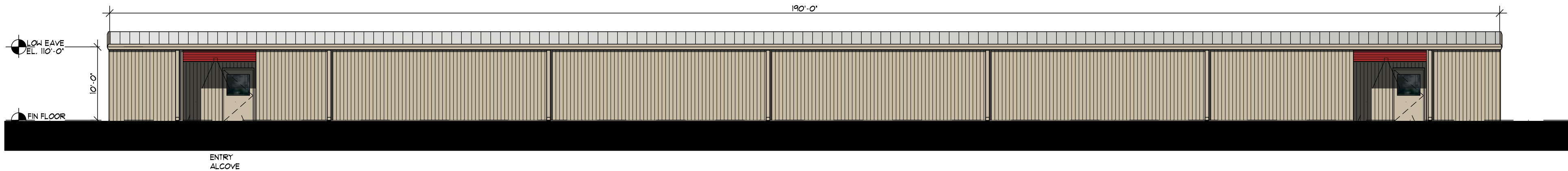
A1 EAST ELEVATION BUILDING A
SCALE 1/8"=1'-0"



A2 NORTH ELEVATION BUILDING A
SCALE 1/8"=1'-0"



A3 WEST ELEVATION BUILDING A
SCALE 1/8"=1'-0"



A4 SOUTH ELEVATION BUILDING A
SCALE 1/8"=1'-0"



Legislation Text

File #: BC-612, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

SUSU25-00025: Gomez Subdivision Unit Two - Tracts 1-B-5 and 1-G, Block 9, Upper Valley
Surveys, El Paso County, Texas

Location: West of Westside Dr. and North of Gomez Rd.
Existing Zoning: R-2
Property Owner: Templo Cristiano Fuente De Vida, Inc.
Representative: G-3ngineering, LLC
District: 1
Staff Contact: Saul Fontes, (915) 212-1606,
FontesSA@elpasotexas.gov

Gomez Subdivision Unit Two

City Plan Commission — April, 24, 2025



CASE NUMBER/TYPE: SUSU25-00025 – Major Combination
CASE MANAGER: Saul Fontes, (915) 212-1606, FontesSA@elpasotexas.gov
PROPERTY OWNER: Templo Cristiano Fuente de Vida, Inc.
REPRESENTATIVE: G-3ngineering, LLC
LOCATION: West of Westside Drive and North of Gomez Road (District 1)
PROPERTY AREA: 0.93 acres
VESTED RIGHTS STATUS: Not Vested
PARK FEES: \$930.00
EXCEPTIONS/MODIFICATIONS: Yes, see following section
ZONING DISTRICT(S): R-2 (Residential)

SUMMARY OF RECOMMENDATION: Staff recommends **APPROVAL** of Gomez Subdivision on a Major Combination basis.

In addition, the applicant is requesting the following exceptions from the City Plan Commission:

- To waive the dedication of 23.5 feet of additional right-of-way to Gomez Road.
- To waive the construction of 25.6 feet of roadway along Gomez Road.
- To waive the construction of a six foot (6') sidewalk along Gomez Road.

Gomez Subdivision Unit Two



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspection Department Planning Division makes no claim to its accuracy or completeness.



 Subject Property

0 15 30 60 90 120 Feet



Figure A: Proposed plat with surrounding area

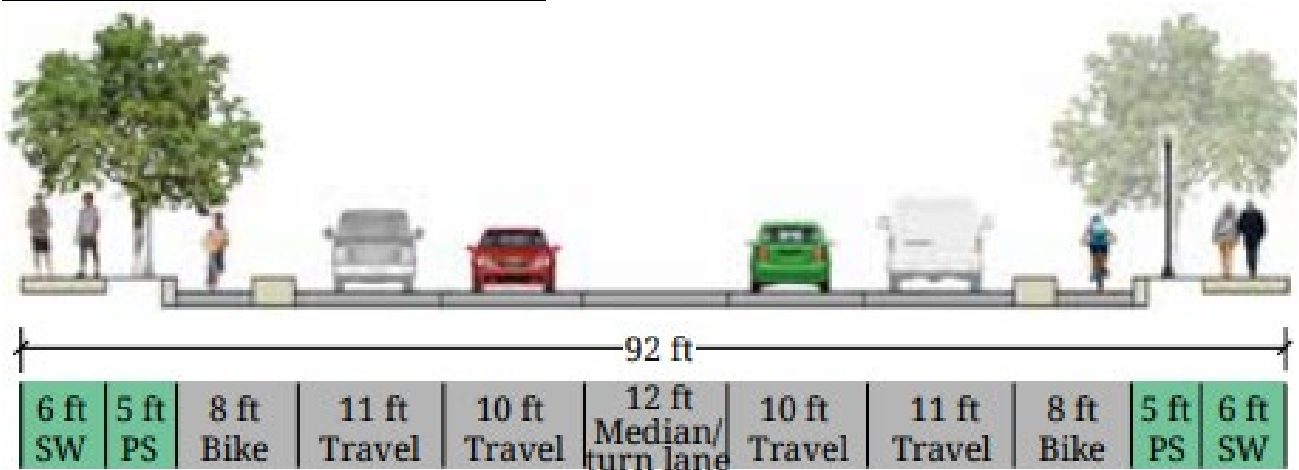
DESCRIPTION OF REQUEST: The applicant is requesting to subdivide 0.93 acres of land into a one-lot residential subdivision. Stormwater drainage will be through on-site ponding. Access shall be from Gomez Road. This subdivision was reviewed under the current subdivision code.

CASE HISTORY/RELATED APPLICATIONS: "N/A"

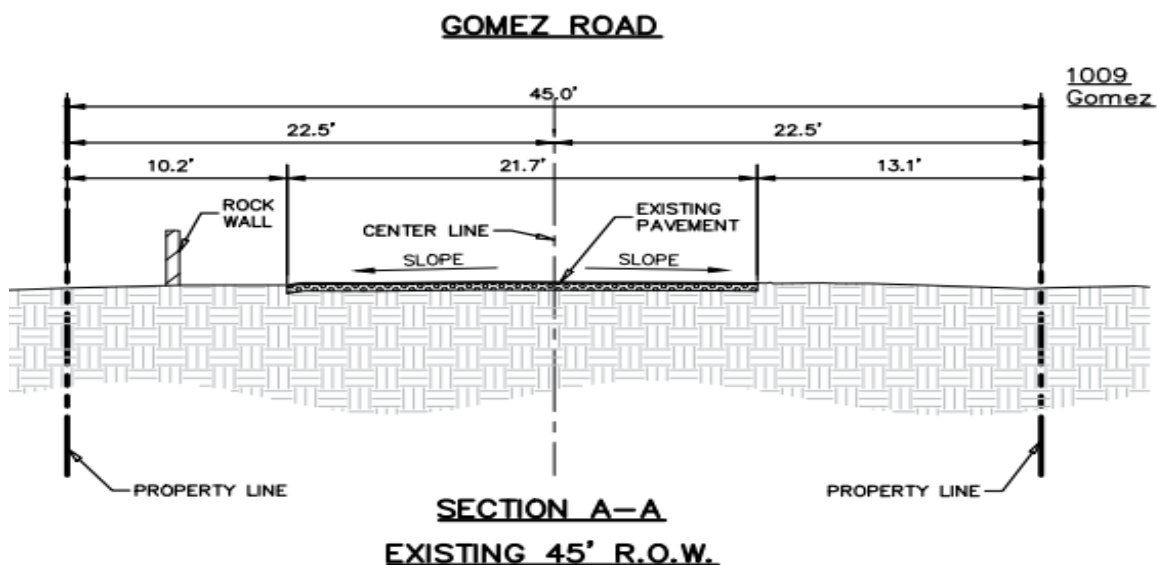
EXCEPTIONS, MODIFICATIONS, OR WAIVER REQUESTS: The applicant is requesting three (3) exceptions requests pursuant to El Paso City Code Section 19.10.050 (A)(1)(a) – (Roadway participation policies— Improvement of Roads and Utilities Within and or Abutting the Subdivision) of the current code. The exceptions are the following:

1. To waive the construction and dedication of 23.5 feet of additional right-of-way to Gomez Road.
2. To waive the construction of 25.6 feet of roadway along Gomez Road.
3. To waive the construction of a six foot (6') sidewalk along Gomez Road.

REQUIRED MAJOR ARTERIAL CROSS-SECTION:



EXISTING MAJOR ARTERIAL CROSS-SECTION:



EVALUATION OF EXCEPTION REQUEST: The exception requests to waive right-of-way improvements

meets the following criteria under El Paso City Code 19.10.050(A)(1)(a) – (Roadway Participation Policies— Improvement of Roads and Utilities Within and or Abutting the Subdivision). The section reads as follows:

Section 19.10.050(A)(1)(a)

The City Plan Commission may waive such requirements to provide rights-of-way or street improvements to adjacent substandard roads based on any of the following factors:

- a: Fifty per cent of the lots within a quarter mile of the proposed development have already been developed and the existing street improvements are in character with the neighborhood. Street improvements are in character with the neighborhood

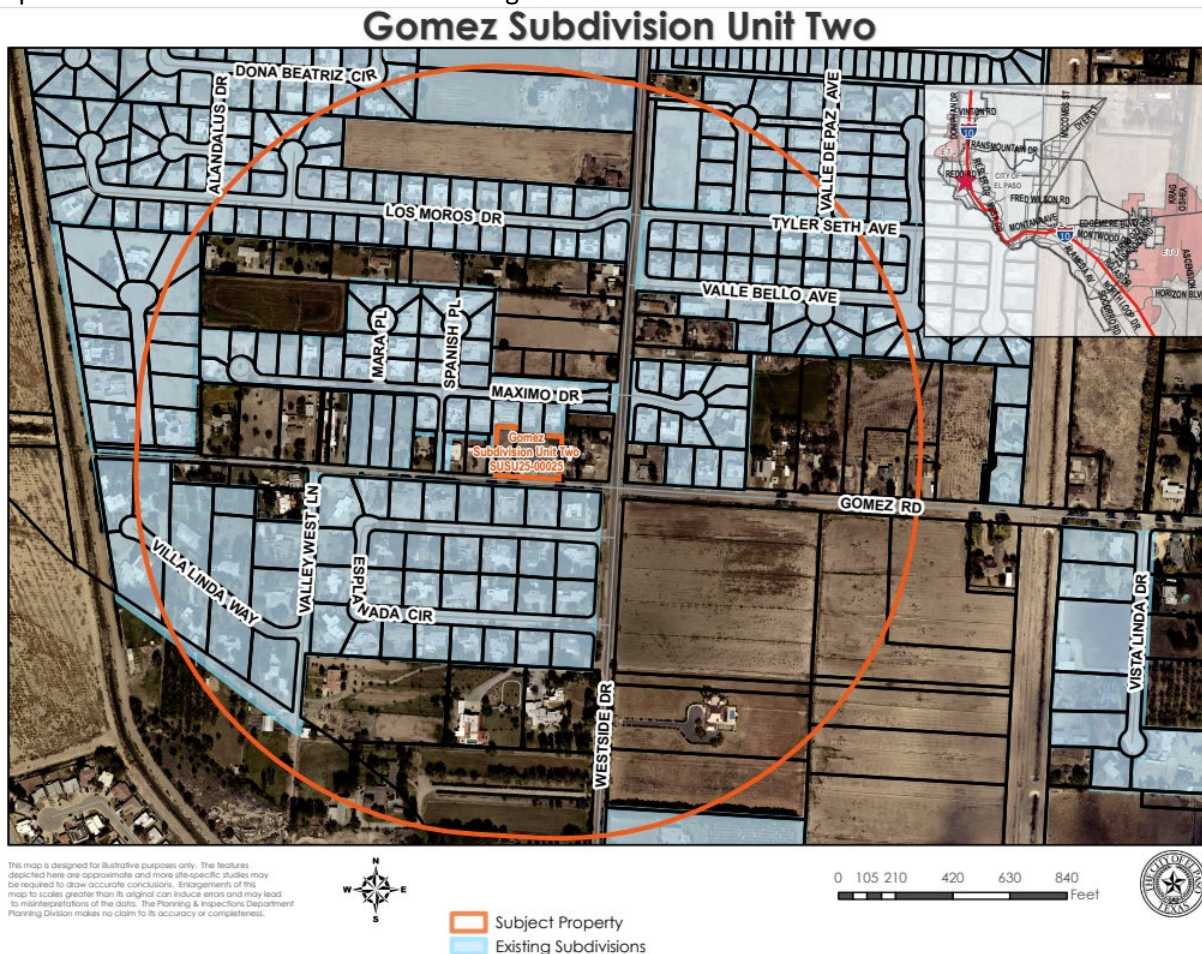


Figure B: Developed properties within a quarter mile of proposed subdivision

NEIGHBORHOOD CHARACTER: Surrounding neighborhood characteristics are identified in the following table.

Surrounding Zoning and Use	
North	R-2 (Residential)/ (Residential development)
South	R-2 (Residential) / (Residential development)
East	R-2 (Residential) / (Residential development)
West	R-2 (Residential) / (Residential development)
Nearest Public Facility and Distance	
Park	Sereno Park (0.34 mi.)
School	The Linguistic Academy of El Paso (1.29 mi.)
Plan El Paso Designation	
G4 Suburban Walkable	

Surrounding Zoning and Use
Impact Fee Service Area
N/A

PUBLIC COMMENT: “N/A”

PLAT EXPIRATION: This application will expire on April 24, 2025. If the final plat has not been recorded within the specified date, the final plat approval, unless extended in accordance with El Paso City Code Chapter 19.41 (Expiration, extension and reinstatement), shall expire and the applicable plat shall be deemed null and void.

CITY PLAN COMMISSION OPTIONS:

Subdivision

City Plan Commission (CPC) has sole and final authority on subdivision matters. Subdivision applications in conformance with all applicable code provisions shall be approved by the CPC. When a plat is brought forward to the CPC for review, the Commission may take any of the following actions:

1. **Approval:** The CPC finds that the proposed plat is in conformance with all applicable requirements of Title 19 of the El Paso City Code. **(Staff Recommendation)**
2. **Approval with Conditions:** The CPC may impose conditions that bring the proposed plat into conformance with all applicable requirements of Title 19 of the El Paso City Code.
3. **Denial:** The CPC finds that the proposed plat is not in conformance with all applicable requirements of Title 19 of the El Paso City Code.

Waiver, Exception, Modification Request(s)

The approval of waivers from, or exceptions or modifications to any applicable code provision is at the discretion of the CPC, in consideration of any criteria provided by the El Paso City Code for the review of such waivers, exceptions, or modifications. In evaluating the request(s), the CPC may take any of the following actions:

1. **Approval** of the waiver, exception, or modification request(s), finding that the request(s) is in conformance with the relevant review criteria provided by the El Paso City Code, as reflected in the Staff Report.
2. **Partial approval of the waiver, exception, or modification request(s)**, finding that the request(s) is partially in conformance with the relevant review criteria provided by the El Paso City Code.
3. **Denial** of the waiver, exception, or modification request(s), finding that the request(s) does not conform to the review criteria provided by the El Paso City Code, as reflected in the Staff Report.

ATTACHMENTS:

1. Aerial Map
2. Preliminary Plat
3. Final Plat
4. Exception Request
5. Application
6. Department Comments

ATTACHMENT 1

Gomez Subdivision Unit Two



 Subject Property

This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may reveal additional details. The Planning & Inspections Department makes no claim to its accuracy or completeness.

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ATTACHMENT 4



February 24, 2024

Aaron Andaluz
Planner
City of El Paso Planning and Inspections Department
801 Texas Avenue
El Paso, Texas 79901

RE: GOMEZ SUBDIVISION UNIT TWO – Street Improvement Wavier Request-Alabama Street

Mr. Alejandro,

Under section 19.48.030 of the subdivision code, TEMPLO CRISTIANO FUENTE DE VIDA INC, owner of **Gomez Subdivision Unit Two**, requests a waiver for Right-of-Way and Street improvements on Gomez Road adjacent to the proposed subdivision. Granting the waiver or exception will not be detrimental to public health, safety or welfare, or injurious to other property within the area and will not have the effect of preventing the orderly use and enjoyment of other land within the area in accordance with the provisions of this title or adversely affect the rights of owners or residents of surrounding property.

Please do not hesitate to contact us should you require additional information.

Sincerely,
G-3 Engineering, LLC¹

A handwritten signature in blue ink, appearing to read 'Luis A. Gutierrez'.

Luis A. Gutierrez, P.E.

cc: Roberto Gomez
1 TBPE F-14940

1901 Arizona Suite 205 | El Paso, TX 79902
(915) 209-5141 | (915) 503-1969 Fax | info@G-3ng.com

ATTACHMENT 5



MAJOR COMBINATION APPLICATION

DATE: 02/15/2024

FILE NO. SUSU25-00025

SUBDIVISION NAME: GOMEZ SUBDIVISION UNIT TWO

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)
Tracts 1-B-5 and 1-G UPPER VALLERY SURVEYS BLOCK 9 CITY OF EL PASO, EL PASO COUNTY TEXAS

2. Property Land Uses:

	<u>ACRES</u>	<u>SITES</u>		<u>ACRES</u>	<u>SITES</u>
Single-family	_____	_____	Office	_____	_____
Duplex	_____	_____	Street & Alley	_____	_____
Apartment	_____	_____	Ponding & Drainage	_____	_____
Mobile Home	_____	_____	Institutional	_____	_____
P.U.D.	_____	_____	Other (specify below)	_____	_____
Park	_____	_____	CONGREGATION	<u>0.93</u>	<u>1</u>
School	_____	_____		_____	_____
Commercial	_____	_____	Total No. Sites	<u>1</u>	_____
Industrial	_____	_____	Total (Gross) Acreage <u>0.93</u>	_____	_____

3. What is existing zoning of the above described property? R-2 Proposed zoning? R-2

4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? Yes ☒ No ☐

5. What type of utility easements are proposed: Underground ☐ Overhead ☐ Combination of Both ☒

6. What type of drainage is proposed? (If applicable, list more than one)
ON-SITE PONDING

7. Are special public improvements proposed in connection with development? Yes ☐ No ☒

8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes ☒ No ☐
If answer is "Yes", please explain the nature of the modification or exception The improvement to the right-of-way to be waiver, request the existing cross-section at Gomez Road be allowed to remain in its current configuration

9. Remarks and/or explanation of special circumstances: _____

10. Improvement Plans submitted? Yes ☐ No ☒

11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes ☐ No ☒

If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Rights

Planning & Inspections Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

12. Owner of record TEMPLO CRISTIANO FUENTE DE VIDA INC 1009 GOMEZ RD, EL PASO, TX, 79932 (915) 778-2300
(Name & Address) (Zip) (Phone)
13. Developer TEMPLO CRISTIANO FUENTE DE VIDA INC 1009 GOMEZ RD, EL PASO, TX, 79932 (915) 778-2300
(Name & Address) (Zip) (Phone)
14. Engineer G-3ngineerig LLc 1901 Arizona Suite 205 El Paso, TX 79902 (915)209-5141
(Name & Address) (Zip) (Phone)

OWNER SIGNATURE: _____

REPRESENTATIVE SIGNATURE: _____

REPRESENTATIVE CONTACT (PHONE): Cell 915 274-7605

REPRESENTATIVE CONTACT (E-MAIL): Luis@g-3ng.com

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING
UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND
COMPLETENESS.

Planning & Inspections Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

ATTACHMENT 6

Planning and Inspections Department- Planning Division

Developer / Engineer shall address the following comments:

1. Submit to the Planning & Inspections Department – Planning Division the following prior to recording of the subdivision:
 - a. Current certificate tax certificate(s)
 - b. Current proof of ownership.
 - c. Release of access document, if applicable.
 - d. Set of restrictive covenants, if applicable.
2. Every subdivision shall provide for postal delivery service. The subdivider shall coordinate the installation and construction with the United States Postal Service in determining the type of delivery service for the proposed subdivision. In all cases, the type and location of delivery service shall be subject to the approval of the United States Postal Service.
3. Per El Paso Electric, please change the 10' easement to 10' wide utility easement and include the existing line.
4. Label all sections of cross-section.
5. Show dimensions from each property line to centerline of Gomez Road on both preliminary and final plats.
6. Sign to be relocated will need a building permit.
7. Provide the width of the roadway from the centerline on the cross-section.

Planning and Inspections Department- Land Development Division

We have reviewed subject plats and recommend **Approval**

The Developer/Engineer shall address the following comments

1. Verify location from Gomez Rd cross section A-A, because doesn't match with the existing R.O.W. (Property Line and existing Rock wall).
2. A portion of the Rock wall fence in front of the property is inside of the R.O.W., please verify.
3. A portion of the property area will be in the Flood zone according to the preliminary future FEMA maps. Meaning; that according to current maps from FEMA, the property is not in the flood zone area, but the property will be in the flood zone area in the future when new maps become effective. It is recommended to build 1 foot above the preliminary BFE for the affected lots.
4. Print-out of the mathematical closure is ok
5. Label the types of nails, rebars with caps stamped #s, markers, etc., POC & POB on the plat.

Parks and Recreation Department

We have reviewed **Gomez Subdivision Unit Two** a major combination plat map and on behalf of the Parks & Recreation Department, we offer the Developer / Engineer the following comments:

Please note that this subdivision is composed of **1 lot** zoned "R-2" and is required to comply with the parkland dedication ordinance Title 19 – Subdivision & Development Plats, **Chapter 19.20 - Parks & Open Space** in the form of "Park fees" based on requirements for residential subdivisions.

Applicant is proposing a Non-residential use, covenants need to be provided restricting all residential uses and if gross density waiver is granted by the City Manager of the Planning Department designee, then Applicant shall be required to pay "Park fees" at a rate of **\$1,000.00** per acre or portion thereof.

Applicant shall be required to pay "Park fees" in the amount of **\$930.00** calculated as follows:

Non-residential acreage **0.93** @ \$1,000 per acre = **\$930.00**

Please allocate generated funds under Park Zone: **NW-8**

Nearest Park: Sereno Park

If density/acreage is increased /decreased or the property zoning /use changes, then "Park fees" will be re-assessed based on applicable conditions

Streets and Maintenance Department

Traffic and Transportation Engineering:

No objections to application.

Grant exception waiver letter

Contract Management:

Indicate when placing Sidewalks the municipal Code Chapter 19.21 of Sidewalks shall be followed, and Chapter 13.04.020 Sidewalk Specifications.

Indicate that for driveways the municipal code chapter 13.12 shall be followed.

Indicate that any type of restoration must be compliant as per the Design Standards for Construction and its addendums.

Indicate that any type of water valve, manhole must have a concrete apron. and any city monuments if disturbed must be restored by a licensed surveyor.

El Paso Water

EPWater-PSB does not object to this request.

Water:

There is an existing 8-inch diameter water main that extends along Gomez Rd. This main is available for service.

EPWater-PSB records indicate an active ¾-inch domestic water meter serving the subject property. The service address for this meter is 1009 Gomez Rd.

Previous water pressure reading from fire hydrant #4522, located at the intersection of Gomez Rd. and Valley West St., has yielded a static pressure of 70 (psi), a residual pressure of 62 (psi), and a discharge of 711 (gpm).

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer main that extends along Gomez Rd., located approximately 20-feet south of the north right-of-way line. This main is available for service.

There is an existing 8-inch diameter sanitary sewer main that extends along Gomez Rd., located approximately 15-feet south of the north right-of-way line. This sanitary sewer main is approximately 12-feet in depth.

General:

EPWater-PSB requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater-PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

1. Was Gomez Subdivision (Unit 1) ever filed at the El Paso County?
2. Provide a conceptual Drainage Plan indicating existing and proposed major stormwater facilities as per Section 19.02.020 of the Municipal Code.

GOMEZ SUBDIVISION
UNIT TWO

TRACTS 1-B-5 AND 1-G,
BLOCK 9, UPPER VALLEY SURVEYS,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING IN ALL 40,320 SQ.FT
OR 0.93 ACRES

DEDICATION

STATE OF TEXAS
COUNTY OF EL PASO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

TEMPLO CRISTIANO FUENTE DE VIDA, INC, property owners of this land hereby presents this plat and dedicate
their respective portions of property to the use of the public, the utility easements, as hereon laid down and
designated, including easements for overhang of service wires for pole type utilities, and buried service wires,

Witness my signature this day of 20

By: Becca McBroom, Vice President

ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF EL PASO

Before me, the undersigned authority, on this day personally appeared Jacobo Rascon, known to me to
be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he
executed the same as the act and deed for the purpose and consideration herein expressed.

Given under my hand and seal of office this day of 20

Notary Public in and for El Paso County My Commission Expires

CITY PLAN COMMISSION

This subdivision is hereby approved as to the plotting and as to the conditions of the dedication in
accordance with Chapter 212 of the Local Government Code of Texas this

day of 20

Chairperson Executive Secretary

Approved for filing this day of 20

Planning and Inspections Director

FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas, this day

of 20, in File No. of the Plat Records.

County Clerk by Deputy

SURVEYOR

Barragan &
Associates Inc.

LAND PLANNING & LAND SURVEYING
TBPLS FIRM # 10151200
10950 Pellicano Dr. Bldg. F - El Paso, TX 79935
Phone (915) 591-5709 Fax (915) 591-5706

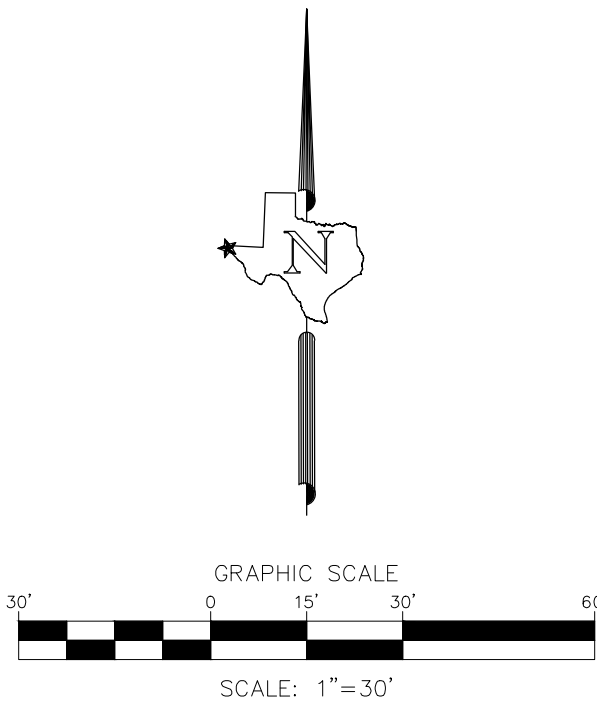
COPYRIGHT (C) 2024 BARRAGAN & ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF
THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL,
PHOTOCOPYING, OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN PERMISSION OF BARRAGAN & ASSOCIATES.

DATE OF PREPARATION: SEPTEMBER 2024

This plat represents a survey made on the ground
by me or under my supervision and complies with
the current Texas Board of Professional Land Survey
Professional and Technical Standards.

GENERAL NOTES:

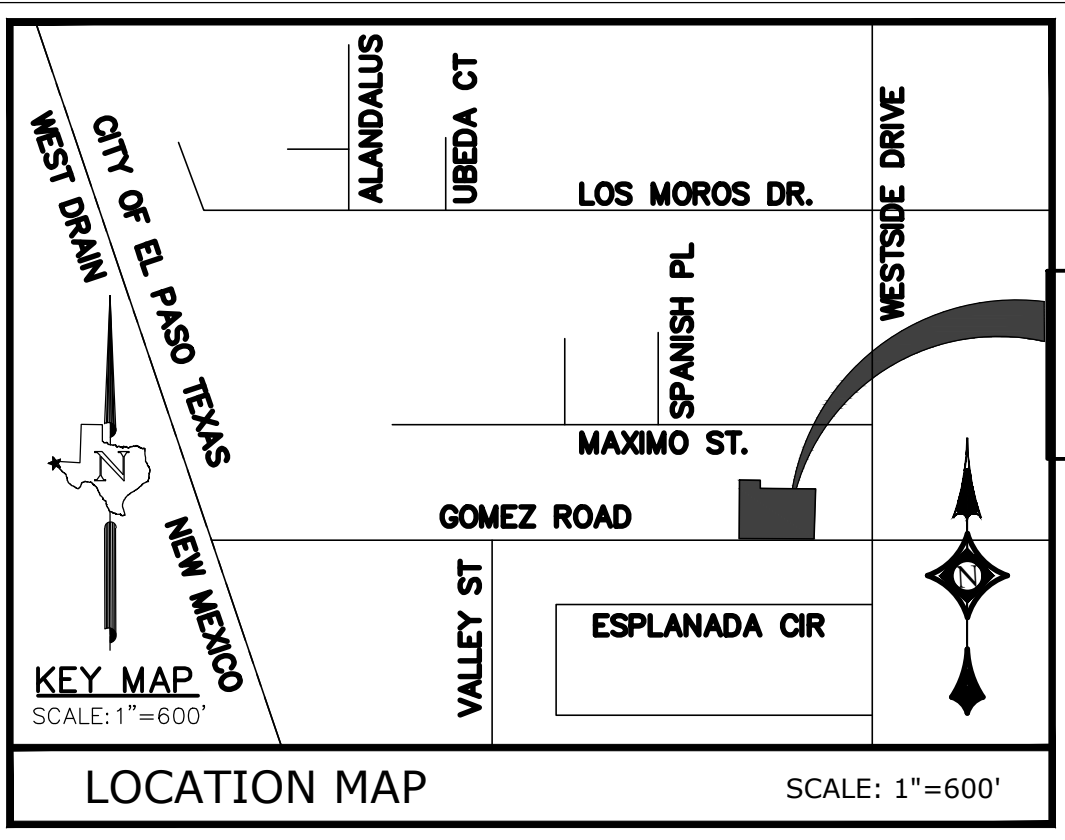
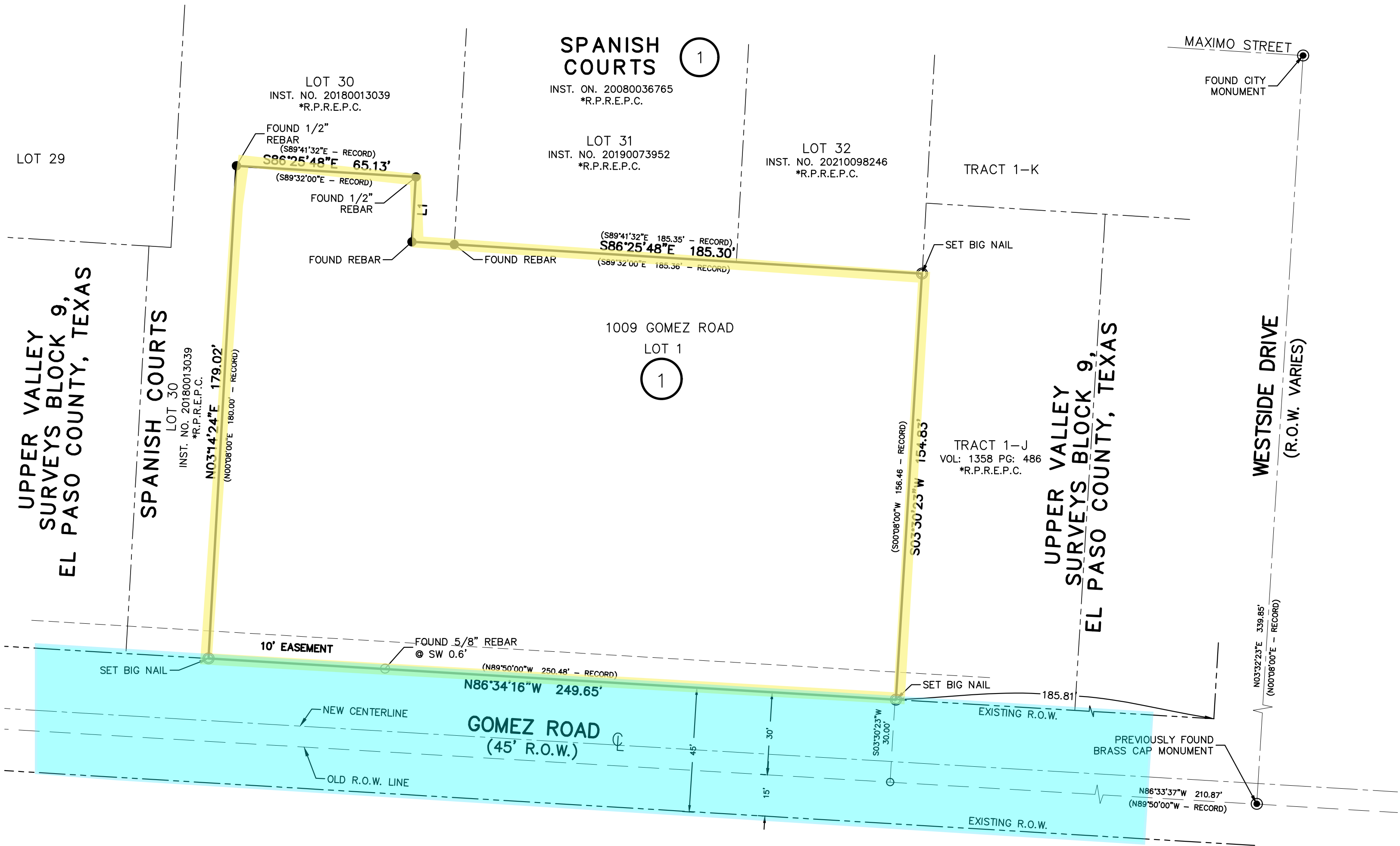
- TAX CERTIFICATE(S) FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION, INSTRUMENT No., DATE
- THIS IS TO CERTIFY THAT WATER AND SEWER SERVICES WILL BE PROVIDED TO GOMEZ SUBDIVISION UNIT TWO BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.543 OF THE TEXAS WATER CODE. WATER AND SEWER SERVICES WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON ARDELLE AVENUE & PENDLETON ROAD AND WILL BE CONSTRUCTED TO SERVE THE SUBDIVISION.
- THIS SUBDIVISION LIES WITH IN ZONE "X" AS DESIGNATED IN PANEL NO. 480212 0125 B, DATED SEPTEMBER 4, 1991, OF THE FLOOD INSURANCE RATE MAPS, EL PASO COUNTY, TEXAS. ZONE "X" INDICATES AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN.
- DEED REFERENCE: DOC# 20170022301, REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS.
- BEARINGS SHOWN ARE GRID DERIVED FROM RTK OBSERVATIONS TO THE TEXAS CO-OP NETWORK. REFERRED TO THE TEXAS COORDINATE SYSTEM (NAD 83) 2011, CENTRAL ZONE. DISTANCES ARE GROUND AND MAY BE CONVERTED TO GRID DIVIDING BY 1.000231.
- THIS PROPERTY MAY BE SUBJECT TO EASEMENTS WHETHER OF RECORD OR NOT. NO ADDITIONAL RESEARCH WAS PERFORMED BY B&A INC. FOR ANY RESERVATION, BUILDING LINE, AND OR EASEMENTS WHICH MAY NOT AFFECT SUBJECT PARCEL.
- POSTAL SERVICE WILL BE PROVIDED USING NEIGHBORHOOD DELIVERY AND/OR COLLECTION BOXES AS AGREED UPON BY THE US POSTAL SERVICE.
- LOT IS SUBJECT TO ON-SITE PONDING. BUILDER FOR INDIVIDUAL LOTS SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF THE ON-SITE POND CALCULATIONS IN ACCORDANCE TO THE CITY OF EL PASO STANDARDS, AT THE TIME OF CONSTRUCTION.
- THIS SUBDIVISION SHALL PROVIDE FOR POSTAL DELIVERY SERVICE. THE SUBDIVIDER WILL COORDINATE INSTALLATION AND CONSTRUCTION WITH THE UNITED STATES POSTAL SERVICE IN DETERMINING THE TYPE OF DELIVERY SERVICE FOR THE PROPOSED SUBDIVISIONS. IN ALL CASES, THE TYPE AND LOCATION OF DELIVERY SERVICE SHALL BE SUBJECT TO THE APPROVAL OF THE UNITED STATES POSTAL SERVICE.



LINE TABLE		
LINE	BEARING	LENGTH
L1	S03°22'53"W	23.57'

(S00°08'00"W - RECORD)

SCHOOL DISTRICT
CANUTILLO INDEPENDENT SCHOOL DISTRICT
7965 ARTCRAFT PO BOX 100 CANUTILLO, TEXAS
79835



PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone Number
OWNER:	TEMPLO CRISTIANO FUENTE DE VIDA, INC (ROBERTO GOMEZ)	1009 ARTCRAFT	EL PASO TEXAS (915) 778 2300
SURVEYOR:	BARRAGAN & ASSOCIATES INC.	10950 PELLICANO DR. BLDG. F	EL PASO, TX 79935 (915) 591-5709

GENERAL NOTES:

- TAX CERTIFICATE(S) FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION, INSTRUMENT No. _____, DATE _____.
- THIS IS TO CERTIFY THAT WATER AND SEWER SERVICES WILL BE PROVIDED TO GOMEZ SUBDIVISION UNIT TWO BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE. WATER AND SEWER SERVICES WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON ARDELLE AVENUE & PENDELTON ROAD AND WILL BE CONSTRUCTED TO SERVE THE SUBDIVISION.
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DUST AND EROSION CONTROL NOTE

CONTRACTOR SHALL MAKE PROVISIONS FOR TEMPORARY DUST AND EROSION CONTROL WHERE EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED. USE WATER SPRINKLING AND OTHER METHODS TO LIMIT DUST AND DIRT MIGRATION. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

BEFORE YOU DIG - CALL

EL PASO ELECTRIC COMPANY	1-800-592-1634
AT & T	1-877-213-1053
SOUTHERN UNION GAS COMPANY	(915) 544-6300
EMERGENCY HOT LINE	562-8411/562-2003
PUBLIC SERVICE BOARD (WATER&SEWER)	(915) 594-5500
SPECTRUM	1-833-287-6094
TEXAS GAS SERVICE	1-800-959-5325
TEXAS EXCAVATION SAFETY SYSTEM	811

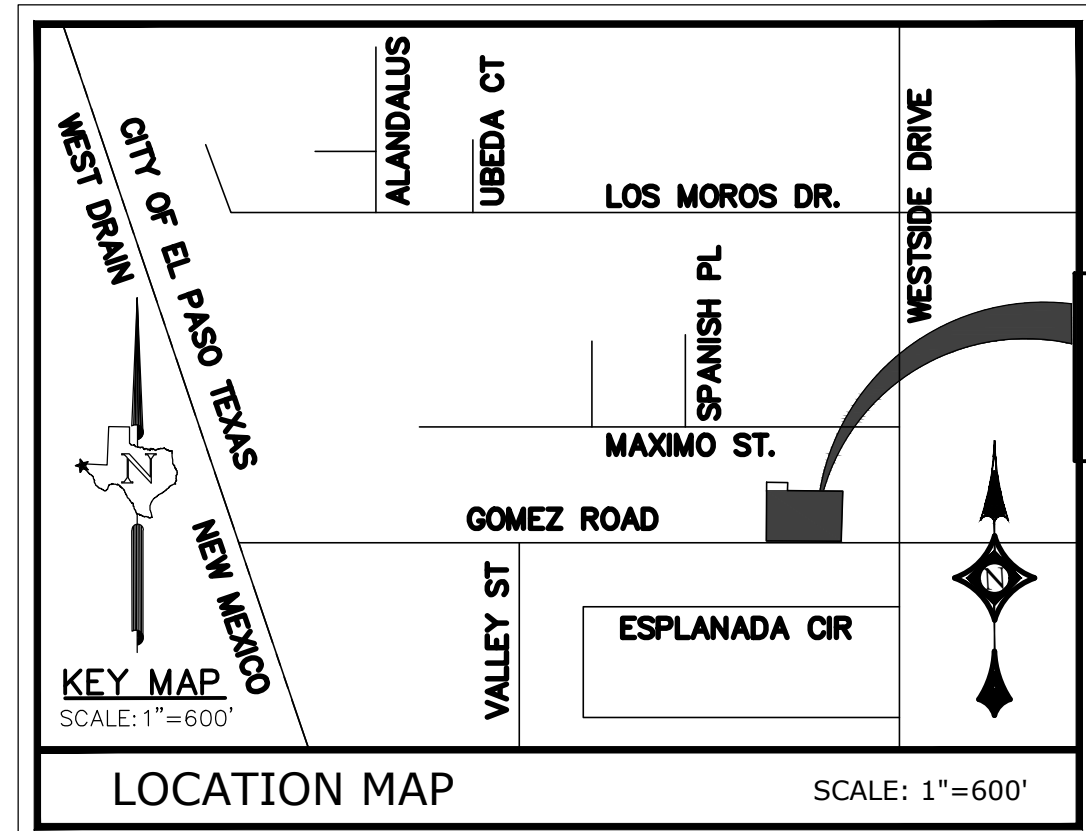
SCHOOL DISTRICT

CANUTILLO INDEPENDENT SCHOOL DISTRICT
7965 ARTCRAFT PO.BOX 100 CANUTILLO, TEXAS
79835

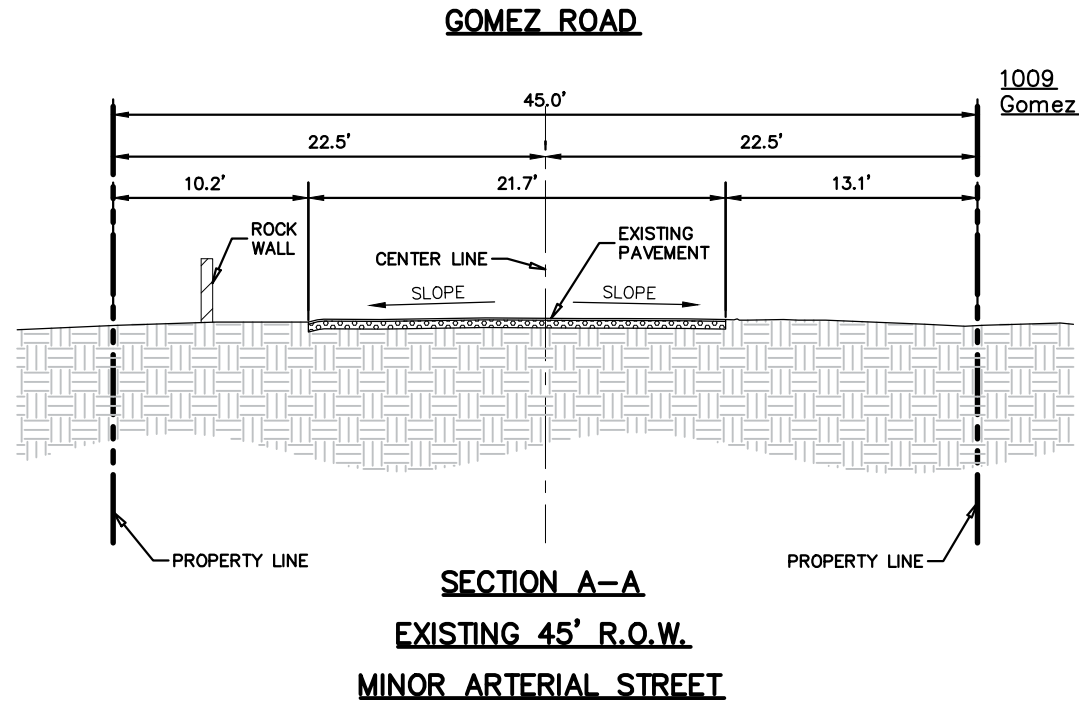
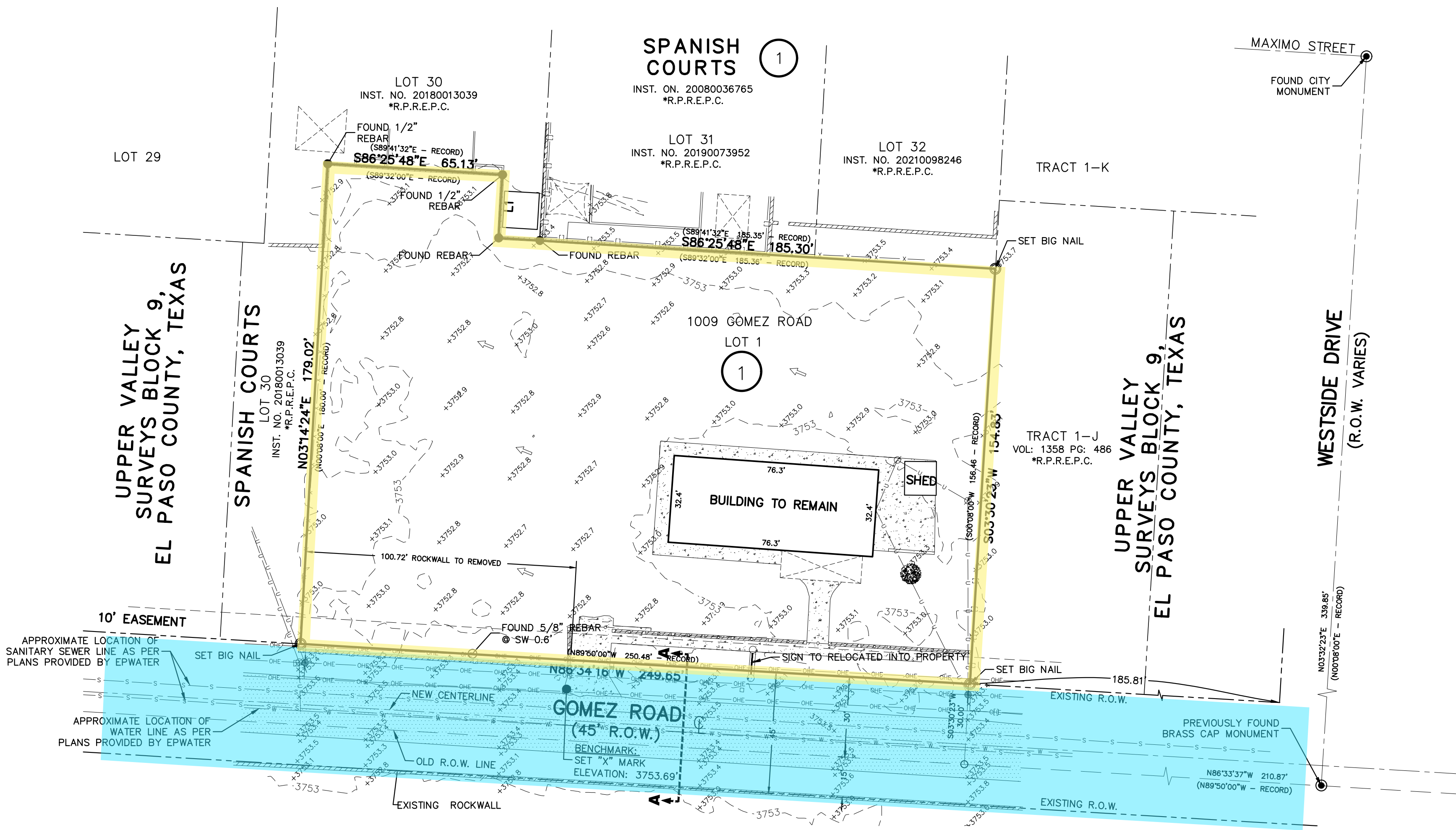
LINE TABLE		
LINE	BEARING	LENGTH
L1	S03°22'53"W	23.57' (S00°08'00"W - RECORD)

LEGEND

- CURB
- x- CHAIN LINK FENCE
- IRON FENCE
- ROCK WALL
- ANCHOR
- POWER POLE
- OVERHEAD POWER LINE
- CONCRETE
- PAVEMENT
- 3755— MAJOR CONTOUR
- 3753— MINOR CONTOUR
- SPOT ELEVATION
- PALM TREE
- BUSH/SHRUB
- TREE



GOMEZ SUBDIVISION UNIT TWO



PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone Number
OWNER:	TEMPLO CRISTIANO FUENTE DE VIDA, INC (ROBERTO GOMEZ)	1009 ARTCRAFT	EL PASO TEXAS (915) 778 2300
SURVEYOR:	BARRAGAN & ASSOCIATES INC.	10950 PELLICANO DR. BLDG. F	EL PASO, TX 79935 (915) 591-5709

SURVEYOR
Barragan & Associates Inc.
LAND PLANNING & LAND SURVEYING
TBPLS FIRM # 10151200
10950 Pellicano Dr. Bldg. F - El Paso TX 79935
Phone (915) 591-5709 Fax (915) 591-5706
DATE OF PREPARATION: SEPTEMBER 2024

GOMEZ SUBDIVISION

UNIT TWO

PRELIMINARY

TRACTS 1-B-5 AND 1-G, BLOCK 9,
UPPER VALLEY SURVEYS,
EL PASO COUNTY, TEXAS
CONTAINING IN ALL 40,320 SQ.FT
OR 0.93 ACRES

GENERAL NOTES

- UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM PLANS AND/OR REPORT PROVIDED TO THE SURVEYOR BY OTHERS AND FROM MARKINGS SET BY TEXAS 811. PROVIDED INFORMATION COMBINED WITH TEXAS 811 MARKING AND OBSERVED EVIDENCE OF UTILITIES WAS USED TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO CONFIRM, OBTAIN OR SHOW DATA CONCERNING THE DEPTH OR CONDITION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES, WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THE SUBJECT TRACT OF LAND, WHERE ADDITIONAL OR MORE DETAILED UNDERGROUND UTILITY INFORMATION IS REQUIRED, CONTRACTOR IS HEREBY ADVISED THAT EXCAVATION MAY BE NECESSARY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES FOR THE EXACT LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES INCLUDING UTILITIES NOT SHOWN ON PLANS. THE CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES AND ANY UTILITIES NOT SHOWN THIS PLAN DURING CONSTRUCTION. THE CONTRACTOR WILL PERFORM ALL UTILITY INSTALLATION, REMOVAL AND RELOCATION'S AS PER LOCAL UTILITY CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS ON SITE AND SHALL CONTACT THE DESIGN ENGINEER AND REPORT ANY DISCREPANCIES, OMISSIONS AND/OR ERRORS ON PLANS PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF EL PASO AND/OR APPLICABLE ENTITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITTING NECESSARY FOR EARTHWORK OPERATIONS.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES AND MANHOLE WITH RESPECTIVE UTILITY COMPANIES.
- CONTRACTOR SHALL PERFORM ALL EARTHWORK REQUIREMENTS AS PER GEOTECHNICAL STUDY REPORT.
- A CALL WAS PLACED TO TEXAS DIG SAFE NUMBER (811) TO ACQUIRE LINE-SPOTS.
- ALL MANHOLE/VAULT INVERT DATA PROVIDED HEREON (EG. PIPE SIZES, PIPE TYPES, FLOWLINE ELEVATIONS) IS MEASURED OR ESTIMATED FROM THE TOP OF THE STRUCTURE BY FIELD CREW PERSONNEL. WHILE REASONABLE PRECAUTIONS ARE ALWAYS TAKEN, B&A INC. EXPRESSLY ASSUMES NO LIABILITY FOR THE RISK OF OBTAINING INCORRECT VALUES INHERENT WHEN MAKING INDIRECT MEASUREMENTS OR ESTIMATES. NO UNDERGROUND UTILITY STRUCTURES ARE ENTERED BY B&A INC. PERSONNEL TO OBTAIN MEASUREMENTS DUE TO SAFETY CONCERNS



Legislation Text

File #: BC-613, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

SUSC25-00001: Montecillo Unit Eight Replat A - Being a replat of Blocks 1 and 2, Vin Madrid Street, and Vin Aragon Street Rights of Way, Montecillo Unit Eight and a portion of Castellano Drive Right of Way, Montecillo Unit 4 "A", City of El Paso, El Paso County, Texas

Location: South of Castellano Dr. and West of Mesa St.

Existing Zoning: SCZ-T4O (SmartCode; Transect 4O) and
SCZ -T1 (SmartCode; Transect 1)

Property Owner: EPT Mesa Development, LP

Representative: Brock & Bustillos

District: 8

Staff Contact: Armida R Martinez, (915) 212-1605,
MartinezAR@elpasotexas.gov

Montecillo Unit Eight Replat "A"

City Plan Commission — April 24, 2025



CASE NUMBER/TYPE:	SUSC25-00001 – Resubdivision Combination
CASE MANAGER:	Armida R. Martinez, (915) 212-1605, martinezar@elpasotexas.gov
PROPERTY OWNER:	EPT Mesa Development, LP
REPRESENTATIVE:	Brock & Bustillos
LOCATION:	South of Castellano Dr. and West of Mesa St. (District 8)
PROPERTY AREA:	6.09 acres
VESTED RIGHTS STATUS:	Not Vested
PARK FEES:	Park Fees Not Required
ZONING DISTRICT(S):	SCZ-T40 (SmartCode; Transect 40) and SCZ -T1 (SmartCode; Transect 1)

SUMMARY OF RECOMMENDATION: Staff recommends **APPROVAL WITH A CONDITION** of Montecillo Unit Eight Replat "A" on a Resubdivision Combination basis. The condition is as follows:

- *That the Montecillo Regulating Plan be adjusted to match the proposed street cross-sections prior to recording of the final plat.*

Montecillo Unit Eight Replat "A"

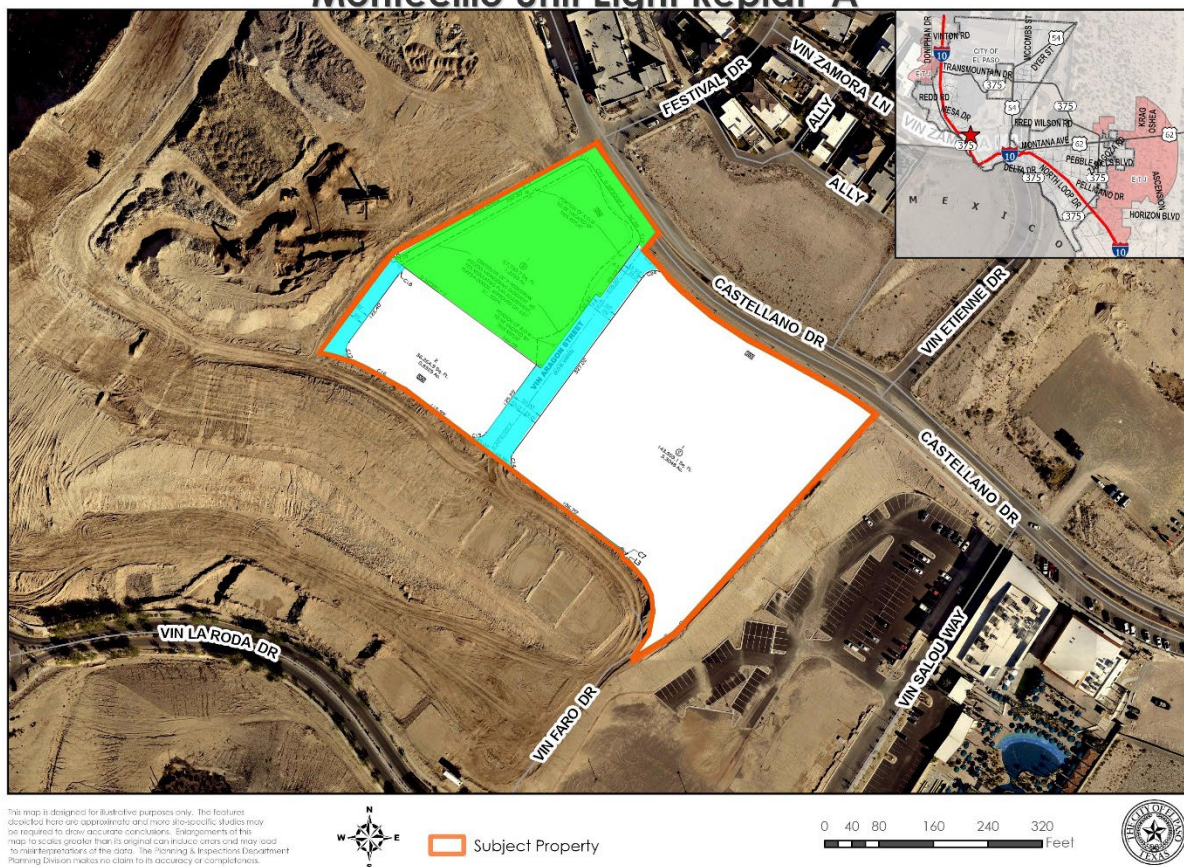


Figure A: Proposed plat with surrounding area

DESCRIPTION OF REQUEST: The applicant proposes to resubdivide 6.09 acres for the development of two apartment buildings and a 1.33-acre private park. The purpose of the replat is to vacate a portion of private right-of-way along Vin Madrid Street, Castellano Drive, and Vin Aragon Street, as well as a 10-foot utility easement within Blocks 1 and 2. Access to subdivision is from Castellano Drive, Vin Madrid Street, Vin Aragon Street and Vin Faro Lane. This application is being reviewed under the current subdivision code, and under Title 21 (SmartCode). The proposed condition is needed for this request to comply with the Montecillo Regulating Plan.

CASE HISTORY/RELATED APPLICATIONS: The City Plan Commission at its regular meeting on May 14, 2023, voted to approve Montecillo Unit Eight on a Resubdivision Combination basis.

NEIGHBORHOOD CHARACTER: Surrounding neighborhood characteristics are identified in the following table.

Surrounding Zoning and Use	
North	SCZ-T4O (SmartCode; Transect-4O) Vacant
South	SCZ-T4O (SmartCode; Transect-4O) Vacant
East	SCZ -T4O (SmartCode; Transect-4O) Residential Development
West	SCZ-T4O (SmartCode; Transect-4O) Vacant
Nearest Public Facility and Distance	
Park	A private park is proposed within the subdivision
School	Idea Mesa Hills Academy (0.79 miles)
Plan El Paso Designation	
G2, Traditional Neighborhood (Walkable)	
Impact Fee Service Area	
N/A	

CITY PLAN COMMISSION OPTIONS:

Subdivision

City Plan Commission (CPC) has sole and final authority on subdivision matters. Subdivision applications in conformance with all applicable code provisions shall be approved by the CPC. When a plat is brought forward to the CPC for review, the Commission may take any of the following actions:

1. **Approval:** The CPC finds that the proposed plat is in conformance with all applicable requirements of Title 19 of the El Paso City Code. **(Staff Recommendation)**
2. **Approval with Conditions:** The CPC may impose conditions that bring the proposed plat into conformance with all applicable requirements of Title 19 of the El Paso City Code.
3. **Denial:** The CPC finds that the proposed plat is not in conformance with all applicable requirements of Title 19 of the El Paso City Code.

ATTACHMENTS:

1. Aerial Map
2. Preliminary Plat
3. Final Plat
4. Application
5. Montecillo Regulating Plan
6. Department Comments

ATTACHMENT 1

Montecillo Unit Eight Replat "A"



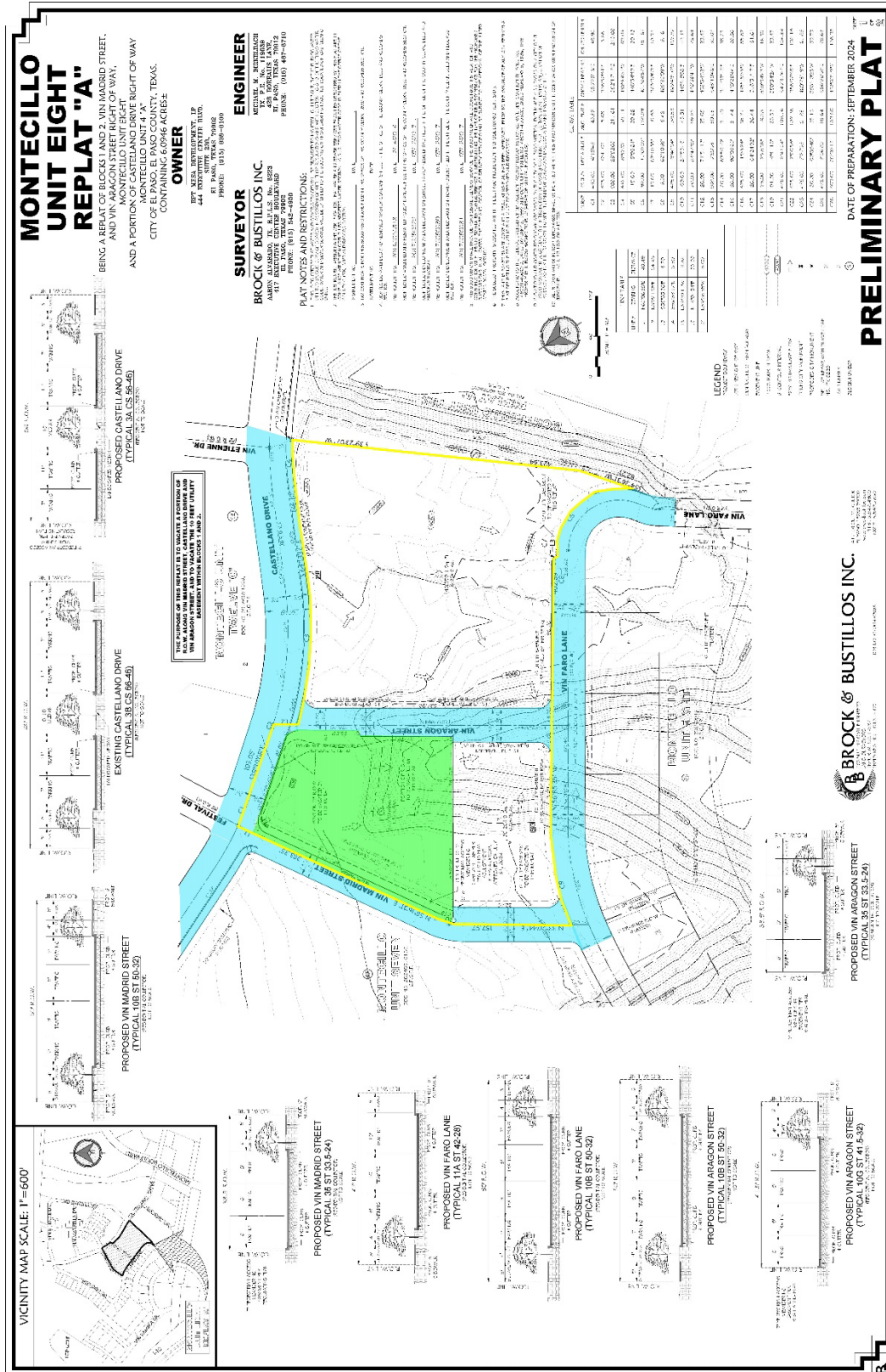
0 40 80 160 240 320 Feet

Subject Property

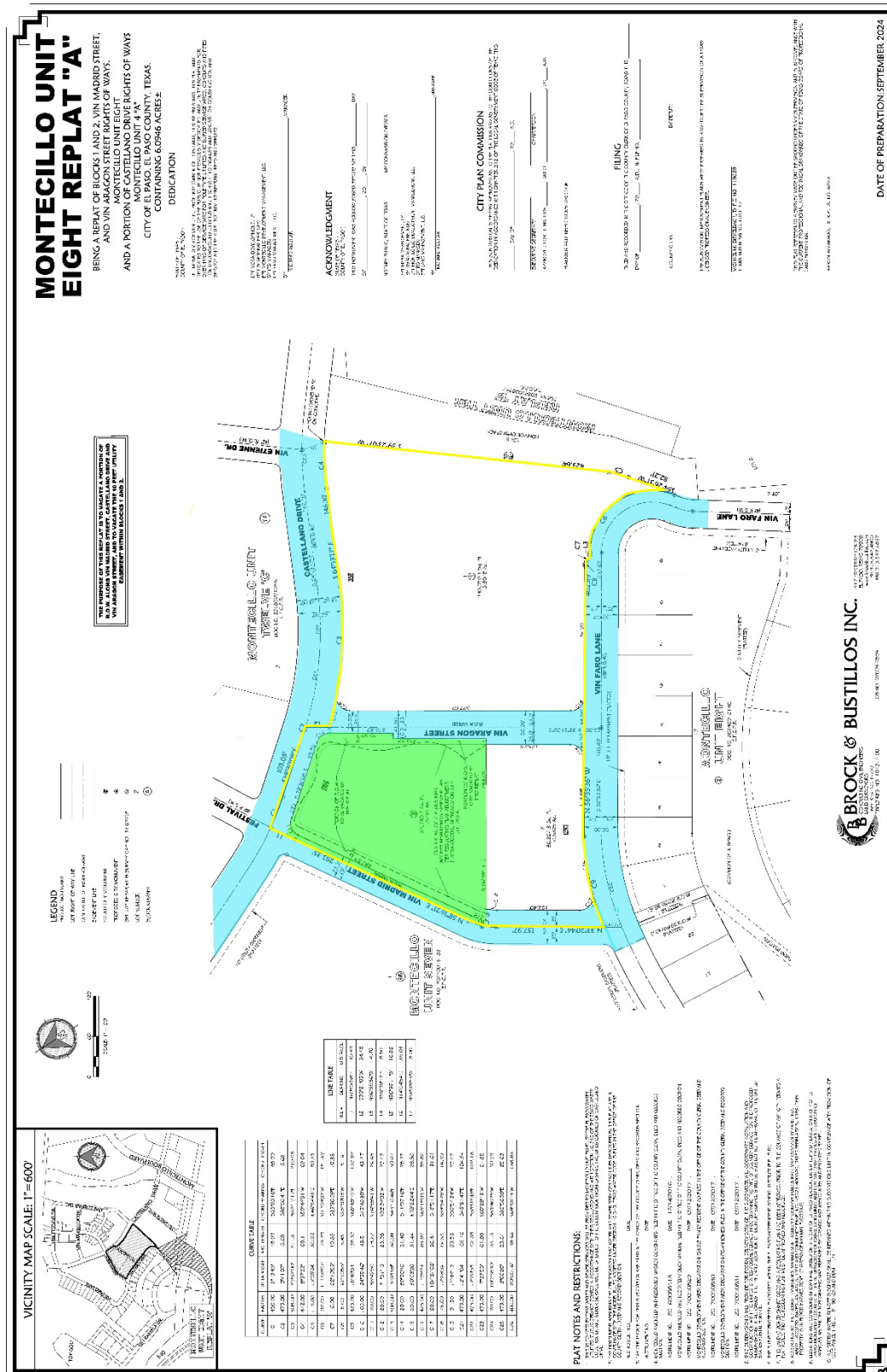


This map is designed for illustrative purposes only. The features shown on this map are not guaranteed to be accurate. The Planning & Inspections Department makes no claim to its accuracy or completeness.

ATTACHMENT 2



ATTACHMENT 3



ATTACHMENT 4



RESUBDIVISION COMBINATION APPLICATION

DATE: 12-19-24

FILE NO. SUSC25-00001

SUBDIVISION NAME: Montecillo Unit Eight Replat A

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)
All of Blocks 1 and 2, Vin Madrid Street and Vin Aragon Street Rights-of-Ways, Montecillo Unit Eight and a portion of Castellano Drive Rights-of-Ways, Montecillo Unit 4A
2. Property Land Uses:

	ACRES	SITES		ACRES	SITES
Single-family			Office		
Duplex			Street & Alley	0.6320	3
Apartment	4.1373	2	Ponding & Drainage		
Mobile Home			Institutional		
P.U.D.			Other (specify below)		
Park	1.3253	1			
School					
Commercial			Total No. Sites	6	
Industrial			Total (Gross) Acreage	6.0946	
3. What is existing zoning of the above described property? ^{SC} Proposed zoning? ^{SC}
4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? Yes ☒ No ☐
5. What type of utility easements are proposed: Underground ☐ Overhead ☐ Combination of Both ☐
6. What type of drainage is proposed? (If applicable, list more than one)
Surface runoff and underground storm network connection.
7. Are special public improvements proposed in connection with development? Yes ☐ No ☒
8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes ☐ No ☒
If answer is "Yes", please explain the nature of the modification or exception
9. Remarks and/or explanation of special circumstances:
10. Improvement Plans submitted? Yes ☒ No ☐
11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes ☐ No ☒


If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Rights


Planning & Inspections Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

12. Owner of record EPT Mesa Dev., LP 444 Executive Ctr. Blvd., Suite 208, El Paso, Tex
(Name & Address) (Zip) (Phone)

13. Developer EPT Mesa Dev., LP 444 Executive Ctr. Blvd., Suite 208, El Paso, Texas, 7
(Name & Address) (Zip) (Phone)

14. Engineer Brock & Bustillos, Inc. 417 Executive Ctr. Blvd., El Paso, Texas, 79902 915
(Name & Address) (Zip) (Phone)

OWNER SIGNATURE: David Bogas  Digitally signed by David Bogas
Date: 2024.12.20 11:28:30 -07'00'

REPRESENTATIVE SIGNATURE: Aaron Alvarado  Digitally signed by Aaron Alvarado
Date: 2024.12.19 16:16:22 -07'00'

REPRESENTATIVE CONTACT (PHONE): 915-542-4900 Ext. 136

REPRESENTATIVE CONTACT (E-MAIL): aaron@brockbustillos.com

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING
UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND
COMPLETENESS.

Planning & Inspections Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

ATTACHMENT 5

(SEE FOLLOWING PAGES)

PLRP24 - 00002

SMARTCODE APPLICATION EL

PASO, TEXAS

CODE OF ORDINANCES TITLE

21 APPLICATION

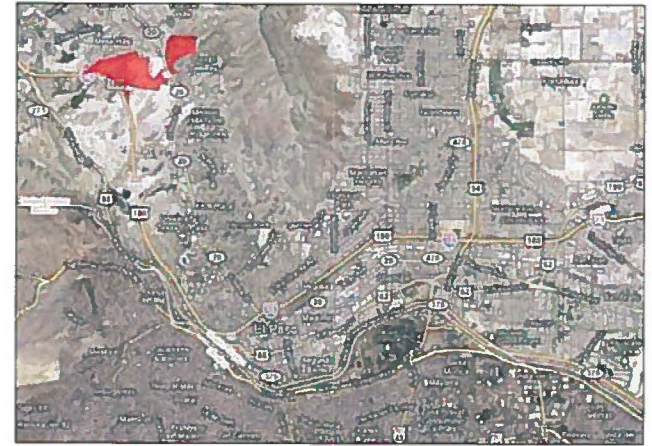
MONTECILLO

DEVELOPMENT REGULATING

PLAN

PREPARED FOR EPT LAND COMMUNITIES

As of July 31, 2024



Site Location

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Aerial	3
Legal Descriptions	4
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Thoroughfare Assignment	11
Thoroughfare Standards	14
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Pedestrian Trails	21
Playgrounds	22
Special Requirements	23
Warrants, Adjustments	24
Black and White Copy for Recording	26



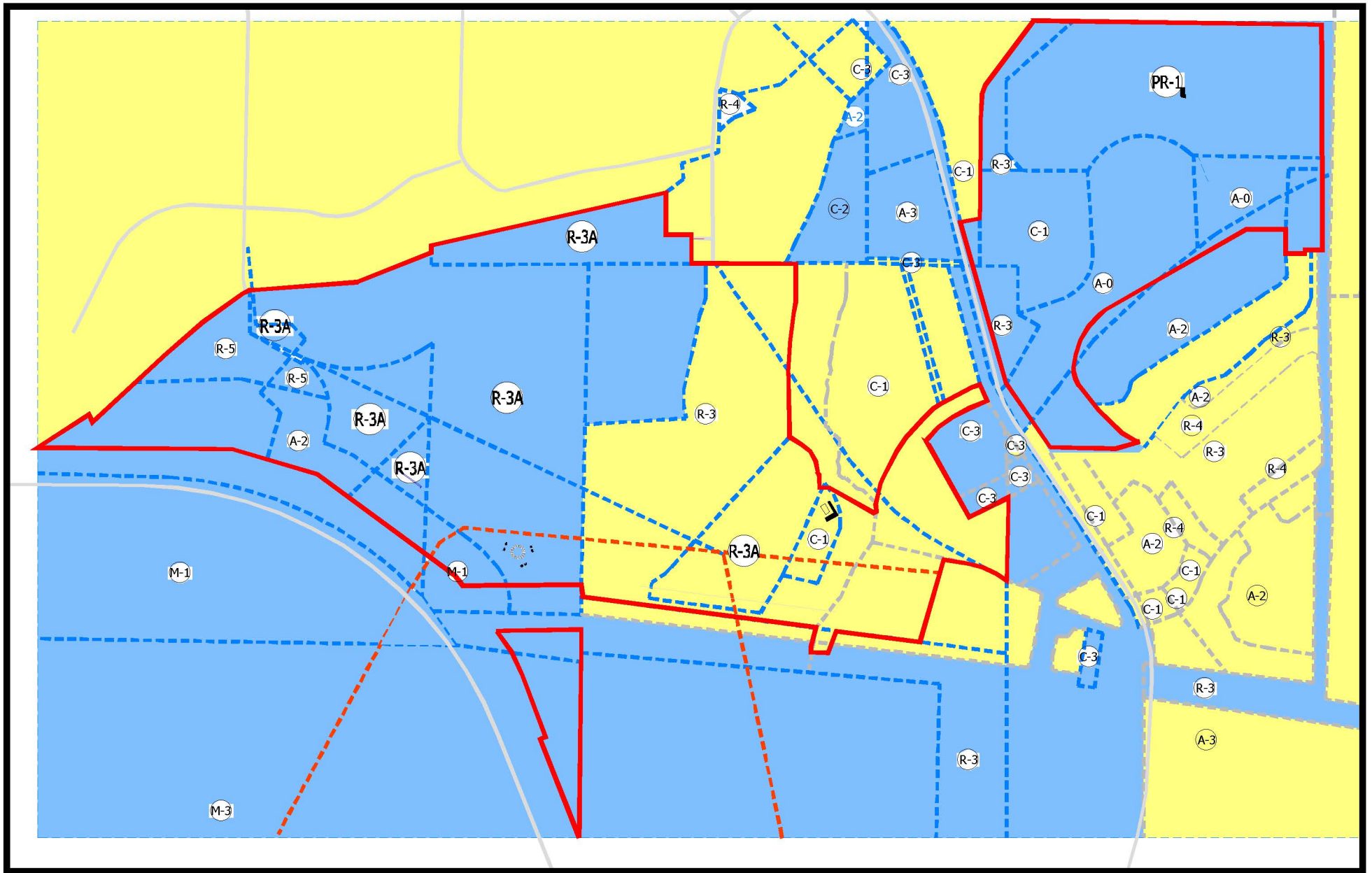
Description	Legal	Acreage
Planned Parenthood	A portion of Tract 6A, now known as Tract 6J, A.F. MILLER SURVEY No. 216, in the City of El Paso, El Paso County, Texas, according to the map filed for tax purposes at the El Paso Central Appraisal District	0.06490
Lomas Surgical	A portion out of Lot 1, Block 1, LOMAS SURGICAL CENTER, an addition to the City of El Paso, El Paso County, Texas, according to the map thereof on file in Book 73, Page 23, Plat Records of El Paso County, Texas	0.70800
Asarco	Tract 1, JOHN BARKER SURVEY No. 10, an addition in the City of El Paso, El Paso County, Texas, according to the resurvey of said JOHN BARKER SURVEY No. 10 by El Paso County, Texas for tax purposes	125.95600
Cemex - Parcel 1	Tract 4F2B, A.F. MILLER SURVEY NO. 215, in the City of El Paso, El Paso County, Texas, according to the map filed for tax purposes at the El Paso Central Appraisal District	9.00900
Cemex - Parcel 2	Tract 3A, JOHN BARKER SURVEY NO. 10, in the City of El Paso, El Paso County, Texas, according to the map filed for tax purposes at the El Paso Central Appraisal District	24.80900
Cemex - Parcel 3 & 4	Tracts 6 and 7, I.F. HARRISON SURVEY NO. 54, in the City of El Paso, El Paso County, Texas, according to the map filed for tax purposes at the El Paso Central Appraisal District	47.55400
Cemex - Parcel 5	Tract 4, JOHN BARKER SURVEY NO. 10, in the City of El Paso, El Paso County, Texas, according to the map filed for tax purposes at the El Paso central Appraisal District	6.90931
Cemex - Parcel 6	Tract 3, JOHN BARKER SURVEY NO. 10, in the City of El Paso, El Paso county, Texas, according to the map filed for tax purposes at the El Paso Central Appraisal District	17.83262
Cemex - Parcel 7	A portion of Tract 5A, JOHN BARKER SURVEY NO. 10, in the City of El Paso, according to the map filed for tax purposes at the El Paso Central Appraisal District and a portion of I.F. HARRISON SURVEY NO. 54, in the City of El Paso, El Paso County, Texas, according to the map filed for tax purposes at the El Paso Central Appraisal District	1.42940
Lemiro - Parcel 1	Lot 1, Block 3, KINGS HILLS REPLAT, an addition to the City of El Paso, El Paso County, Texas, according to the plat thereof on file in Volume 44, Page 15, Real Property Records, El Paso County, Texas	2.35500
Lemiro - Parcel 2	A portion out of Tract 6A, now known as Tract 6G, A.F. MILLER SURVEY NO. 216 in the City of El Paso, El Paso County, Texas, according to the resurvey of said A.F. MILLER SURVEY NO. 216 made by El Paso County, Texas for tax purposes	9.27100
Residential Vista	A parcel of land being Tract 21, JOHN BARKER SURVEY NO. 10 and Tract 4A and portion of Tract 6A, A.F. Miller Survey No. 216, City of El Paso, El Paso County, Texas	72.28000
	TOTAL ACREAGE	318.17823

SAVE AND EXCEPT

The Retreat	Lot 3 Block 9 Montecillo Unit Three Replat "A"	4.50320
The Venue - Parcel 1	Lot 1A, Block 1, MONTECILLO UNIT ONE REPLAT A, an Addition to the City of El Paso, El Paso County, Texas, according to the map thereof recorded under Instrument No. 20110018395, Real Property Records of El Paso County, Texas	4.04840
The Venue - Parcel 2	Lot 1, Block 2, MONTECILLO UNIT TWO, an addition to the City of El Paso, El Paso County, Texas, according to the map thereof recorded under Instrument No. 20090006768, Plat Records of El Paso County, Texas	4.67960
Capital Bank	A portion of Lot 1, Block 1, MONTECILLO UNIT ONE, an Addition to the City of El Paso, El Paso County, Texas, according to the Map thereof recorded under Instrument No. 20080068640, Plat Records of El Paso County, Texas	1.64040
EPISD	Lot 2, Block 2, MONTECILLO UNIT THREE, an Addition to the City of El Paso, El Paso County, Texas, according to the map thereof recorded under Instrument No. 20090015123, Plat Records of El Paso County, Texas	14.41680
	TOTAL TO SAVE AND EXCEPT	29.28840

NET ACREAGE

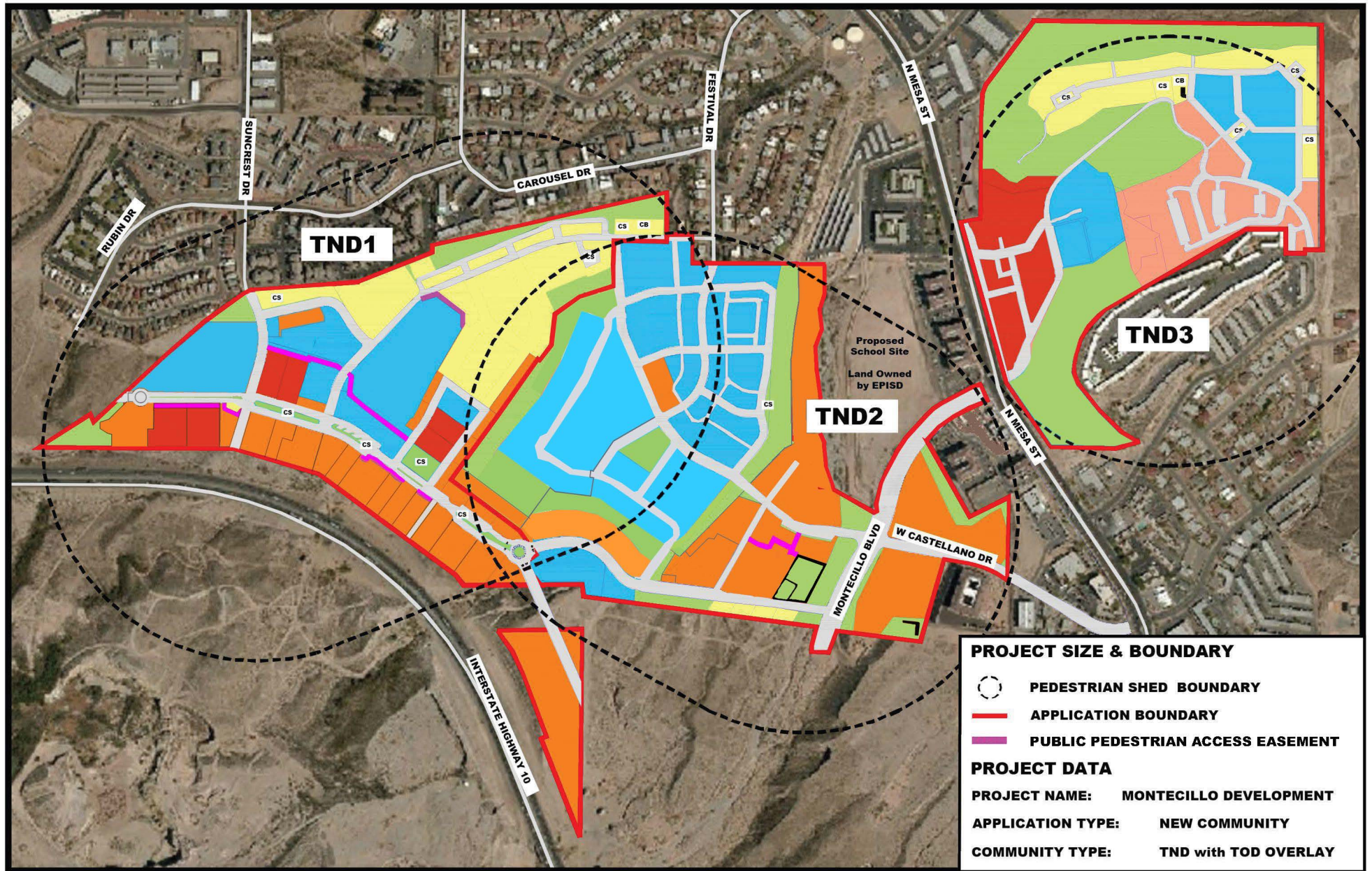
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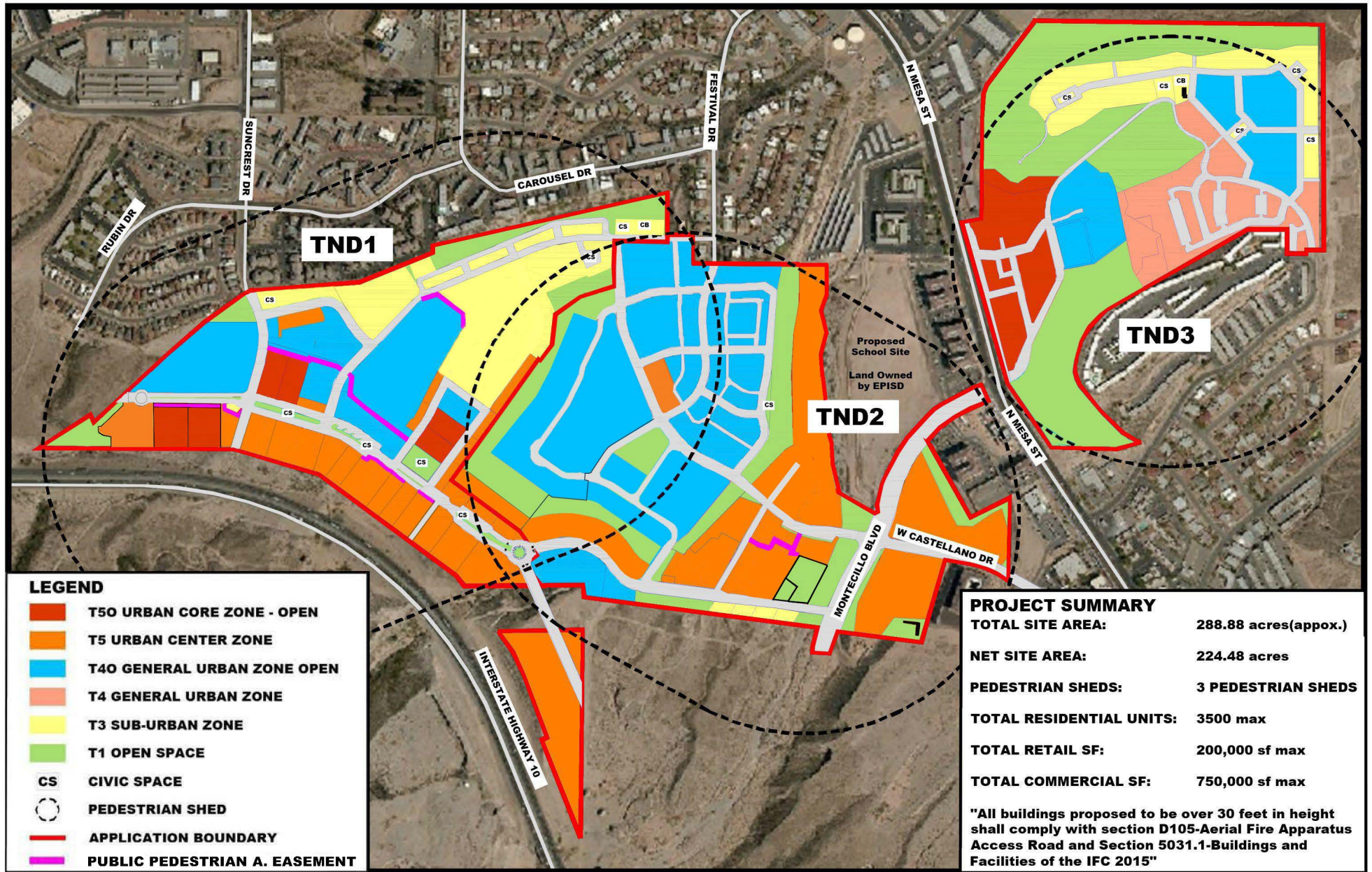
ORIGINAL ZONING



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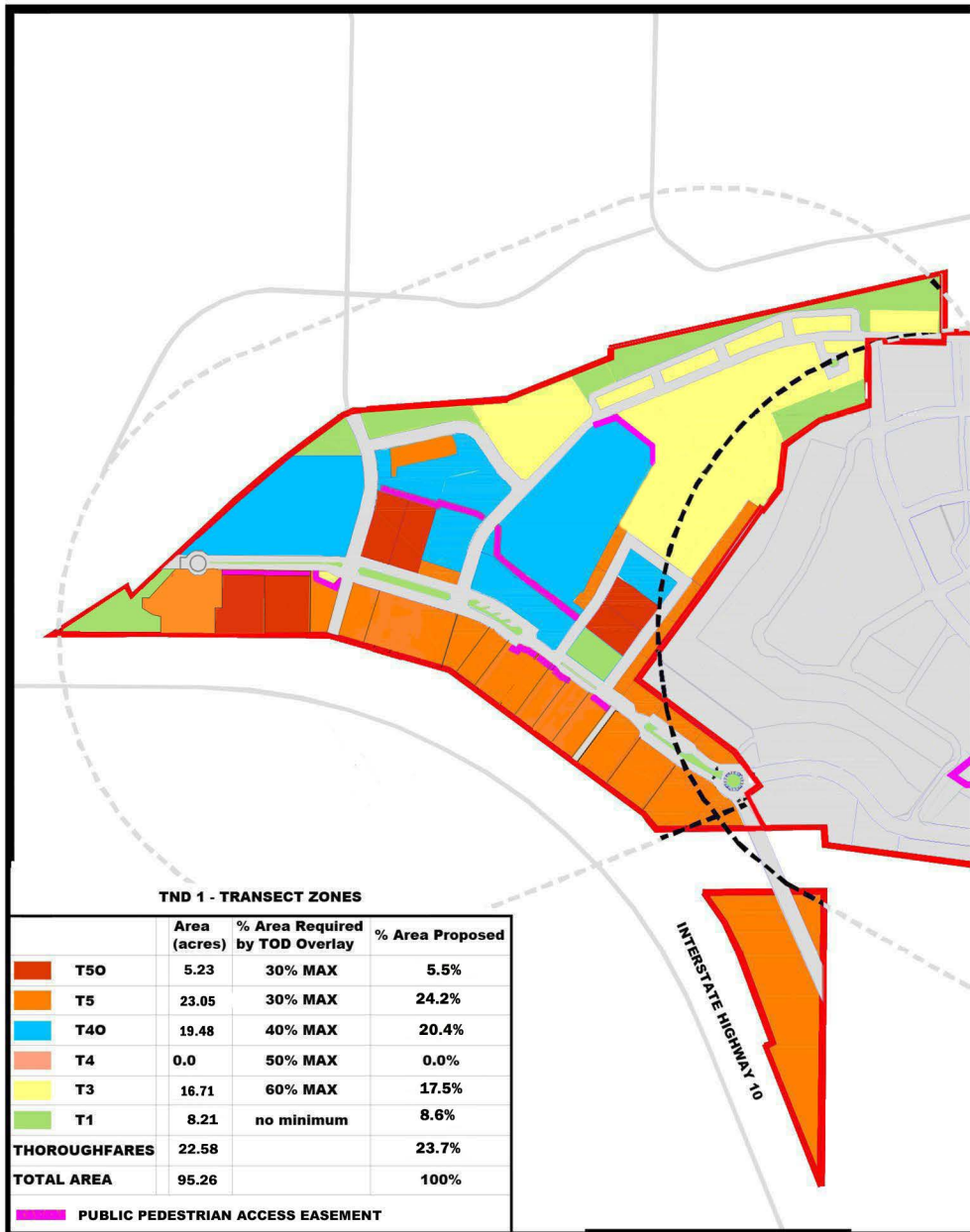
PROJECT BOUNDARY



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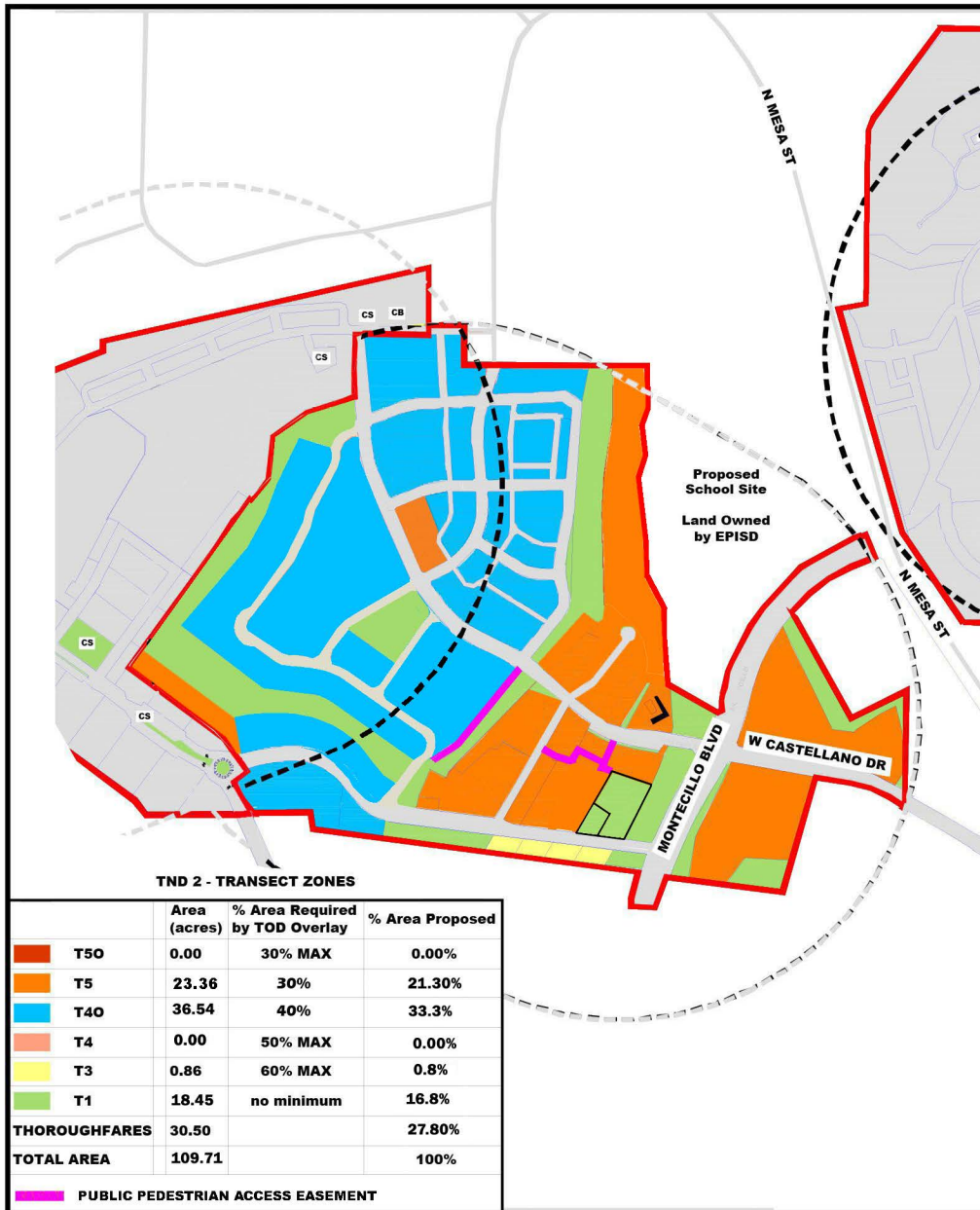
TRANSECT ZONE ALLOCATION



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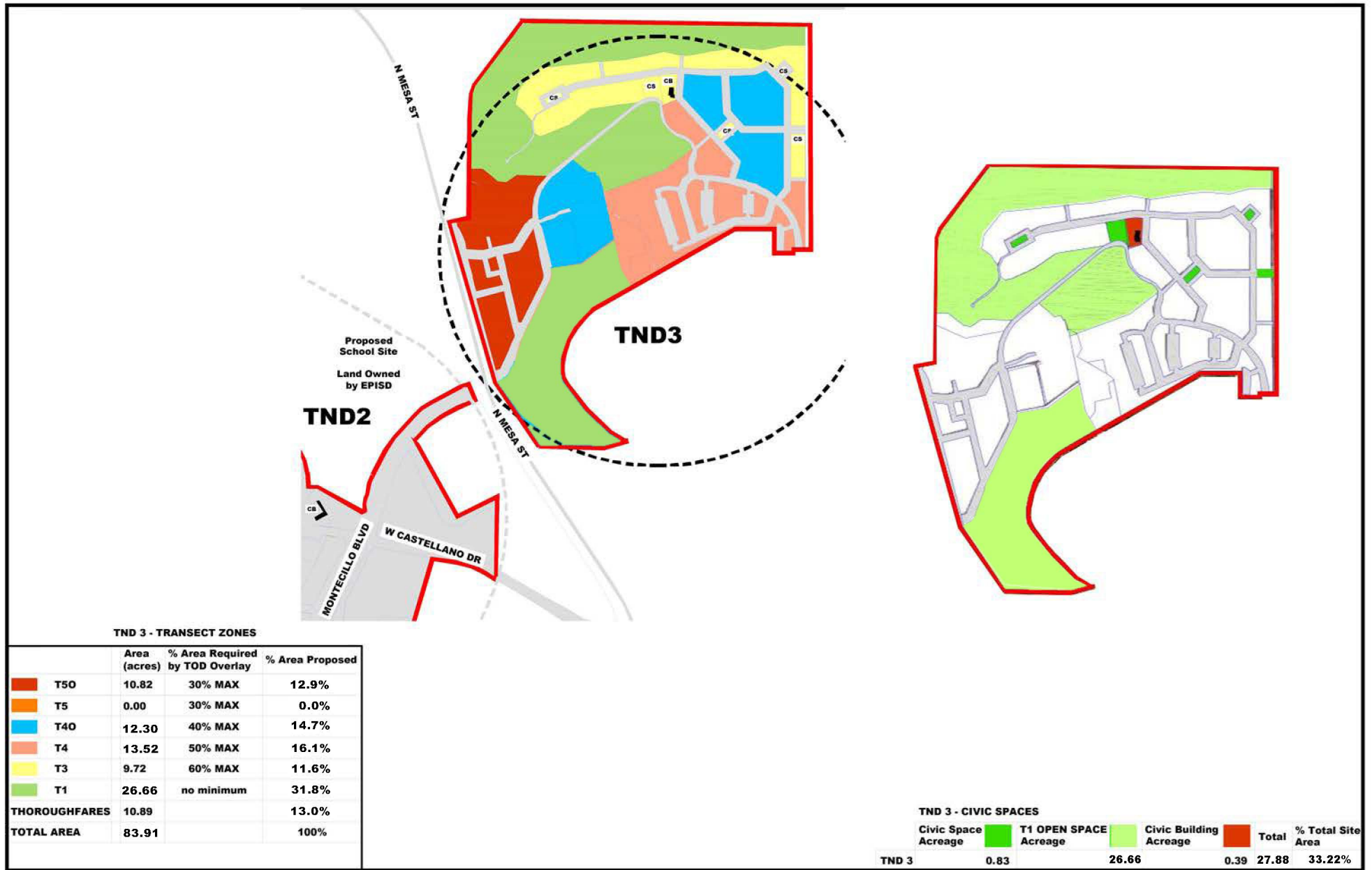
PROJECT SUMMARY TND 1



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PROJECT SUMMARY TND 2



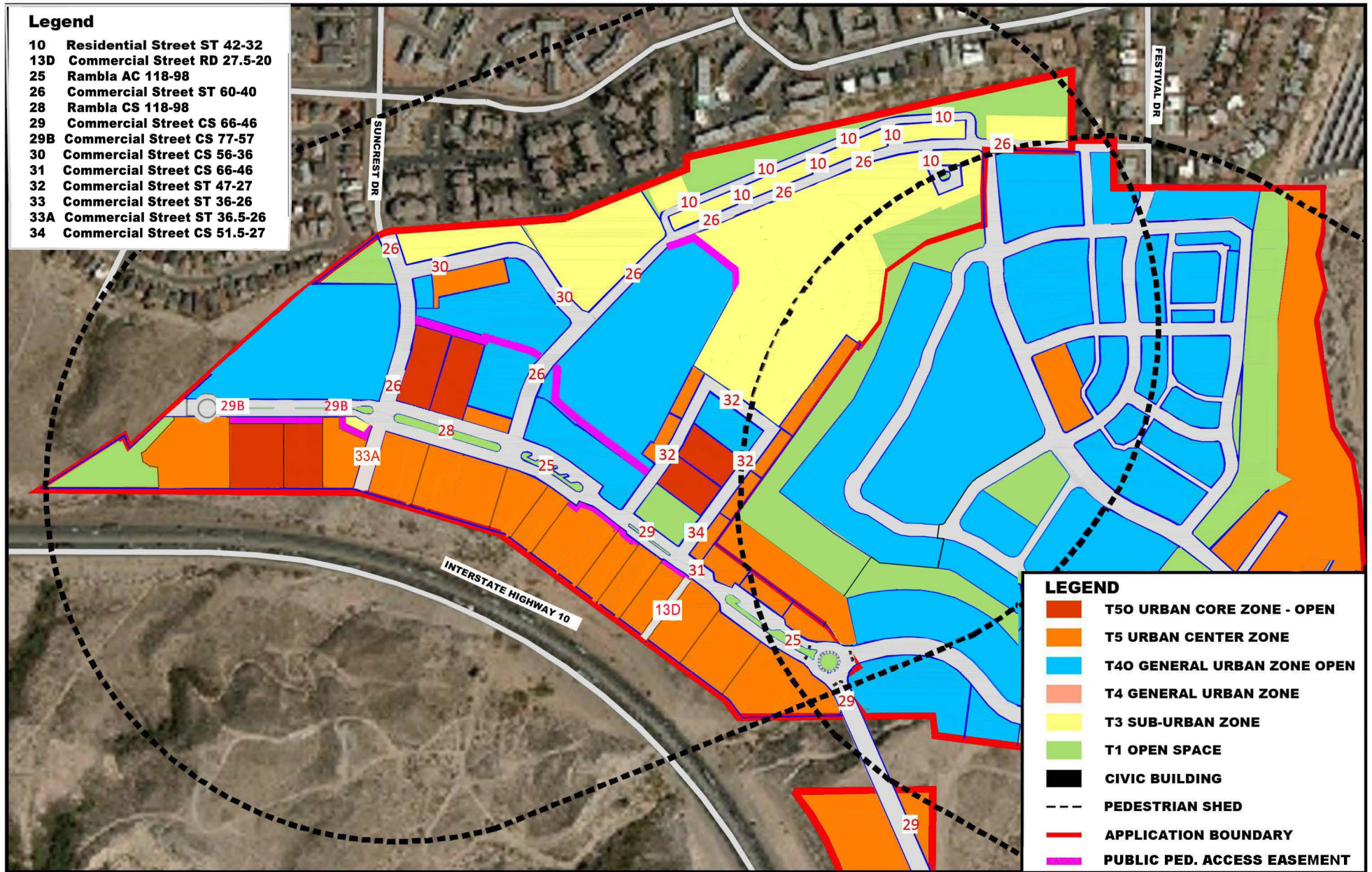
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PROJECT SUMMARY TND 3

Legend

- 10 Residential Street ST 42-32
- 13D Commercial Street RD 27.5-20
- 25 Rambla AC 118-98
- 26 Commercial Street ST 60-40
- 28 Rambla CS 118-98
- 29 Commercial Street CS 66-46
- 29B Commercial Street CS 77-57
- 30 Commercial Street CS 56-36
- 31 Commercial Street CS 66-46
- 32 Commercial Street ST 47-27
- 33 Commercial Street ST 36-26
- 33A Commercial Street ST 36.5-26
- 34 Commercial Street CS 51.5-27



LEGEND

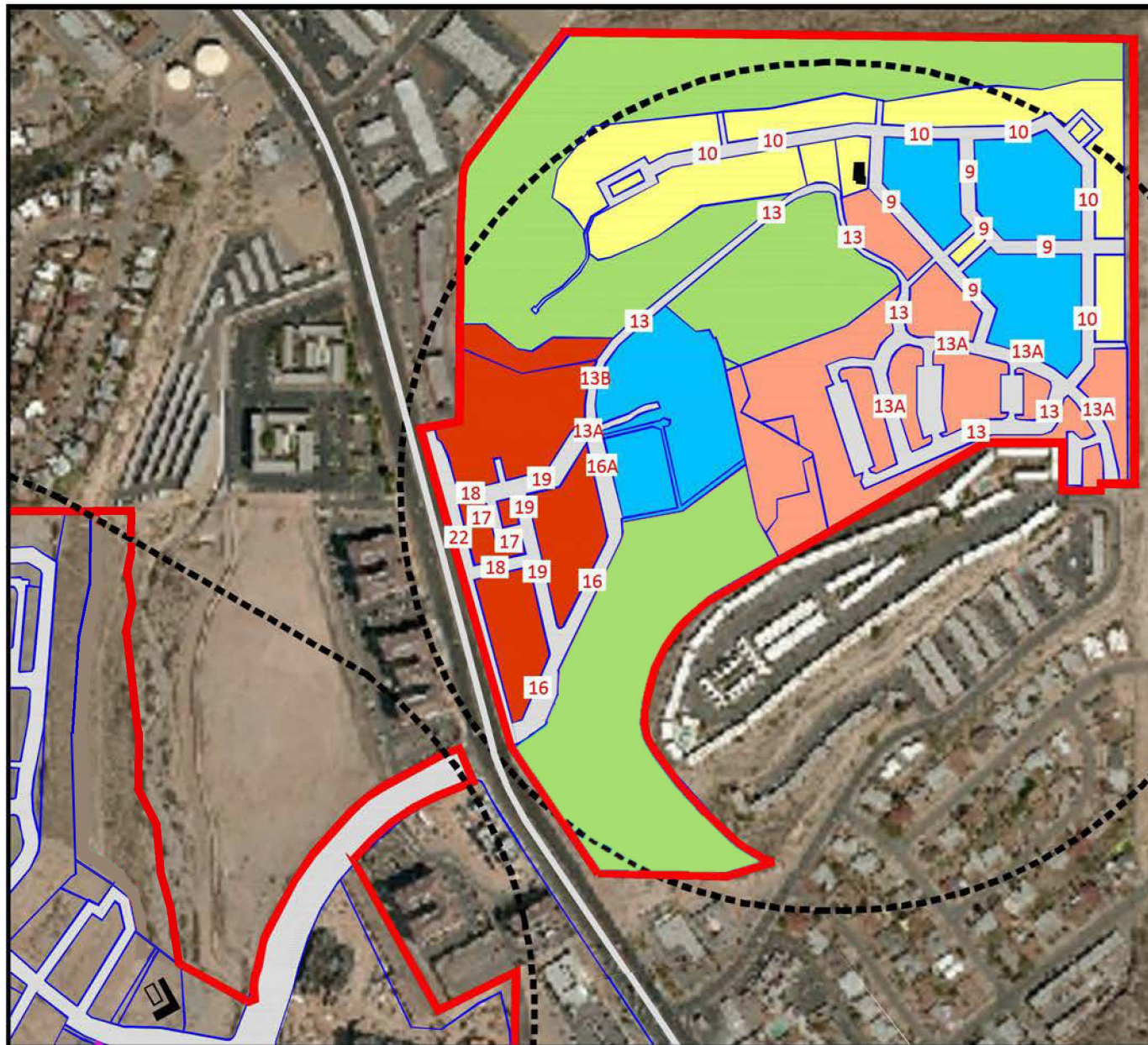
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- T5 URBAN CENTER ZONE
- T40 GENERAL URBAN ZONE OPEN
- T4 GENERAL URBAN ZONE
- T3 SUB-URBAN ZONE
- T1 OPEN SPACE
- CIVIC BUILDING
- PEDESTRIAN SHED
- APPLICATION BOUNDARY
- PUBLIC PED. ACCESS EASEMENT

SCALE:1"=500'



THOROUGHFARE ASSIGNMENT TND1





Legend

- 9 Residential Street ST 45-34
- 10 Residential Street ST 42-32
- 10A Residential Street ST 45-27
- 13 Mountain Road RD 27-20
- 13A Mountain Road RD 32-20
- 13B Mountain Road RD 27-20
- 16 Commercial Street CS 52-37
- 16A Commercial Street CS 61-35
- 17 Commercial Street CS 30-29
- 18 Commercial Street CS 35-34
- 19 Commercial Street CS 35-34 FIRELANE
- 22 Slip Lane SL 42.5-34

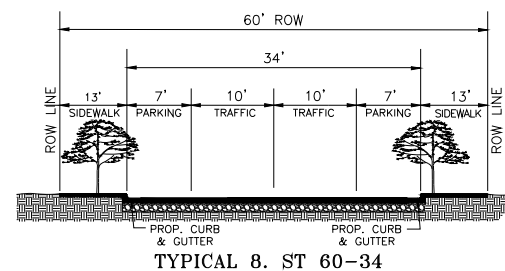
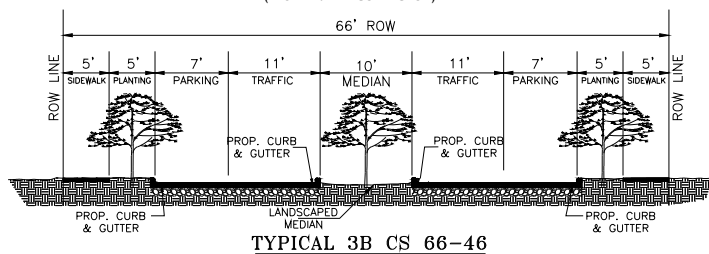
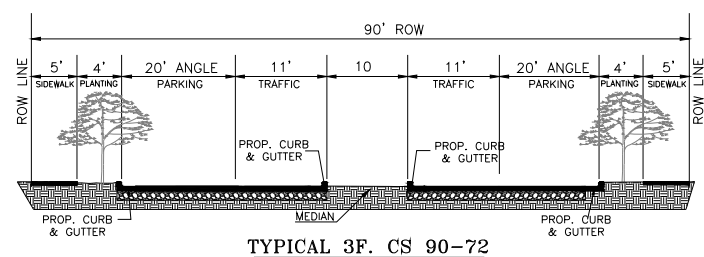
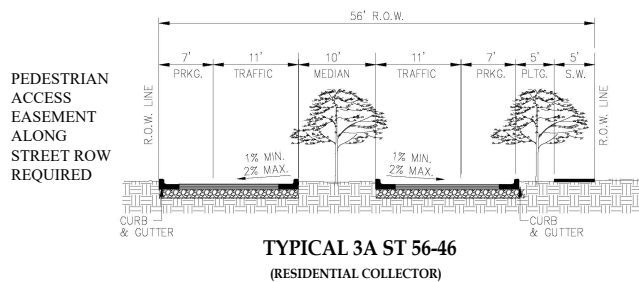
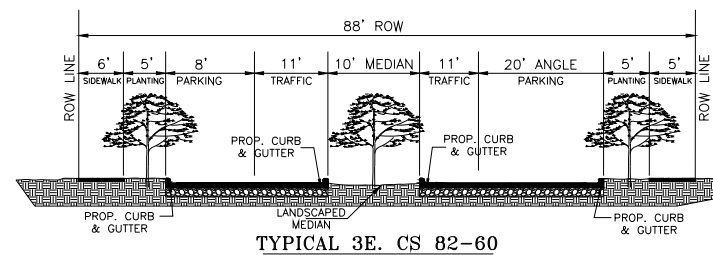
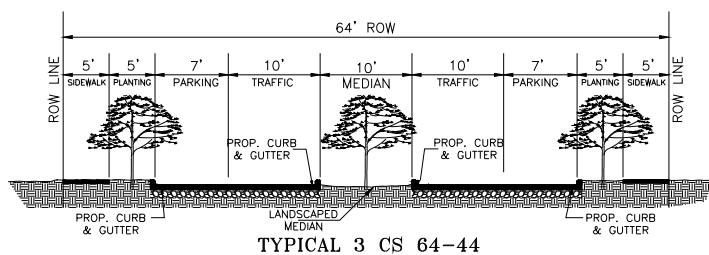
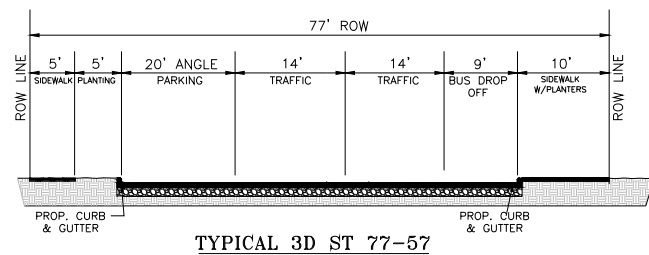
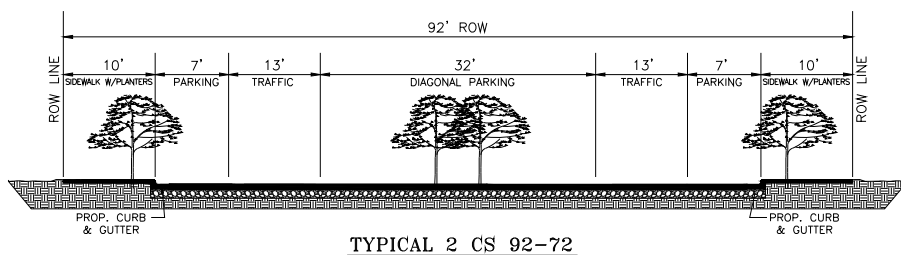
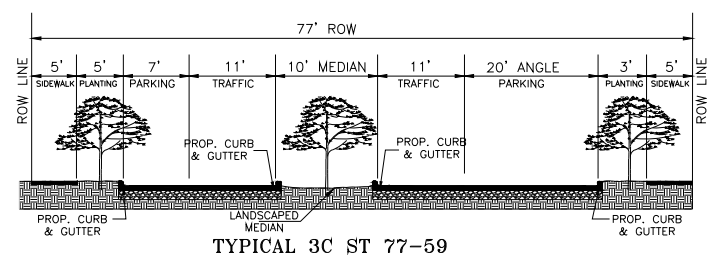
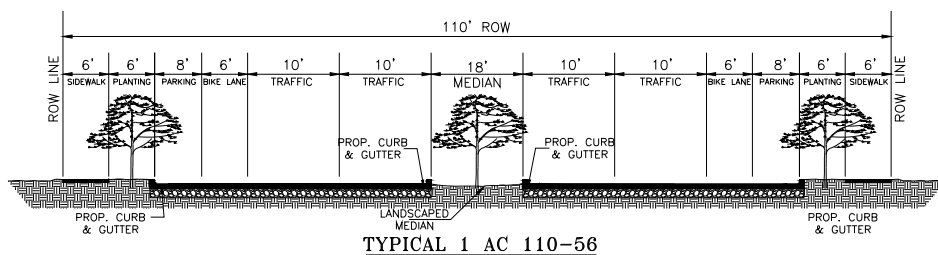
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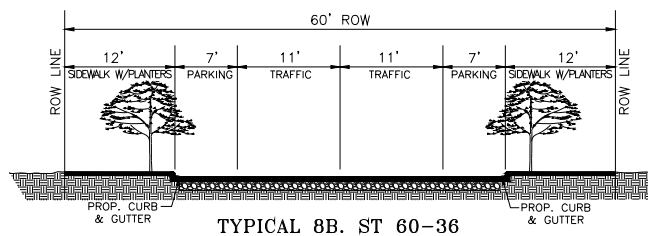
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- T5 URBAN CENTER ZONE
- T40 GENERAL URBAN ZONE OPEN
- T4 GENERAL URBAN ZONE
- T3 SUB-URBAN ZONE
- T1 OPEN SPACE
- CIVIC BUILDING
- PEDESTRIAN SHED
- APPLICATION BOUNDARY

SCALE: 1"=500'

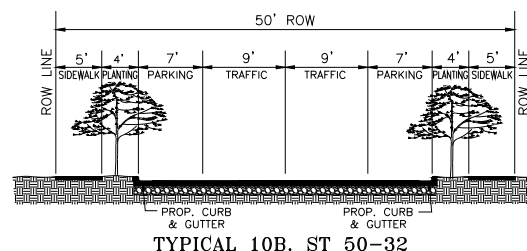


THOROUGHFARE ASSIGNMENT TND3

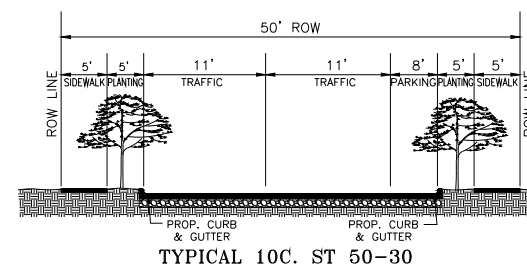
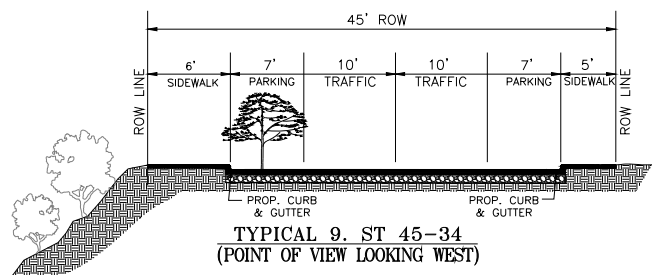




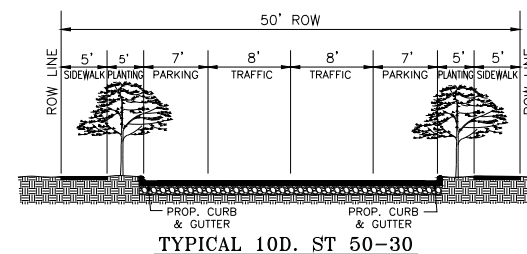
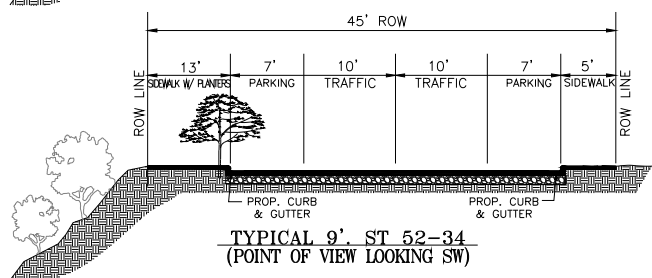
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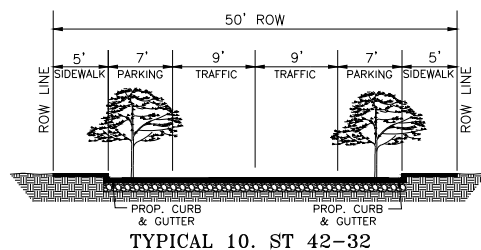
TYPICAL 10B. ST 50-32



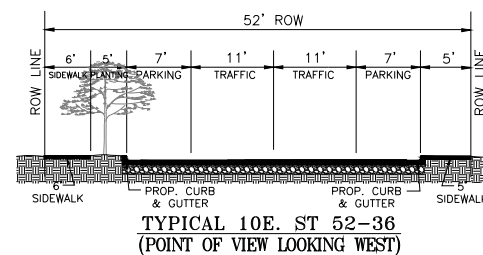
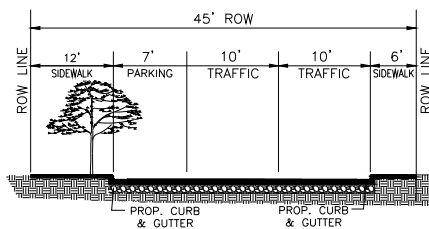
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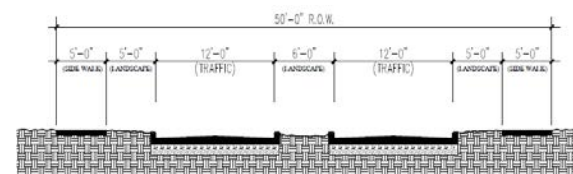
TYPICAL 10D. ST 50-30



TYPICAL 10. ST 42-32

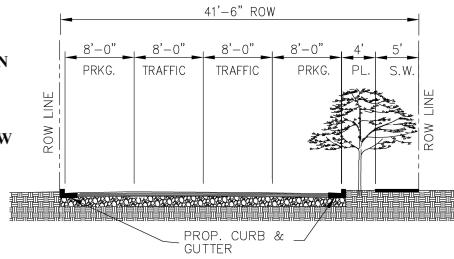
TYPICAL 10E. ST 52-36
(POINT OF VIEW LOOKING WEST)

TYPICAL 10A. ST 45-27

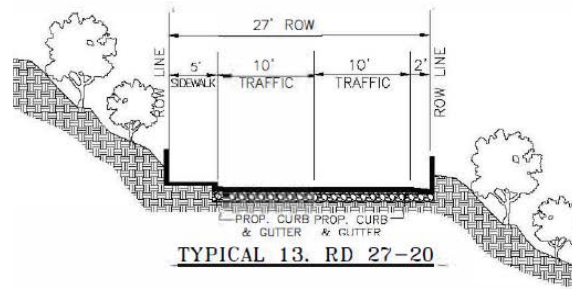


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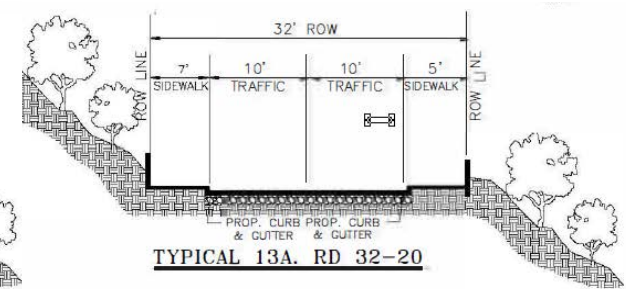
PEDESTRIAN
ACCESS
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STREET ROW
REQUIRED



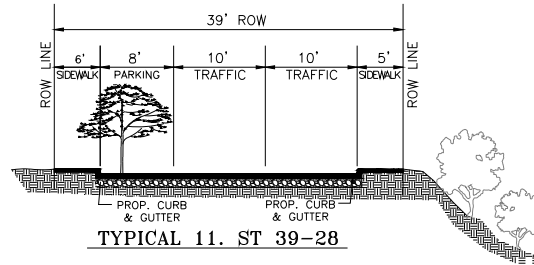
TYPICAL 10G ST 41.5-32



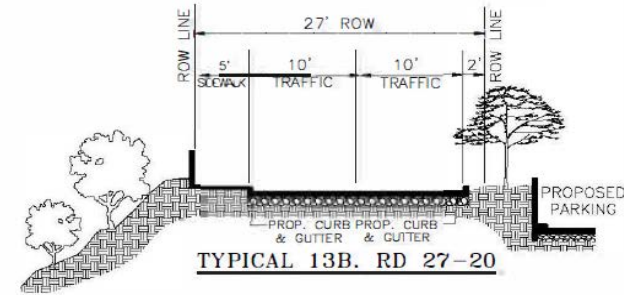
TYPICAL 13. RD 27-20



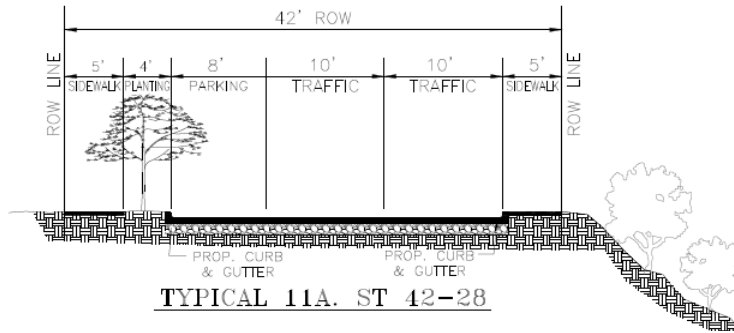
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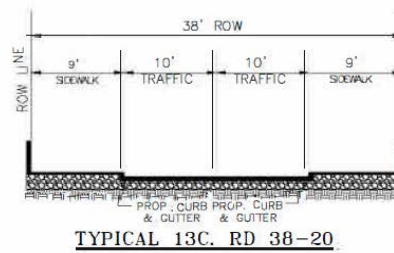
TYPICAL 11. ST 39-28



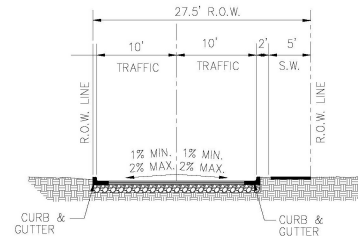
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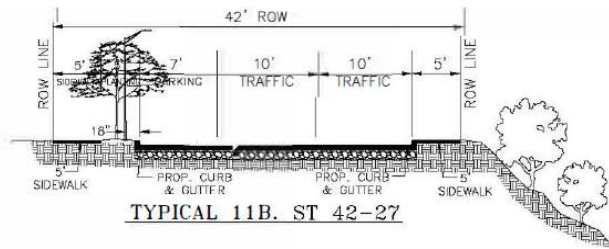
TYPICAL 11A. ST 42-28



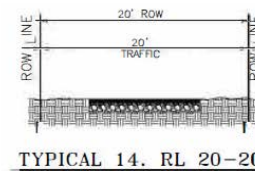
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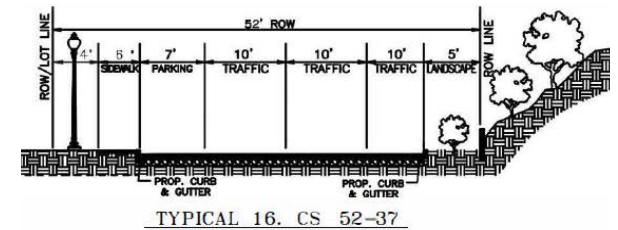
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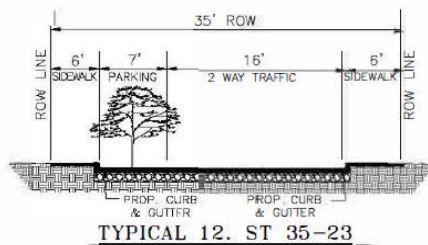
TYPICAL 11B. ST 42-27



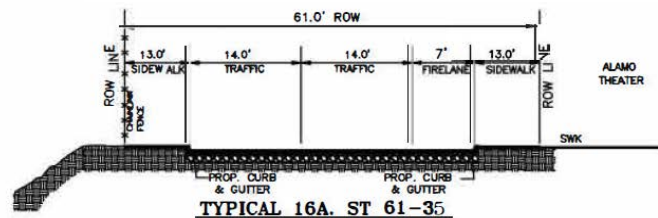
TYPICAL 14. RL 20-20



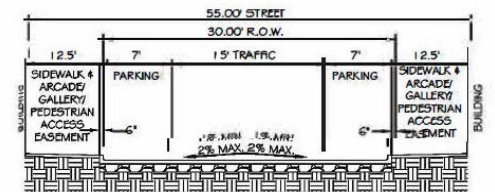
TYPICAL 16. CS 52-37



TYPICAL 12. ST 35-23



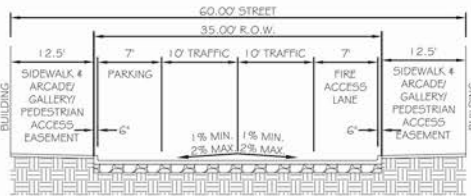
TYPICAL 16A. ST 61-35



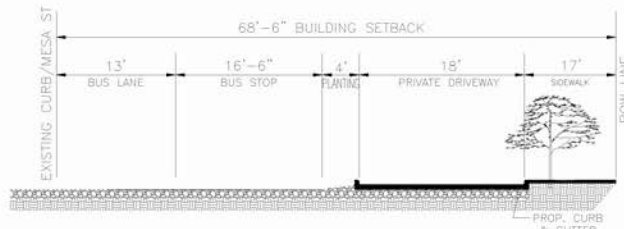
TYPICAL 17. ST 30-29



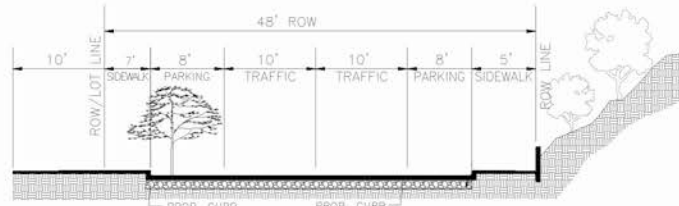
TYPICAL 18, CS 35-34



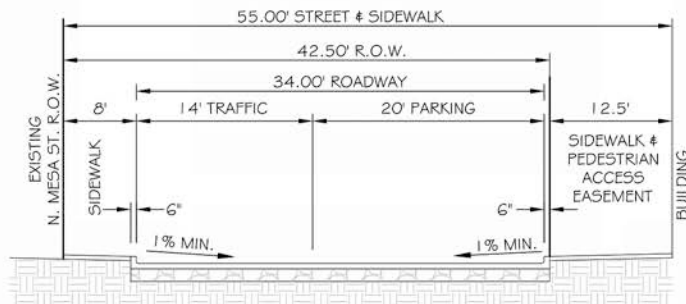
TYPICAL 19, CS 35-34 FIRE LANE



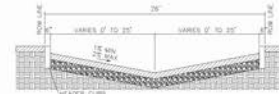
TYPICAL 20 BRT STOP W/PRIVATE DRIVE



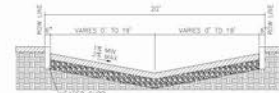
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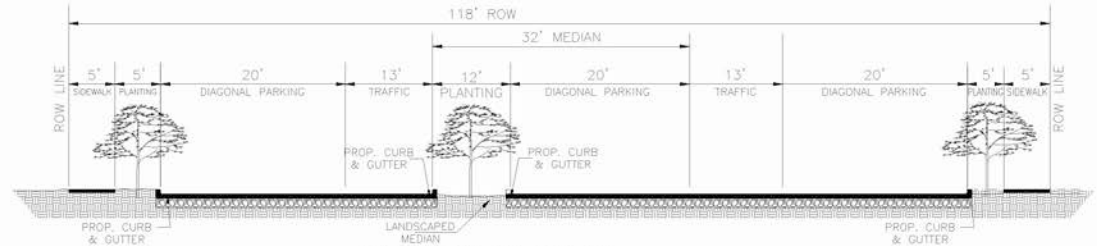
TYPICAL 22, SL 42.5-34 SLIP LANE



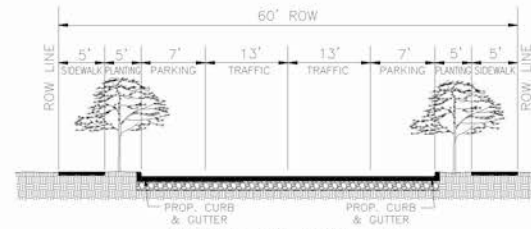
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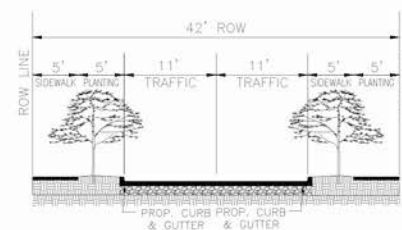
TYPICAL 24, RL-20-20 PRIVATE WAY SECTION



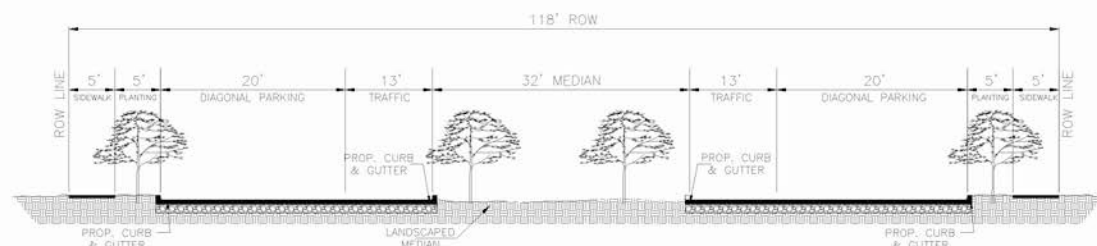
TYPICAL 25 AC 118-98



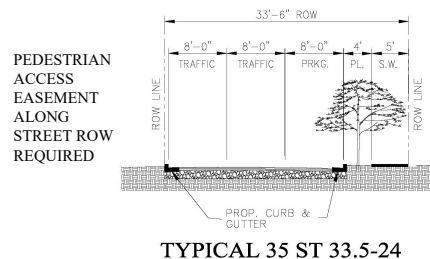
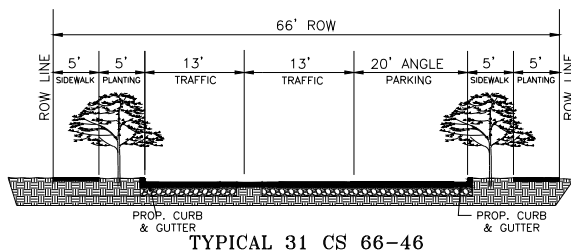
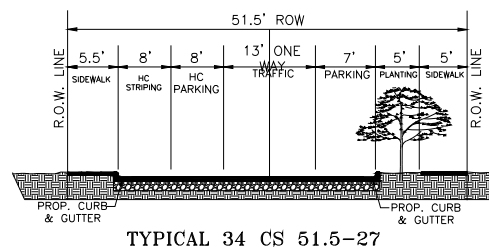
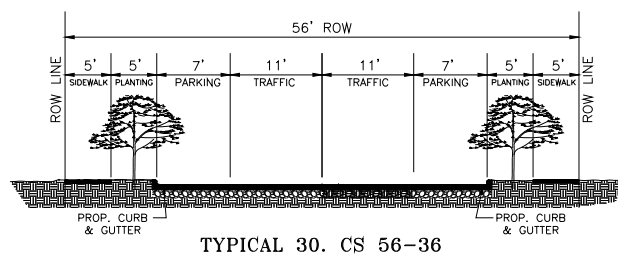
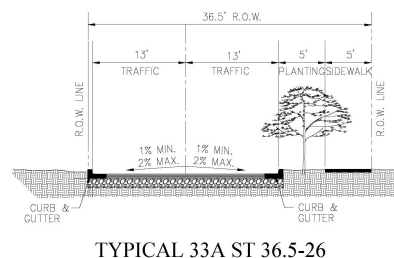
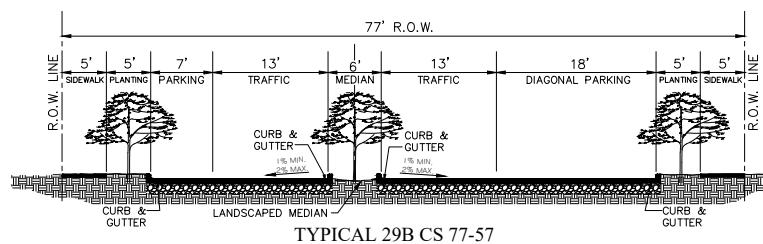
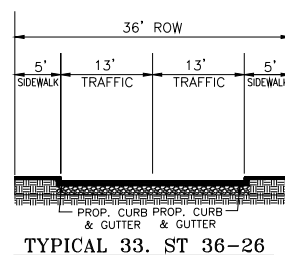
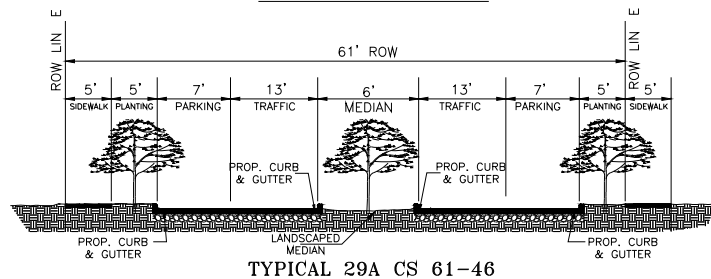
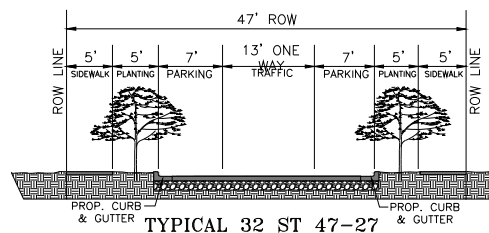
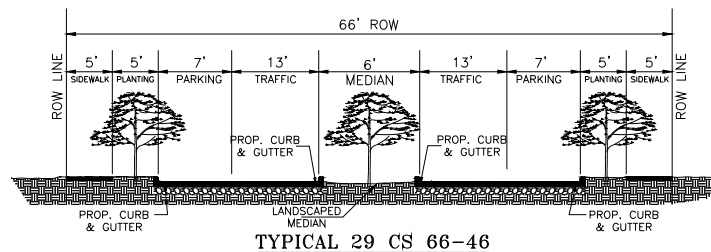
TYPICAL 26 ST 60-40



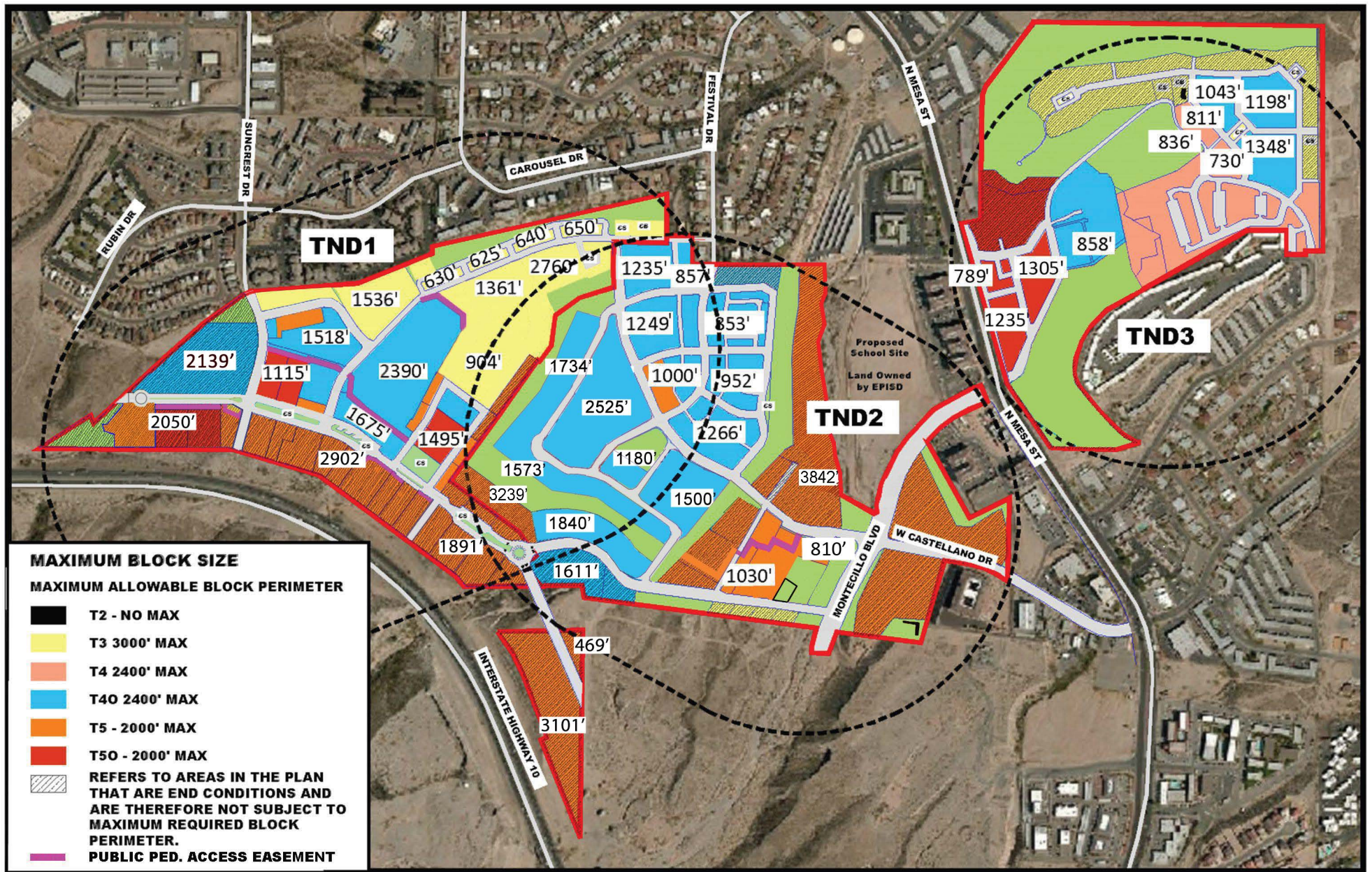
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TYPICAL 28 AC 118-98



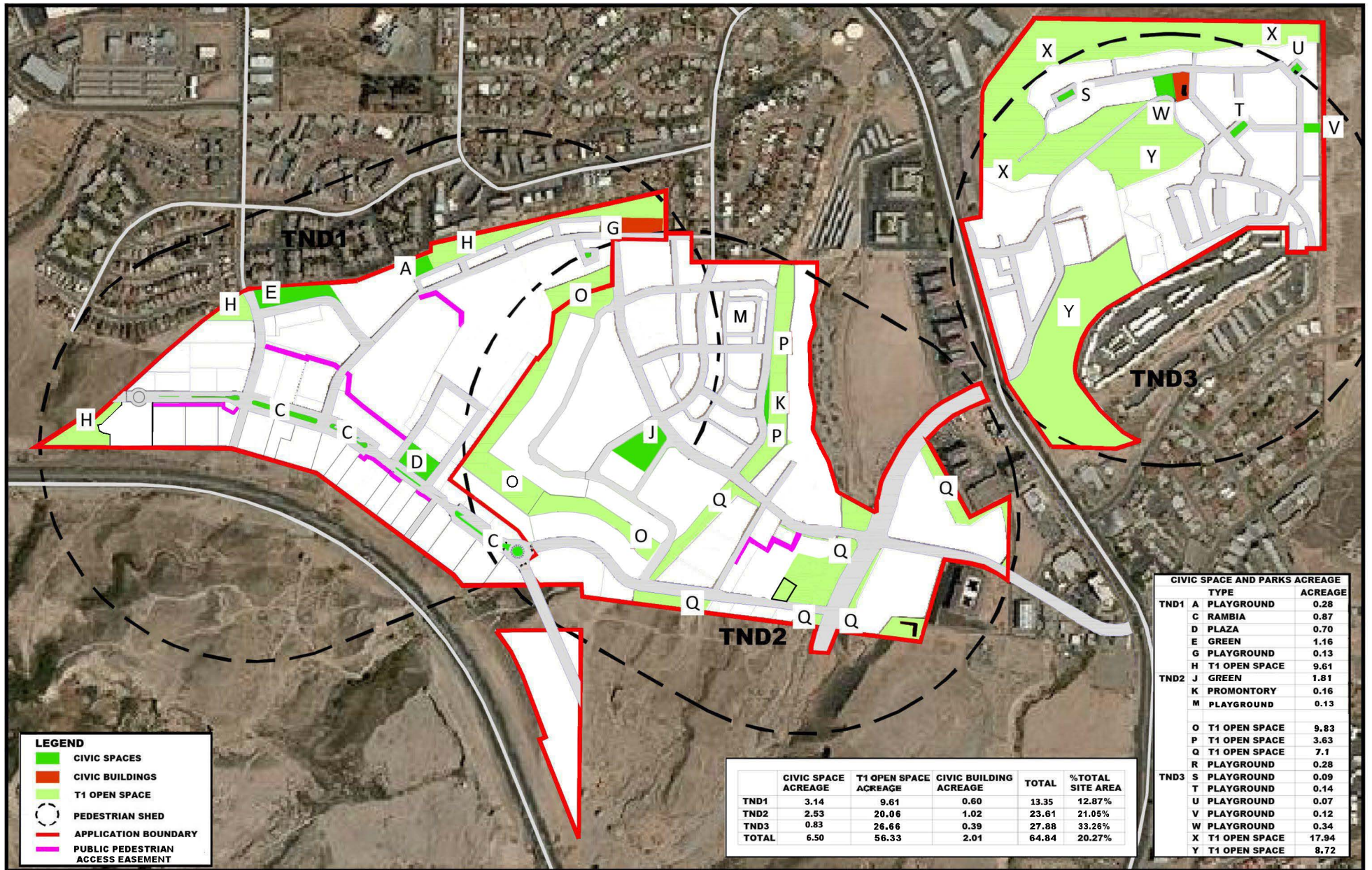
PEDESTRIAN
ACCESS
EASEMENT
ALONG
STREET ROW
REQUIRED



SCALE: 1"=800'



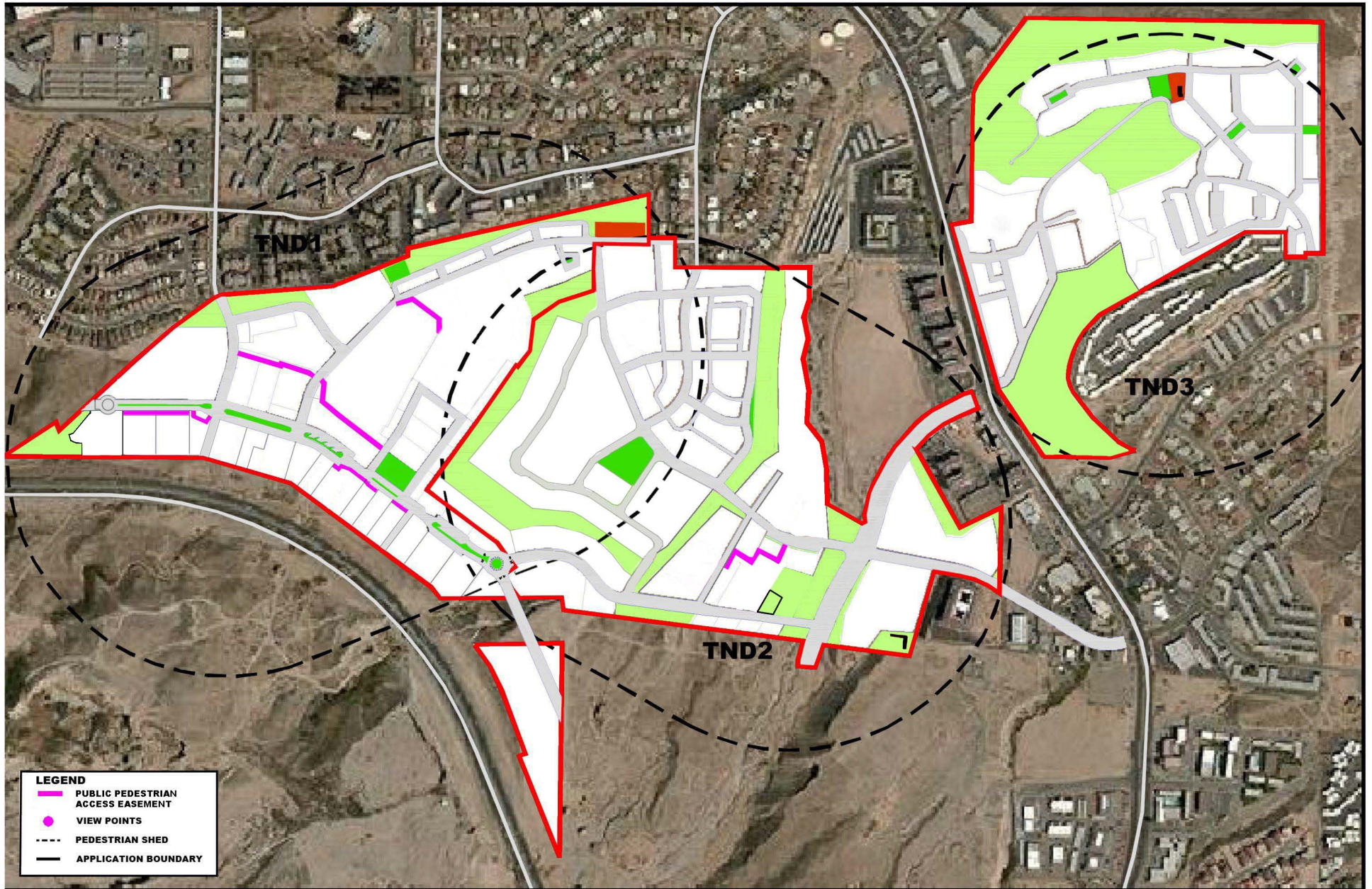
MAXIMUM BLOCK SIZE



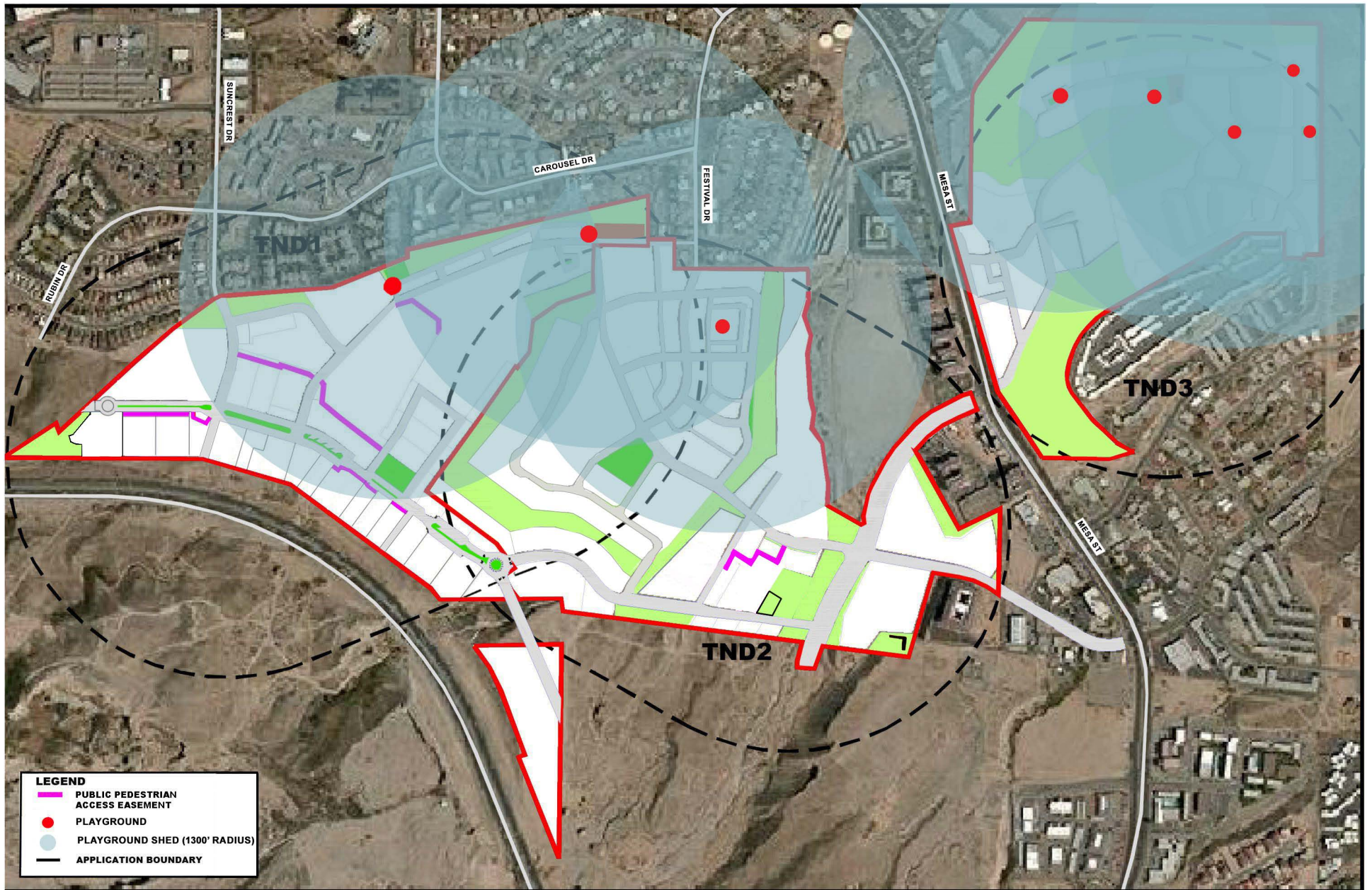
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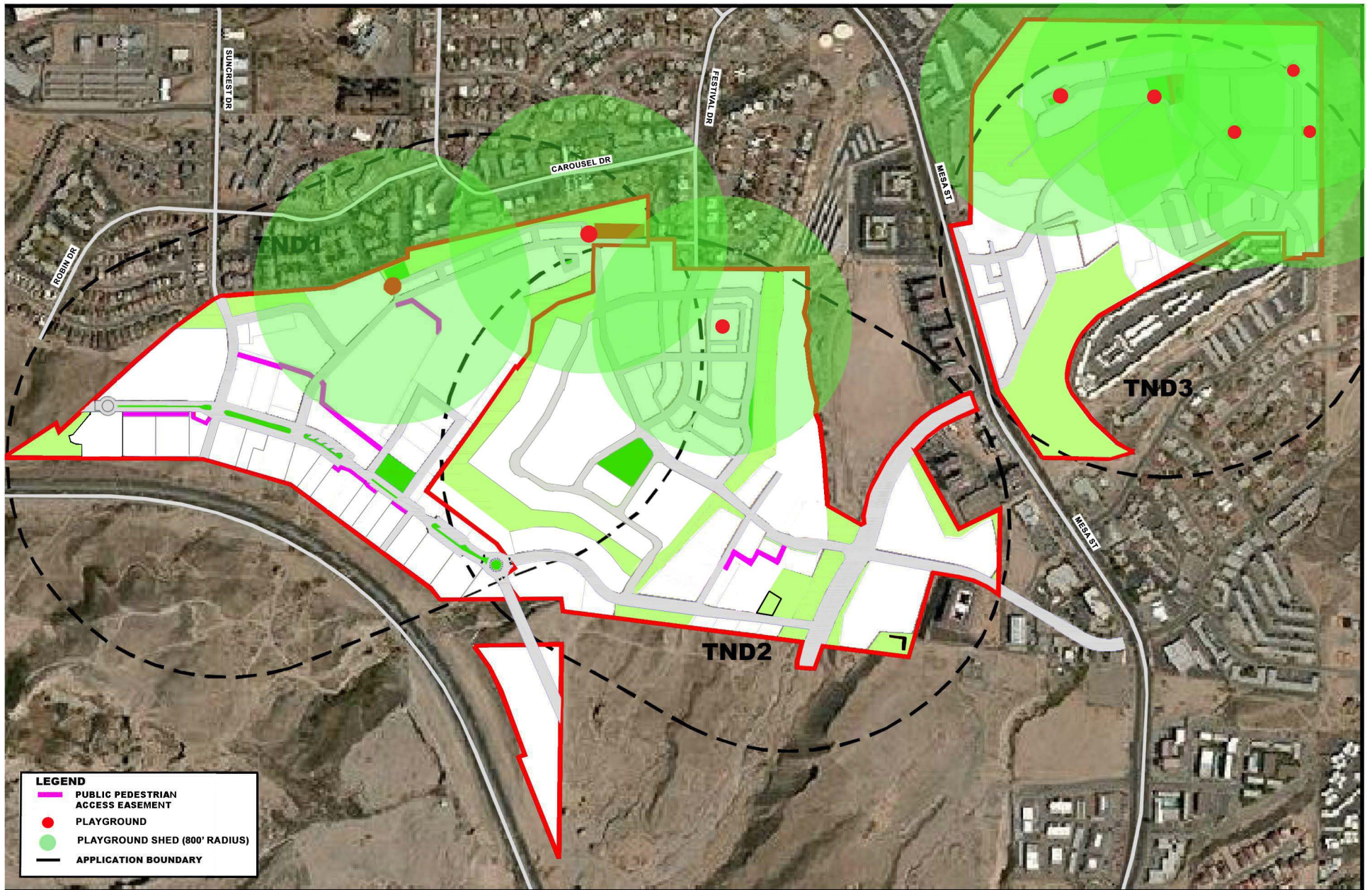


CIVIC SPACE AND BUILDINGS

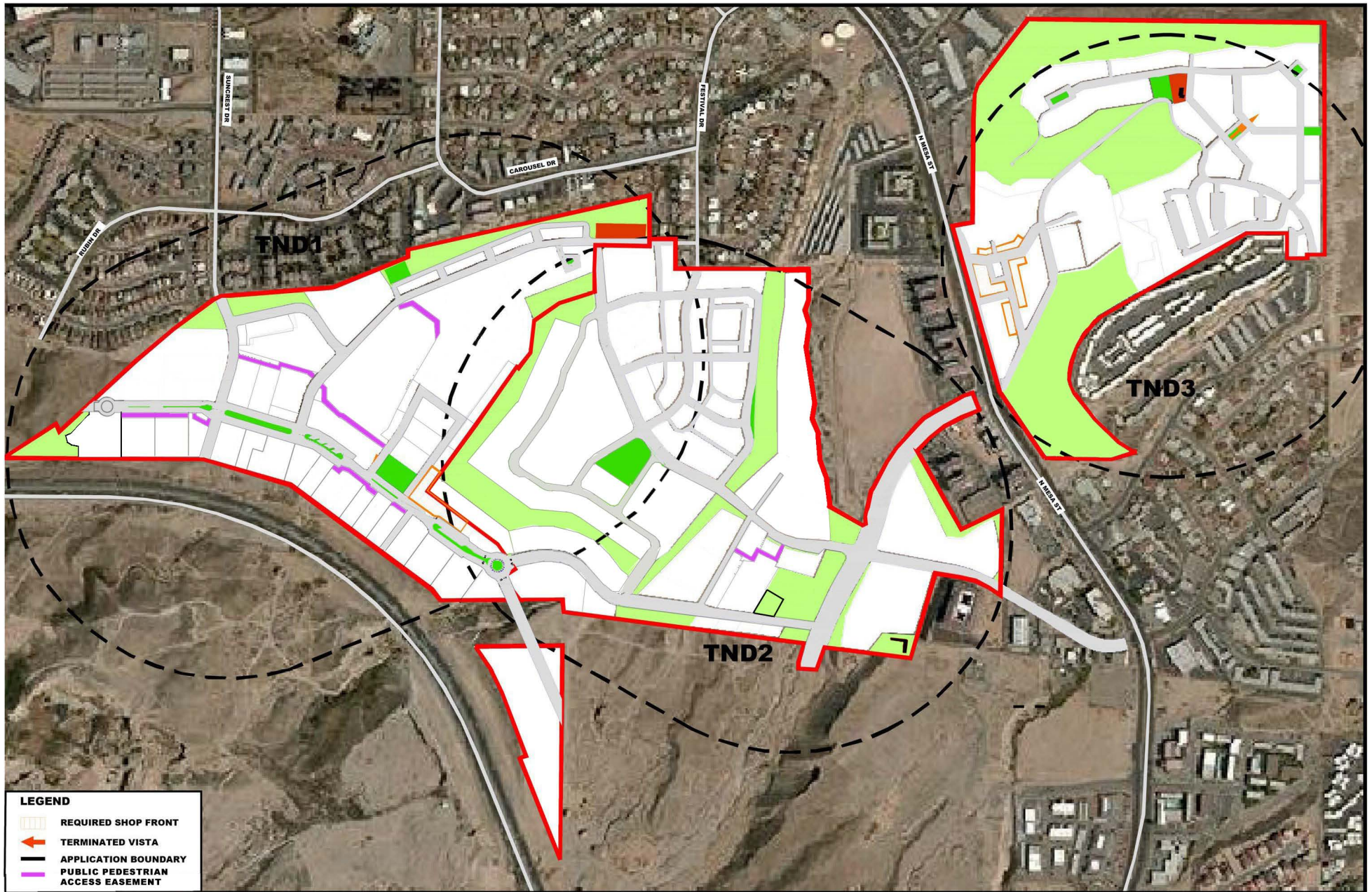


PEDESTRIAN TRAILS





PLAYGROUND (TITLE 21)



SCALE: 1"=800'



SPECIAL REQUIREMENTS

I. Warrants:

1. SECTION 21.30.050(D)(1) CIVIC BUILDING REQUIREMENTS:

New communities should have “a meeting hall or a third place in proximity to the main civic space of each pedestrian shed.”

This plan is requesting the following modification:

Community buildings such as clubs, swimming pools, day care centers and retail stores, can fulfill the civic building requirement.

Retail stores in transect zones T3, T4, T4O, can be parked on a similar basis as civic buildings.

2. TABLE 14: SUMMARY TABLE / BLOCK SIZE / BLOCK PERIMETER MAXIMUMS

Most blocks within the plan that are surrounded by streets on all or at least two sides and are therefore held to a perimeter maximum to ensure that the street grid allows seamless traffic distributions and encourages walkability. But due to the extreme topography of the site, there are several cases where streets do not terminate into other streets, but end in closes and linear end parcels (shown in the diagram below). These parcels are fronted by streets on only one side. They are therefore exempted from the maximum block perimeter requirements.

3. TABLE 14:

This plan is requesting a Frontage Buildout reduction for the T4O and T5 Transect zones from 80% to as less as 60% in cases when lots have significant topography making portions of the site unbuildable. In such lots, frontage will be reduced on a discretionary basis.

This plan is requesting a maximum Front Setback increase for T4O and T5 zones from the stipulated 12 feet when the lot contains significant topography that makes it difficult to build close to the front property line. In such cases the Front Setback will be determined on a discretionary basis.

This plan is requesting a maximum Side Setback increase from the stipulated 12 feet for T4O and T5 zones when a lot contains significant topography making it difficult to build close to the front property line. In such cases the Front Setback will be determined on a discretionary basis.

This plan is requesting a Lot Width increase in the T5 zone from 180' max. to 550' max.

4. TABLE 4C: THOROUGHFARE ASSEMBLIES

a) Page 14 shows modifications to various streets within the Smart Code. The specific modifications are:

1. Planting street trees in planters between the parked cars. This helps provide shade in El Paso's hot climate and also helps visually reduce the streets dimension helping to slow down traffic.
2. Reducing the sidewalk width to 5 feet.
3. Removing the continuous planter on either side of the street.

b) See page 12 for the new proposed streets above and beyond those currently in the Smart Code.

5. FRONT ACCESS TO PARKING/ FRONT SETBACK

Due to the complex site terrain, there are places where the steep slopes cannot allow for rear alley access, and block widths cannot accommodate alley access. In such cases the lots are accessed via perpendicular driveways from the street. To ensure a pedestrian environment, the following conditions will apply:

1. All garages will be located in the rear 30% or 30 feet of the lot, whichever is greater. When garages are placed in the lot rear, the width of the driveway between the dwelling and side property line shall be a maximum of 14 feet.
2. When slopes at the property rear do not allow for the above, garages will be located with a minimum setback of 20 feet from the face of the building.
3. No two garages will be placed adjacent to each other.
4. In extreme sloping sites, when garages cannot be set back from the street, the number of such dwellings shall be decided on a case by case basis by topographical constraint.

6. CHAPTER 21.80 TABLES, SC66:

This plan is requesting a front setback warrant for the T3 zone, because of the reduced block depths due to extreme topographical conditions.

Front Setback (P) should be reduced to 10' min.

II. Adjustments:

7. CHAPTER 21.80 TABLE 2C

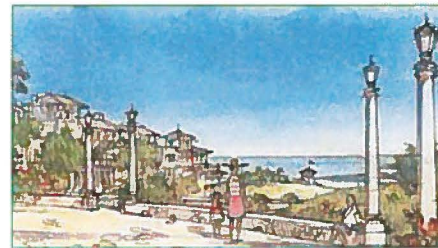
This plan is requesting a warrant for the allowance of illuminated channel letters, flush mounted facing the sign to allow for illumination to be enclosed.

Clean acrylic with premium translucent vinyl overlay to match overall sign color, covering bulbs is an option.
Allowance of intended illuminated signage only for stand alone businesses that occupy an entire building and is located in only one lot.

1. CHAPTER 21.80, TABLE 13;CIVIC SPACE:

The plan has introduced new civic space types the Promontory and Rambla.

- a. Promontory: A small open space located at the edge of a bluff or cliff primarily for viewing the natural landscape. It may be located to terminate streets or at intermittent intervals along edge streets. It may be of any shape. It is largely hardscaped with little planting. There shall be no minimum or maximum size for such a space.



Promontory

- b. Rambla: A linear open space between one-way streets that extends for at least three successive blocks. The space is largely hard-scaped with intermittent or potted planting and always lined with trees at the edges. The tree canopies typically cover the entire width of the space creating a shaded zone for communal activity. This space can be used flexibly on a daily, weekly or seasonal basis. It may be striped for parking during normal hours, converted into a farmer's market or closed with bollards for communal functions. Playgrounds may not be located within the Rambla. The minimum width of such a space shall be 16 feet, and the maximum shall be 40 feet.



Rambla showing flexible use of central tree-shaded space – parking vs farmers market.

MATERIALS APPENDIX

The following pre-approved materials are permitted as per the utilization requirements. Any use of a material not listed requires administrative approval prior to use.

I. MATERIALS REQUIREMENTS PER BUILDING -

1. Material utilization guidelines: For commercial and residential construction, applicants may choose ONE from the following options:

A. Two to four Material Categories in a combination of hierarchy:

- Primary material: no more than 75% of the building envelope
- Secondary material: no more than 40% of the building envelope
- Tertiary material: no more than 25% of the building envelope
- Accent material: limited to trim and details

OR

B. A minimum of two Material Categories in a combination of varying horizontal projections, or relief, around the building envelope:

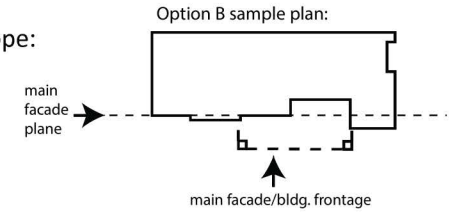
- Material selections may NOT abut one another in a flush condition or continuous plane
- Minimum material projection from main façade plane, or frontage elevation to be 4 in.

OR

C. A combination of options A and B to be reviewed administratively for approval.

- Proposed additional or alternate materials to any of the Material Categories may be considered.

*Glazing is not being counted as a material category, as it is inherent to the building design as required in the building frontages.



II. MATERIAL CATEGORY LIST -

1. Metals:



MCM- metal composite materials



Structural metal framing/steel framing



Weathering steel (Corten)



Perforated/expanded metals



Metal Fabrications



Decorative metals



Prefabricated metals

2. Masonry:



Stone cladding



Brick



Terra Cotta



Natural stone



Clay tile

MATERIALS APPENDIX

The following pre-approved materials are permitted as per the utilization requirements. Any use of a material not listed requires administrative approval prior to use.

II. MATERIAL CATEGORY LIST (cont.)-

3. Concrete:



Cast in place concrete



Architectural concrete



Stamped concrete/
Concrete finishing



Polished/colored
concrete



Pre-cast concrete
panels



Tilt-up concrete

4. Wood & Composites:



Heavy timber
construction



Wood siding



Wood sheathing



Exposed glulam
construction



Laminated veneer
lumber



Cast Polymer
fabrications

5. Finishes:



Heavy timber
construction



Stucco/Plaster

T50 Transect Summary Table

a. ALLOCATION OF ZONES per Pedestrian Shed (applicable to Article 3 only)

CLD requires	not permitted
TND requires	30% max
RDC requires	30% max

b. BASE RESIDENTIAL DENSITY (see Section 3,4)

Reserved	
By Right	100 units / ac. gross
Other Functions	30 - 60% min

c. Block SIZE

Block Perimeter	2000 ft. max
-----------------	--------------

d. THOROUGHFARES (see Table 3 and Table 4)

HW	not permitted
BV	permitted
AV	permitted
CS	permitted
DR	permitted
ST	permitted
RD	not permitted
Rear Lane	not permitted
Rear Alley	required
Path	not permitted
Passage	permitted
Bicycle Trail	not permitted
Bicycle Lane	not permitted

e. CIVIC SPACES (see Table 13)

Park	not permitted
Green	permitted
Square	permitted
Plaza	permitted

f. LOT OCCUPATION

Lot Width	18 ft. min 180 ft. max
Lot Coverage	90% max

g. SETBACKS - PRINCIPAL BUILDING

Front Setback (Principal)	0 ft. min 12 ft. max
Front Setback (Secondary)	0 ft. min 12 ft. max
Side Setback	0 ft. min 24 ft. max
Rear Setback	0 ft. min
Frontage Buildout	80% min

h. SETBACKS - OUTBUILDING

Front Setback	40 ft. max from rear prop
Side Setback	0 ft. min
Rear Setback	3 ft. max

i. BUILDING DISPOSITION (see Table 9)

Edgeyard	not permitted
Sidyard	permitted
Rearyard	permitted

j. PRIVATE Frontages (see Table 7)

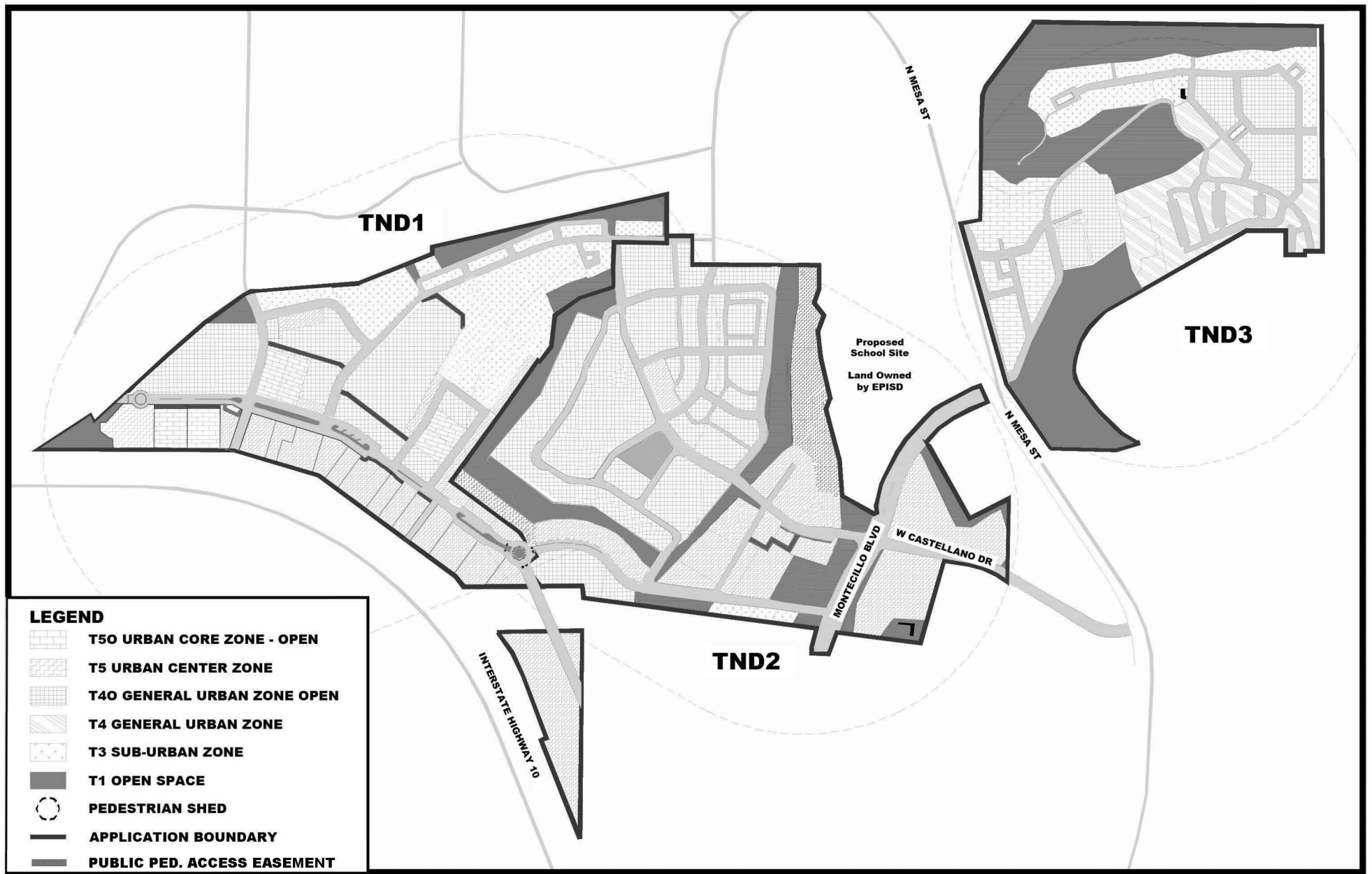
Common Yard	not permitted
Porch & Yard	not permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awnings	permitted
Gallery	permitted

k. BUILDING CONFIGURATION (see Table 8)

Principal Building	8 Stories max, 2 min
Outbuilding	2 Stories max

l. BUILDING FUNCTION (see Table 10 & Table 12)

Residential	open use
Lodging	open use
Office	open use
Retail	open use



ATTACHMENT 6

Planning and Inspections Department- Planning Division

Developer / Engineer shall address the following comments:

1. Submit to the Planning & Inspections Department – Planning Division the following prior to recording of the subdivision:
 - a. Current certificate tax certificate(s)
 - b. Current proof of ownership.
 - c. Release of access document, if applicable.
 - d. Set of restrictive covenants, if applicable.
2. Every subdivision shall provide for postal delivery service. The subdivider shall coordinate the installation and construction with the United States Postal Service in determining the type of delivery service for the proposed subdivision. In all cases, the type and location of delivery service shall be subject to the approval of the United States Postal Service.
3. Vin Faro Lane includes two cross-sections with different proposed transition widths; however, these are not reflected on the plat. The plat currently indicates on a 50' ROW width.
4. Please provide articles of incorporation authorizing Mr. Bogas to sign on behalf of the owner.
5. Label the park on the plats.
6. Provide a copy of the plat or instrument that dedicated the public easements and right-of-way, including the recording information.
7. Lot number on the preliminary plat are not clearly legible – please ensure they are distinguishable.
8. Revise the preliminary plat showing the improvements.
9. Provide an access/pedestrian easement from right-of-way to edge of proposed meandering sidewalk.
10. Coordinate with Streets and Maintenance Department for easements and agreement regarding maintenance of street lighting and street signage.
11. Coordinate with El Paso Electric for utility easements.
12. Coordinate with El Paso Water for compliance with their comments.

Planning and Inspections Department- Land Development Division

We have reviewed subject plats and recommend **Approval**.

Provide a print-out of the mathematical closure of the exterior boundary of the subdivision indicating the error of closure.

Parks and Recreation Department

We have reviewed **Montecillo Unit 8 Replat A**, a resubdivision combination plat map and on behalf of the Parks & Recreation Department, we offer the Developer / Engineer the following comments:

This subdivision is zoned Smart Code Zoning (SCZ) and is part of the "**Montecillo Development Regulating Plan**" therefore not required to comply with the parkland dedication ordinance requirements Title 19 – Subdivision & Development Plats, **Chapter 19.20 - Parks & Open Space**, however, applicant needs to comply with the Title 21 Smart Code Zoning requirements.

Nearest Park: **Promontory Area at Montecillo – Park Zone: NW-2**

Sun Metro

No comments received.

Fire Department

Recommend approval.

Check Preliminary Plat for incorrect dimensioning (representation of) of median (0'-10' of 66' R.O.W.)

Streets and Maintenance Department

Traffic and Transportation Engineering:

1. Recommend Vin Madrid St. and Vin Aragon St. to have roadway width of 28 feet with 2-10 ft traffic lanes and 8 ft parking space
2. The reduction of street ROW will impact the illumination infrastructure, in which an easement will need to be established.

Street Lights Department:

Does not object to this request.

Existing public street light system shall be included on plans and the proposed change on the right-of-way of Vin Madrid St., Castellano Dr., and Vin Aragon St. shall show any change on the existing public street illumination system. Existing public street illumination system shall be protected and preserved.

For the development of the subdivision a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that all projects that involve a roadway are to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management Section

Indicate that any type of water valve, manhole must have a concrete apron. any city monuments if disturbed must be restored by a licensed surveyor.

Indicate that any type of restoration must be compliant as per the Design Standards for Construction and its addendums

Indicate when placing Sidewalks the municipal Code Chapter 19.21 of Sidewalks shall be followed, and Chapter 13.04.020 Sidewalk Specifications

Capital Improvement Department

No comments received.

El Paso Water

EPWater-PSB objects to this request.

The Owner/Developer of Montecillo Units 7 and 8 has entered into a Development Agreement with the El Paso Water – Public Service Board (EPWater-PSB) to construct 8-inch diameter water main and 8-inch diameter sanitary sewer main that will provide water and sewer service to this property. The Developer's utility contractor is currently installing the required water and sanitary sewer mains which can be extended to provide service once EPWater-PSB issues a Letter of Final Acceptance of the facilities.

Water:

There is an existing 8-inch diameter water main that extends along the north side of Castellano Drive. This water main is available for service.

Previous water pressure readings from fire hydrant # 11590 located on the southeast corner of Festival drive and Castellano Drive, yielded a static pressure of 100 psi, a residual pressure of 40 psi and a discharge of 1,126 gallons per minute. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer and relief valve, to be set for pressure as desired by the customer. The Lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

Sewer:

There is an existing 8-inch diameter sanitary sewer main that extends along the north side of Castellano Drive. This sanitary sewer main is available for service.

General:

EPWater requires a new service application to provide additional services to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater

Castellano Dr., Vin Aragon St., and Vin Madrid St. have been narrowed through this replat; make sure that these streets can still safely direct the storm sewer runoff away from this development.

Texas Gas

Texas Gas Service does not have any comments.

El Paso Electric

Please note the existing line in Lot 1, Block 1 and also note 10' wide easement.

El Paso County 911 District

No comments received.

Texas Department of Transportation

No comments received.

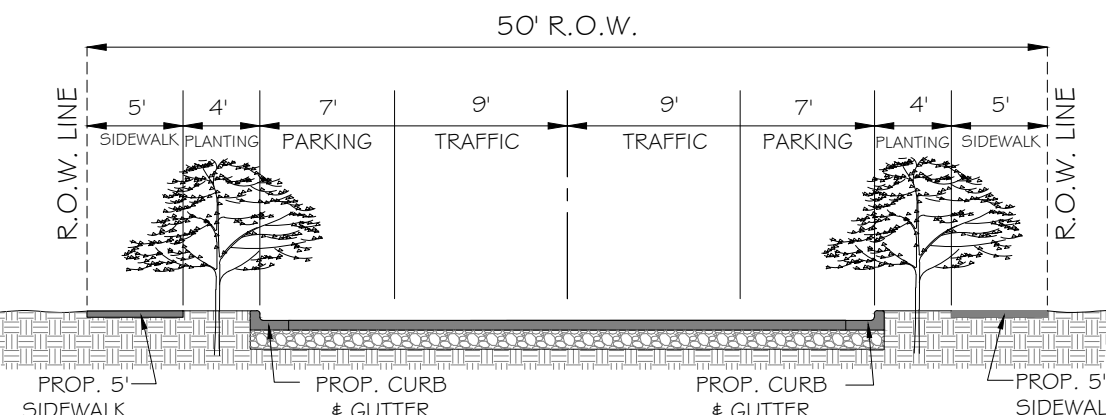
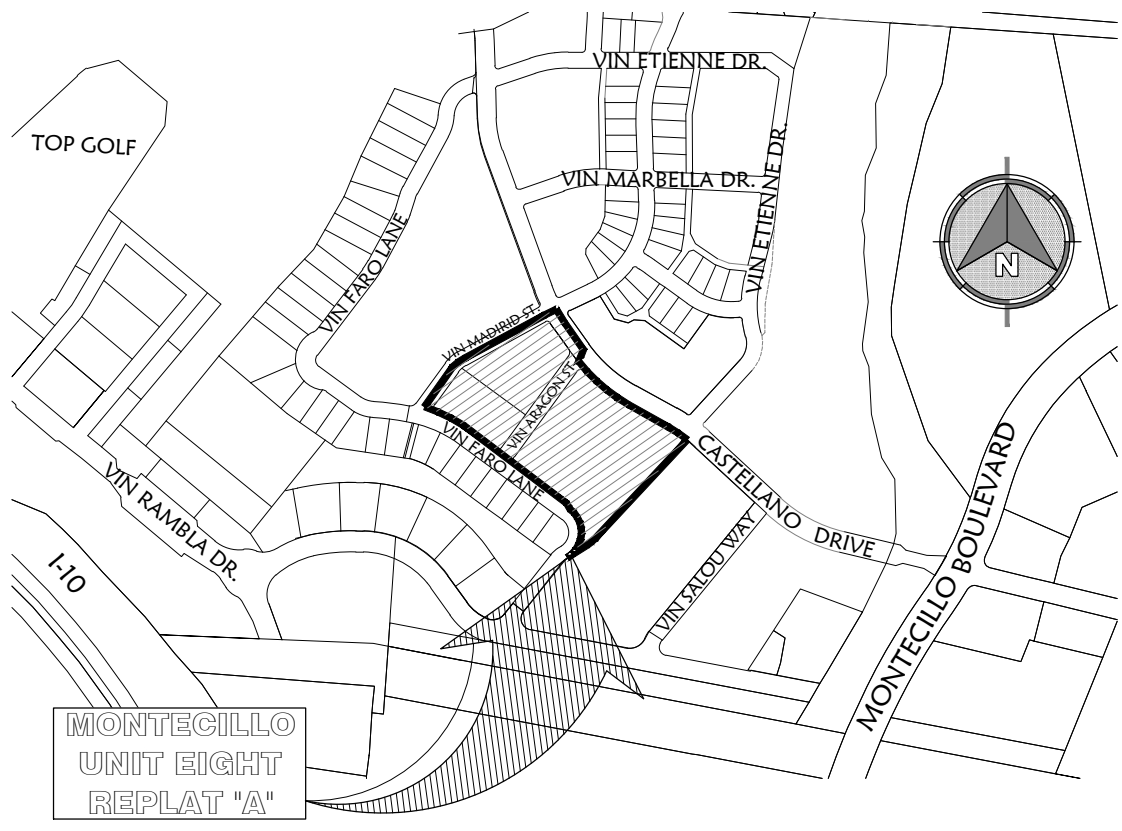
El Paso County Water Improvement District #1

The subdivision is not within the boundaries of the EPWID

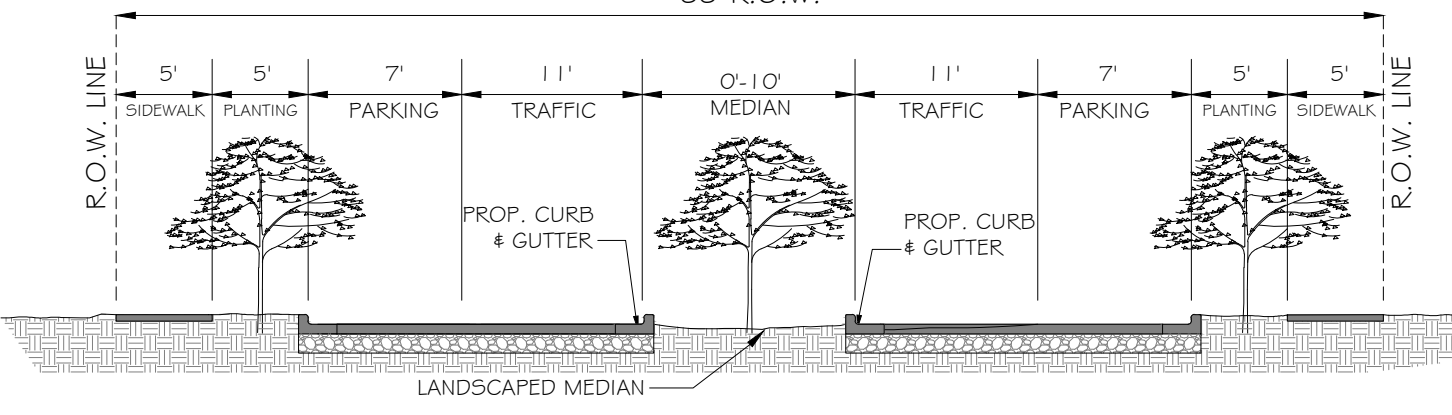
Central Appraisal District

There are no comments from Central Appraisal

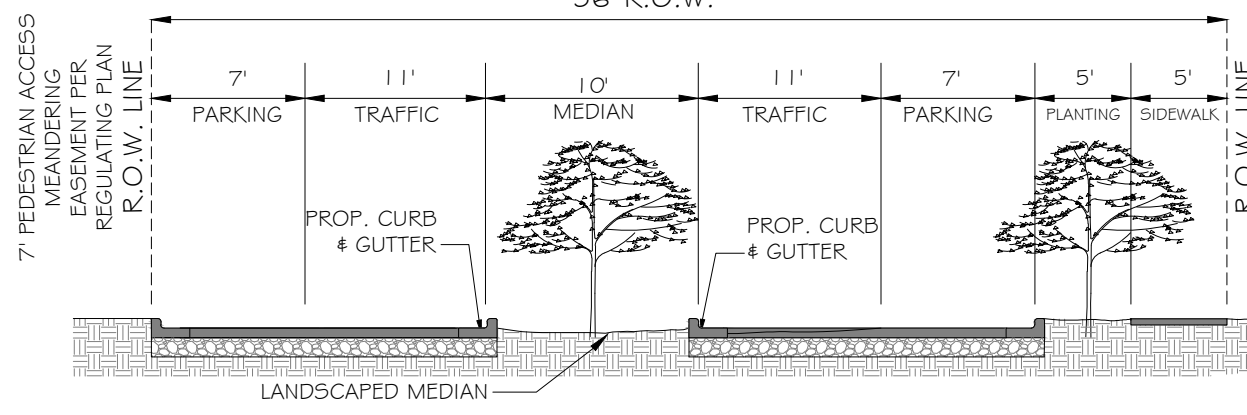
VICINITY MAP SCALE: 1"=600'



PROPOSED VIN MADRID STREET
(TYPICAL 10B ST 50-32)
(RESIDENTIAL COLLECTOR)
NOT TO SCALE



EXISTING CASTELLANO DRIVE
(TYPICAL 3B CS 66-46)
(RESIDENTIAL COLLECTOR)
NOT TO SCALE



PROPOSED CASTELLANO DRIVE
(TYPICAL 3A CS 56-46)
(RESIDENTIAL COLLECTOR)
NOT TO SCALE

MONTECILLO UNIT EIGHT REPLAT "A"

BEING A REPLAT OF BLOCKS 1 AND 2, VIN MADRID STREET,
AND VIN ARAGON STREET RIGHT OF WAY,
MONTECILLO UNIT EIGHT
AND A PORTION OF CASTELLANO DRIVE RIGHT OF WAY
MONTECILLO UNIT 4 "A"
CITY OF EL PASO, EL PASO COUNTY, TEXAS.
CONTAINING 6.0946 ACRES±

OWNER

EPT MESA DEVELOPMENT, LP
444 EXECUTIVE CENTER BLVD.
SUITE 238
EL PASO, TEXAS 79902
PHONE: (915) 838-8100

SURVEYOR

BROCK & BUSTILLOS INC.

AARON ALVARADO, TX. R.P.L.S. No. 6223
417 EXECUTIVE CENTER, BOULEVARD
EL PASO, TEXAS 79902
PHONE: (915) 542-4900

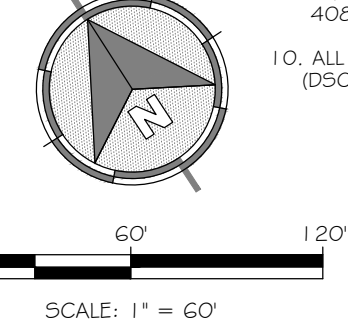
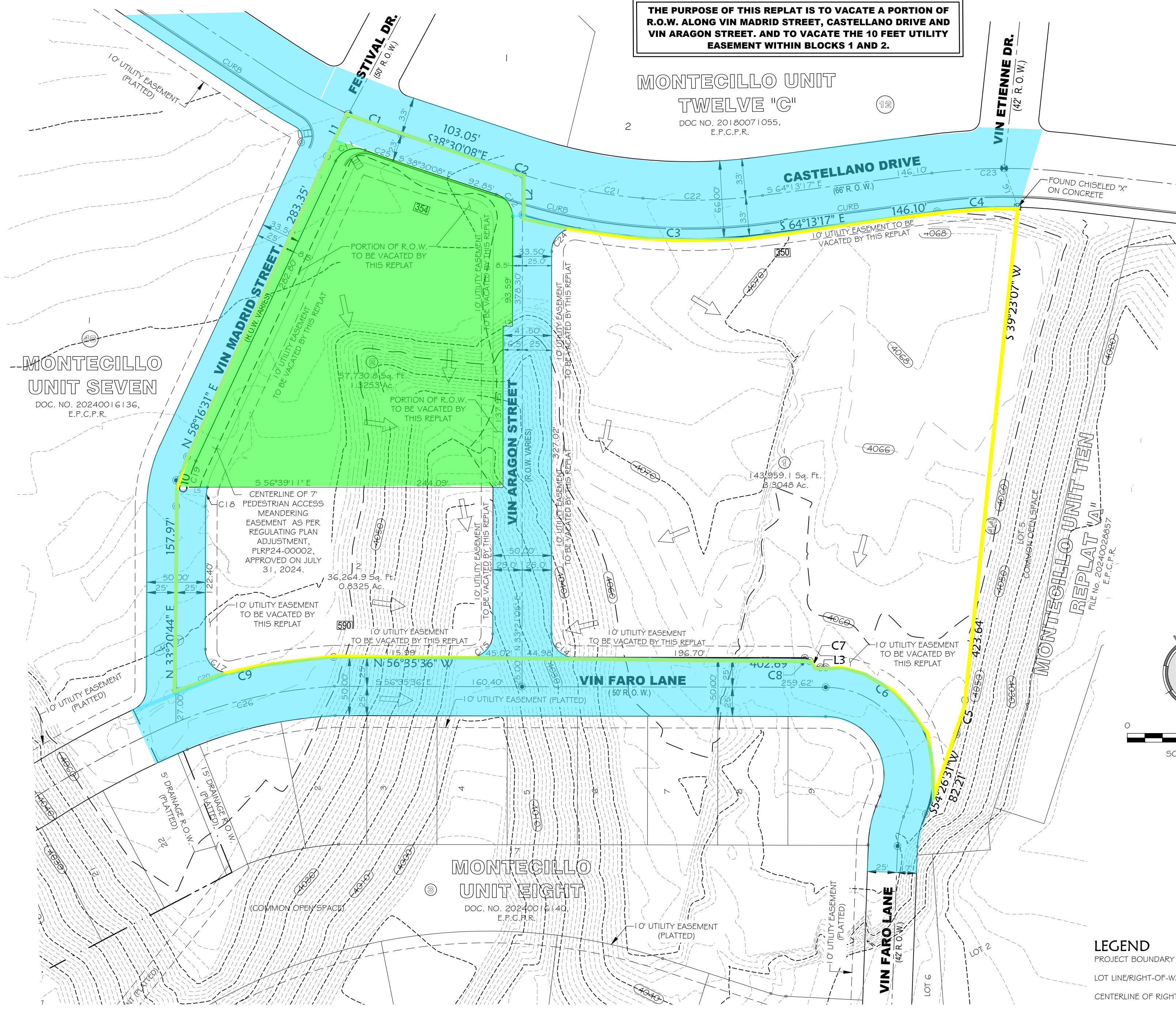
ENGINEER

MICHAEL M. BIRKELBACH

TX. P.E. No. 119039
428 BOREALIS LANE,
EL PASO, TEXAS 79912
PHONE: (915) 487-8710

PLAT NOTES AND RESTRICTIONS:

- THIS IS TO CERTIFY THAT WATER AND SEWER SERVICES WILL BE PROVIDED TO MONTECILLO UNIT EIGHT, BY THE EL PASO WATER UTILITIES (PUBLIC SERVICE BOARD) IN ACCORDANCE WITH THEIR REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE. WATER AND SEWER SERVICE WILL BE EXTENDED TO THE SUBDIVISION FROM EXISTING FACILITIES LOCATED ON CASTELLANO DRIVE.
- THE INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAT ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
- TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
- MONTECILLO AMENDED AND RESTATED MASTER COVENANTS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
- MONTECILLO AMENDED AND RESTATED POSTAL SERVICE MANUAL FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
- MONTECILLO DEVELOPMENT AREA DECLARATION (SINGLE FAMILY RESIDENTIAL) FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
- MONTECILLO DEVELOPMENT AREA DECLARATION (TOWNHOMES) FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
- THIS SUBDIVISION SHALL PROVIDE FOR POSTAL DELIVERY SERVICE. THE SUBDIVIDER WILL COORDINATE INSTALLATION AND CONSTRUCTION WITH THE UNITED STATES POSTAL SERVICE IN DETERMINING THE TYPE OF DELIVERY SERVICE FOR THE PROPOSED SUBDIVISIONS. IN ALL CASES, THE TYPE AND LOCATION OF DELIVERY SERVICE SHALL BE SUBJECT TO THE APPROVAL OF THE UNITED STATES POSTAL SERVICE.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE EL PASO INDEPENDENT SCHOOL DISTRICT (E.P.I.S.D.).
- THIS LAND IS ZONED SMART CODE AND A REGULATING PLAN HAS BEEN APPROVED. PRIOR TO THE ISSUANCE OF ANY CITY PERMITS A PLAT REFLECTING THE REGULATING PLAN MUST BE APPROVED AND RECORDED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48021-40027D, DATED JANUARY 3, 1997 AND COMMUNITY PANEL NO. 48021-40032C, DATED FEBRUARY 5, 1986, THIS PROPERTY IS IN FLOOD HAZARD ZONE "C" (AREAS OF MINIMAL FLOODING).
- ELEVATIONS AND CONTOURS SHOWN ARE BASED ON THE CITY OF EL PASO VERTICAL DATUM (E.P.V.D.) BASED ON A CITY OF EL PASO MONUMENT LOCATED AT THE INTERSECTION OF CASTELLANO DRIVE AND FESTIVAL DRIVE HAVING AN ELEVATION OF 4080.85 AS PER THE TOPOGRAPHIC MAP PREPARED BY DORADO AND ASSOCIATES AND PROVIDED BY EPT.
- ALL STORM WATER RUNOFF DISCHARGE SHALL BE RETAINED WITHIN THIS SUBDIVISIONS LIMIT IN COMPLIANCE WITH PROVISION OF (DSC PLAN 1-4C-1), 19.1901 DA AND DDM 11.1.)



LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N6°06'38"E	40.49
L2	N33°21'05"E	34.48
L3	S56°35'36"E	4.70
L4	S56°39'12"E	6.50
L5	N56°39'11"W	16.82
L6	N14°04'54"E	35.09
L7	N56°38'55"W	8.00

CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	450.00	6°13'45"	48.92	S35°23'16"E	48.90
C2	475.00	0°41'07"	5.68	S38°50'41"E	5.68
C3	508.00	23°52'00"	211.61	S52°17'17"E	210.08
C4	442.00	8°57'32"	69.11	N59°44'31"W	69.04
C5	115.00	15°03'24"	30.22	N46°54'49"E	30.13
C6	92.00	111°02'07"	178.29	N01°04'32"W	151.67
C7	10.00	62°10'55"	10.85	S25°30'09"E	10.33
C8	5.00	62°10'55"	5.43	N25°30'09"W	5.16
C9	425.00	18°40'34"	138.53	N68°48'10"W	137.92
C10	100.00	24°55'46"	43.51	N45°48'38"E	43.17
C11	20.00	83°42'30"	29.22	N76°59'41"W	26.69
C12	20.00	71°51'13"	25.08	N02°34'32"W	23.47
C13	508.00	5°38'59"	50.09	S43°10'46"E	50.07
C14	20.00	89°56'40"	31.40	S18°51'17"E	28.27
C15	20.00	90°03'20"	31.44	N78°22'44"E	28.30
C16	425.00	11°35'24"	85.97	N65°15'35"W	85.82
C17	20.00	104°24'02"	36.44	S18°51'17"E	31.61
C18	75.00	12°28'36"	16.33	S39°34'29"W	16.30
C19	91.50	14°44'13"	23.53	S50°54'24"W	23.47
C21	475.00	12°41'04"	105.16	S45°31'47"E	104.94
C22	475.00	12°20'58"	102.38	S58°02'48"E	102.18
C23	475.00	7°27'55"	61.89	N60°29'19"W	61.85
C24	20.00	100°38'40"	35.13	S83°40'25"W	30.79
C25	473.00	3°06'20"	25.64	S36°56'58"E	25.63
C26	400.00	20°00'16"	139.66	N69°33'19"W	138.95

LEGEND

- PROJECT BOUNDARY
- LOT LINE/RIGHT-OF-WAY
- CENTERLINE OF RIGHT-OF-WAY
- EASEMENT LINE
- 1' CONTOUR INTERVAL
- 5' CONTOUR INTERVAL
- EXISTING DRAINAGE FLOW
- FOUND CITY MONUMENT
- PROPOSED CITY MONUMENT
- SET 1/2" REBAR WITH SURVEY CAP NO. "TX 6223"
- LOT NUMBER
- BLOCK NUMBER

DATE OF PREPARATION: SEPTEMBER 2024

PRELIMINARY PLAT

BROCK & BUSTILLOS INC.
CONSULTING CIVIL ENGINEERS
LAND SURVEYORS
TDR REG. NO. F-737
TDR REG. NO. 101314-00
417 EXECUTIVE CENTER
EL PASO, TEXAS 79902
www.brockbustillos.com
PH 915.542.4900
FAX 915.542.2667

JOB NO. 07004-059A



Legislation Text

File #: BC-614, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZRZ24-00019: A portion of Tracts 5C, 6C, and 7C and all of Tracts 8B, Block 55, Ysleta Grant, City of El Paso, El Paso County, Texas

Location: 9050 Escobar Dr.
Zoning: R-3 (Residential)
Request: To rezone from R-3 (Residential) to
C-4 (Commercial)
Existing Use: Vacant
Proposed Use: Motor carrier terminal
Property Owner: Idea Public Schools
Representative: Conrad Conde, Conde, Inc
District: 7
Staff Contact: Luis Zamora, (915) 212-1552,
ZamoraLF@elpasotexas.gov

9050 Escobar

City Plan Commission — April 24, 2025

REZONING



CASE NUMBER: PZRZ24-00019
CASE MANAGER: Luis Zamora, (915) 212-1552, ZamoraLF@elpasotexas.gov
PROPERTY OWNER: Idea Public Schools
REPRESENTATIVE: Conrad Conde, Conde, Inc.
LOCATION: 9050 Escobar Dr. (District 7)
PROPERTY AREA: 17.32 acres
REQUEST: Rezone from R-3 (Residential) to C-4 (Commercial)
RELATED APPLICATIONS: None
PUBLIC INPUT: One (1) email of non-objection received as of April 17, 2025

SUMMARY OF REQUEST: Applicant request to rezone the subject property from R-3 (Residential) to C-4 (Commercial) to allow for a Motor Carrier Terminal use.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **DENIAL** of the request for the following reasons:

- The proposed zoning district and use intensity are not compatible with existing surrounding single-family/mobile home developments, Del Valley Elementary School, Blackie Chesher Park, and the Mission Valley Regional Command Center;
- Lack of road network infrastructure and adverse traffic impact to the nearby area; and
- The rezoning request does not meet the character nor furthers the policies of the G-3, Post-war Future Land Use Map designation per *Plan El Paso*, which aims “to supplement the limited housing stock and add missing civic and commercial uses” to support the neighboring areas.

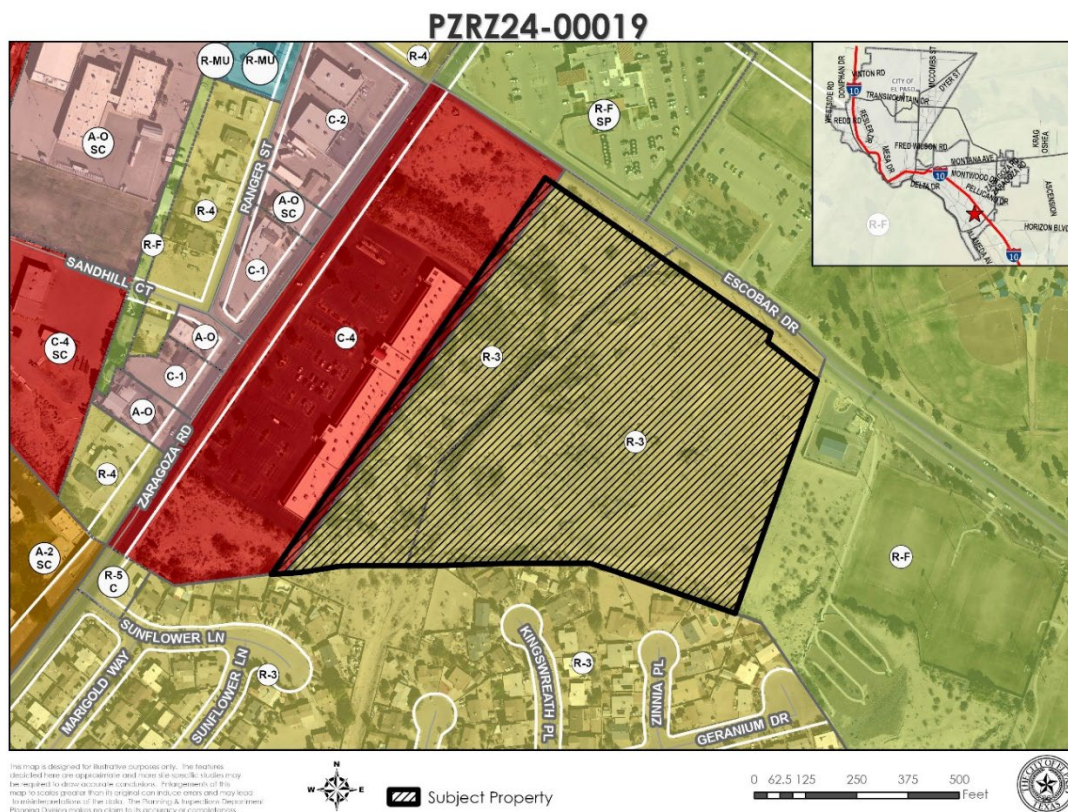


Figure A. Subject Property & Immediate Surroundings

DESCRIPTION OF REQUEST: Applicant is requesting to rezone the subject property from R-3 (Residential) to C-4 (Commercial) to allow for a Motor Carrier Terminal use. The property is approximately 17.32 acres in size and the conceptual site plan demonstrates the proposed layout of the development. Access is from Escobar Drive.

PREVIOUS CASE HISTORY: City Council approved the rezoning (PZRZ20-00007) of the subject property on September 1, 2020, from A-M (Apartment/Mobile Home) and C-4 (Commercial) to R-3 (Residential) for a proposed school site.

COMPATIBILITY WITH NEIGHBORHOOD CHARACTER: The proposed zoning district and use is not compatible with existing surrounding uses and developments in the area. Property to the north is zoned R-F (Ranch and Farm) comprising a police station (Mission Valley Regional Command Center) and parkland (Blackie Chesher Park), to the east is zoned R-F (Ranch and Farm) and is comprised of parkland (Blackie Chesher Park) and a school (Del Valle Elementary), to the south is zoned R-3 (Residential) comprising of single-family dwellings, and to the west is zoned C-4 (Commercial) comprising of a shopping center. The closest school is Del Valle Elementary School (0.19 mi.) and the closest park is Blackie Chesher Park (0.01 mi).

COMPLIANCE WITH <i>PLAN EL PASO</i>/REZONING POLICY – When evaluating whether a proposed rezoning is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Criteria	Does the Request Comply?
<p>Future Land Use Map: Proposed zone change is compatible with the Future Land Use designation for the property:</p> <p>G-3, Post-War: This sector applies to transitional neighborhoods typically developed from the 1950s through the 1980s. Streets were laid out with curvilinear patterns without alleys and shopping centers are located at major intersections behind large parking lots. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.</p>	<p>No. The proposed zoning district and use are not in character with the G-3, Post-war designation per <i>Plan El Paso</i>. The proposal does not contribute to supplementing the housing stock nor adds missing civic uses to the area.</p>
<p>Compatibility with Surroundings: The proposed zoning district is compatible with those surrounding the site:</p> <p>C-4 (Commercial) The purpose of this district is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities.</p>	<p>No. While the proposed zoning district would match that of adjacent property to the west, the property is provided with different access through Escobar Drive, which is not suitable to support truck traffic. The proposed zoning district and use are not compatible with adjacent zoning districts and uses to the north, east, and south which include a police station, parkland, elementary school, and single-family dwellings.</p>
<p>Preferred Development Locations: Located along an arterial (or greater street classification) or the intersection of two collectors (or greater street classification). The site for proposed rezoning is not located mid-block, resulting in it being the only property on the block with an alternative zoning district, density, use and/or land use.</p>	<p>Yes. The property is located along Escobar Drive, designated as a minor arterial per El Paso's Major Thoroughfare Plan (MTP) and is located adjacent to C-4 (Commercial) zoned property to the west.</p>

THE PROPOSED ZONING DISTRICT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.	None. The property does not fall within any historic districts or study areas.
Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the requested rezoning.	By rezoning the property to the proposed C-4 (Commercial) zoning district, incompatible uses and truck traffic will be introduced creating a potentially hazardous situation for residents utilizing the nearby park as well as the children attending the nearby elementary school. Furthermore, Escobar Drive and Zaragoza are the main access points for residential uses from the south to the park and elementary school in the proximity. This proposed zoning and use creates potential conflict with school and sporting activities traffic and safety of the established neighborhood.
Natural Environment: Anticipated effects on the natural environment.	None. There are no anticipated effects on the natural environment.
Stability: Whether the area is stable or in transition.	The area has been in transition to lower intensity development. The property was rezoned in 2020 from A-M (Apartment/Mobile Home) and C-4 (Commercial) into the current lower intensity R-3 (Residential) zoning district. This proposal upzones the property to heavy commercial uses that are not compatible with existing residential uses, school, public park, and police station development.
Socioeconomic & Physical Conditions: Any changed social, economic, or physical conditions that make the existing zoning no longer suitable for the property.	None. There are no social, economic, or physical conditions that make the existing R-3 zoning district not suitable for the property.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: The subject property fronts Escobar Drive, designated as a minor arterial per El Paso's Major Thoroughfare Plan (MTP). The designation of the road is appropriate for the proposed development. Water and sewer services are available per El Paso Water. There are existing sidewalks in the area, with the exception of the subject property. There are about four (4) bus stops along Zaragoza Road within walkable distance (0.25 mi).

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: Planning staff is recommending denial of the request due to incompatibility of the proposed zoning district with the existing development and not meeting the character and policies of the G-3, Post-war Future Land Use Map designation per *Plan El Paso*.

PUBLIC COMMENT: The property falls within the Mission Valley Civic Association and the Corridor 20 Civic Association, which were notified of the request by the applicant. The applicant met with the Mission Valley Association, El Paso Police Department's personnel from the Mission Valley Regional Command Center, and the financial advisor from the Ysleta Independent School District on September 10, 2024. Public notices were sent to all property owners within 300 feet of subject property on March 11, 2025 and on April 8, 2025. As of April 17, 2025, the Planning Division received an email of no objection with conditions from the Mission Valley Civic Association, with no communication in support or opposition to the request.

RELATED APPLICATIONS: N/A

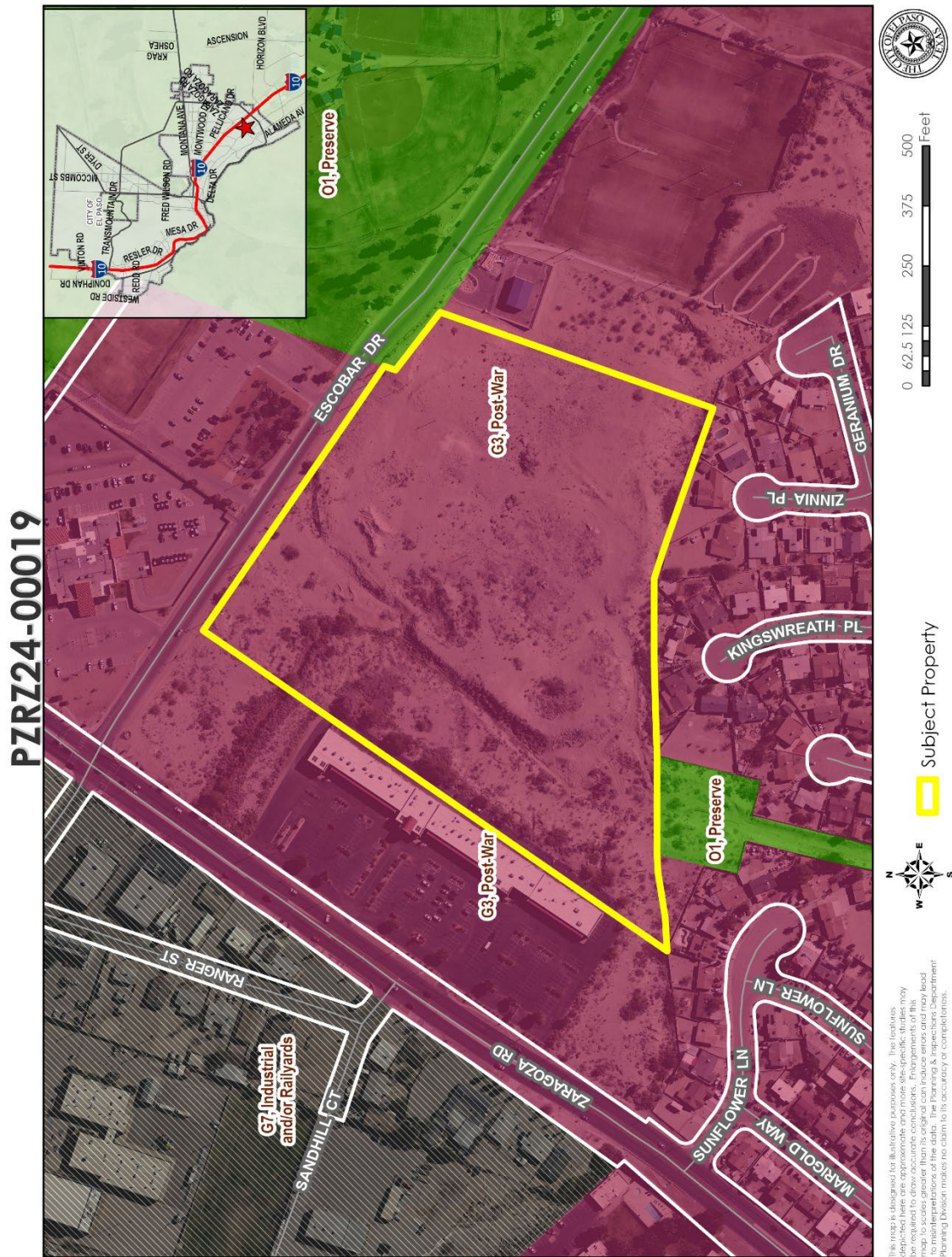
CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

1. **Recommend Approval** of the rezoning request, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan.
2. **Recommend Approval of the rezoning request With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Recommend Denial** of the rezoning request, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan. **(Staff Recommendation)**

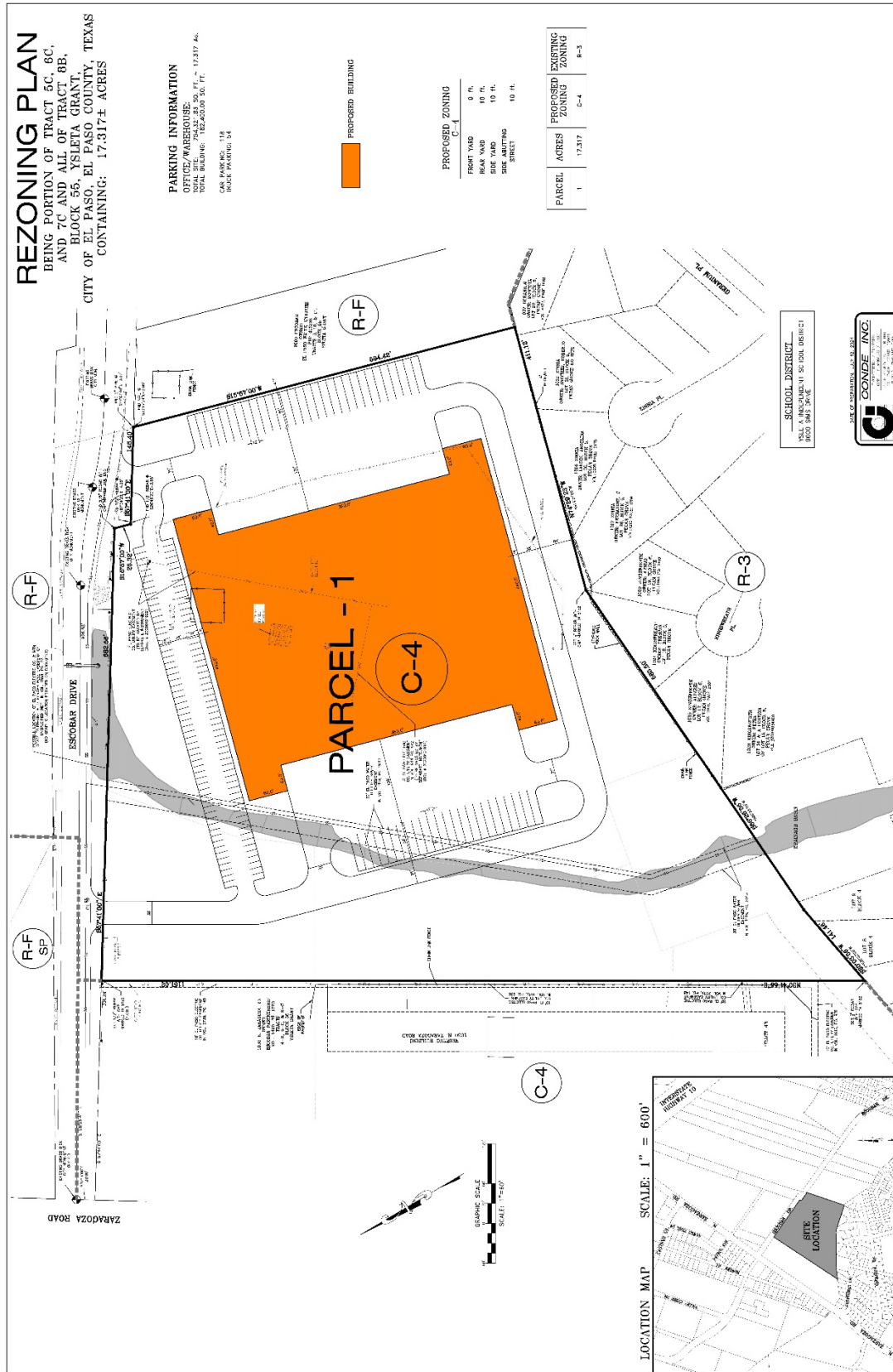
ATTACHMENTS:

1. Future Land Use Map
2. Conceptual Site Plan
3. Department Comments
4. Neighborhood Notification Boundary Map
5. Public input

ATTACHMENT 1



ATTACHMENT 2



ATTACHMENT 3

Planning and Inspections Department - Planning Division

Staff recommendation is **denial** of the C-4 zoning district request for the following reasons:

1. The proposed zoning district and use intensity are not compatible with existing surrounding single-family/mobile home developments, Del Valley Elementary School, Blackie Chesher Park, and the Mission Valley Regional Command Center;
2. Lack of supporting street infrastructure and adverse impacts to traffic patterns in the nearby area; and
3. The request does not meet the character nor furthers the policies of the G-3, Post-war Future Land Use Map designation per *Plan El Paso*, which aims “to supplement the limited housing stock and add missing civic and commercial uses.”

Planning and Inspections Department – Plan Review & Landscaping Division

The generalized site plan is not being reviewed for conformance due to conceptual nature. No objections to proposed rezoning. At the time of submittal for building permit, the project will need to comply with all applicable provisions of the ICC, TAS and Municipal Code.

Planning and Inspections Department – Land Development

1. Label if flood zone flow path is to be open or closed channel underground.
2. Building footprint should be spaced away from stormwater arroyo as much as possible.

Note: Site plan is conceptual.

Fire Department

No adverse comments.

Police Department

No comments received.

Environment Services

No comments received.

Streets and Maintenance Department

Traffic Engineering:

Upon reviewing rezoning case, Streets and Maintenance will coincide with Planning and Inspections on their decision of denial. As far as traffic concerns regarding the proposed use, the City will prohibit truck traffic beyond proposed property line on Escobar Dr.

Street Contract Management:

Indicate that any asphalt or concrete structure must follow DSC standards.

Street Lights Department:

Do not object to this request.

For the development of the lot a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that all projects that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Sun Metro

Recommend Approval.

If construction requires a Traffic Control Permit, please provide a copy in order prevent any disruption of Sun Metro Transit services and operations.

All TCPs can be sent to this email. Be advised nearest Sun Metro service route (RTE 69) runs northbound and southbound along N. Zaragoza Rd. with nearest bus stops located approximately 1500ft East of proposed site.

El Paso Water

EPWater does not object to this request.

Water:

There is an existing 8-inch diameter water main that extends along Escobar Drive. This main is available for service.

Previous water pressure reading from fire hydrant # 7698 located at Escobar Drive & 550-feet East of Zaragoza Road, has yielded a static pressure of 92 psi, a residual pressure of 860 psi, and a discharge of 919 gallons per minute. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer and relief valve, to be set for pressure as desired by the customer. The Lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer main that extends along Escobar Drive. This main is available for service.

There is an existing 27-inch diameter sewer interceptor that extends along a 30-foot PSB easement that crosses the subject property. No direct service connections are allowed to this main as per The El Paso Water – Public Service Board Rules and Regulations.

There is an existing 8-inch diameter sanitary sewer along a 30-foot PSB easement. This main ends approximately 167-feet south of Escobar Drive. This main is available for service.

General:

All easements dedicated for public water and sanitary sewer facilities shall comply with the EPWater-PSB Easement Policy. No building, reservoir, structure, parking stalls or other improvement, other than asphaltic paving (HMAC), shall be constructed or maintained on the above referenced EPWater-PSB easement without the written consent of EPWater-PSB. The Developer shall refrain from constructing rock walls, signs, buildings, curbs or any structure that will interfere with the access to the PSB easements. There shall be at least 5-foot setback from the easement line to any building, sign or structure. The PSB easements shall be improved to allow the operation of

EPWater maintenance vehicles. EPWater-PSB requires access to the proposed water, sanitary sewer facilities, appurtenances, and meters within the easement 24 hours a day, seven (7) days a week.

EPWater requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

EP Water-SW reviewed the property described above and provide the following comments:

- As per Municipal Code: new developments and redevelopments are required to maintain the pre-development hydrologic response in their post-development state as nearly as practicable in order to reduce flooding. The code also encourages the use of nonstructural storm water management such as the preservation of greenspace, water harvesting, and other conservation efforts, to the maximum extent practicable, per Chapter 19.19, Section 19.19.010, and Subparagraph A-2 & A-5.
- This property was previously reviewed under Escobar Estates and the developer proposed a storm sewer pond in the rear and that the existing arroyo traversing the property was to be conducted through an underground pipe system; is this still the case?

Note: Comments to be addressed during building permitting stage.

Texas Department of Transportation

No comments received.

El Paso County Water Improvement District #1

No comments received.

El Paso Electric

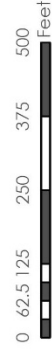
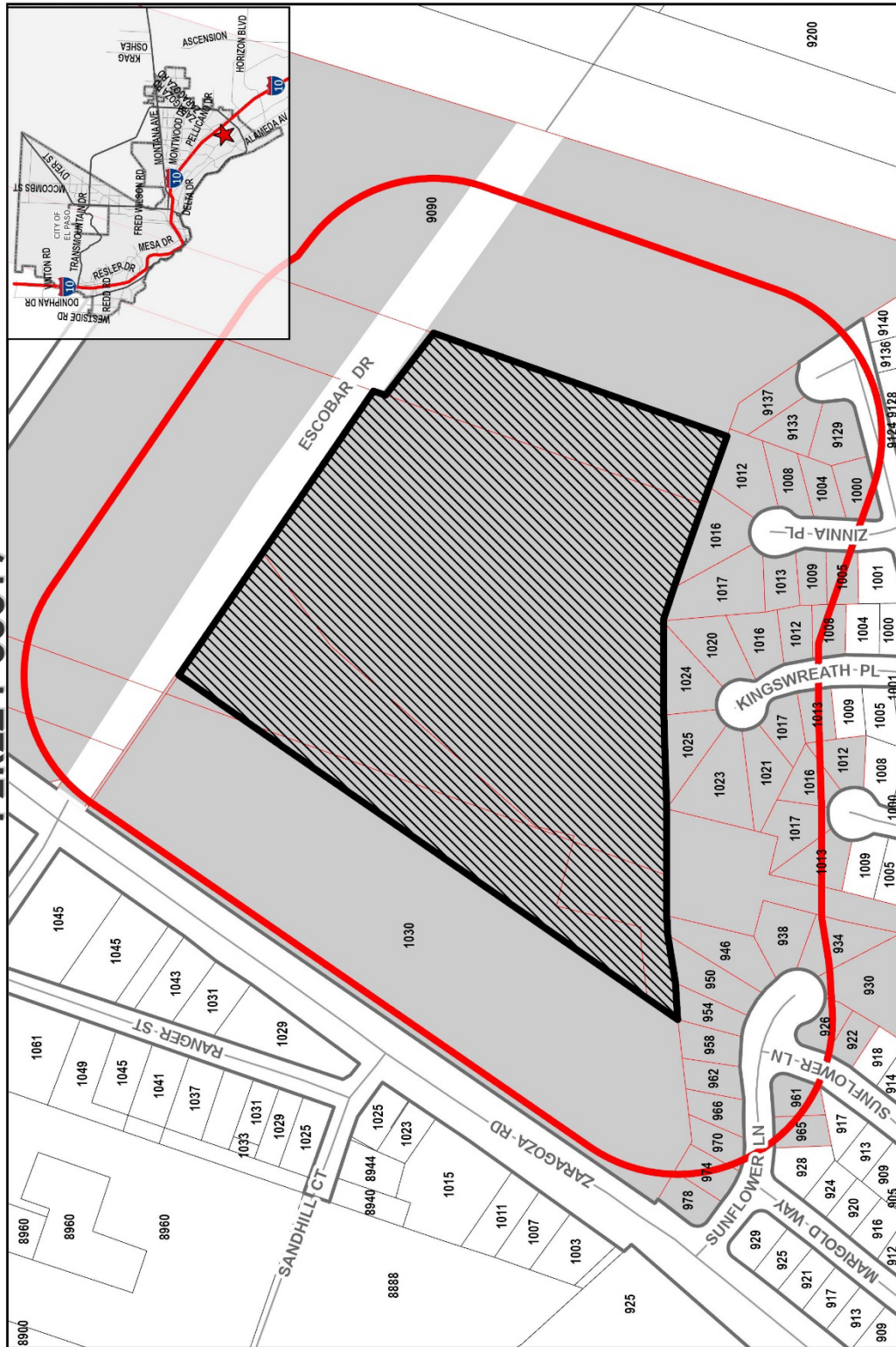
We have no comments for 9050 Escobar.

El Paso County 911 District

The 911 District has no comments/concerns regarding this zoning

ATTACHMENT 4

PZRZ24-00019



- Subject Property
- 300 Feet Notice Area
- Notified Properties



This map is designed for illustrative purposes only. The features depicted are not approximate and more specific information may be required for a final map. The map is not a legal document and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

ATTACHMENT 5

Zamora, Luis F.

From: Sylvia Carreon <longhorn_1989@hotmail.com>
Sent: Wednesday, November 20, 2024 9:37 AM
To: Zamora, Luis F.
Cc: Smith, Kevin W.; Garcia, Raul
Subject: Re: PZR224-00019 - 9050 Escobar

CAUTION: This email originated from outside of the City of El Paso. Do not click links or open attachments unless you recognize the sender and know the content is safe. If suspicious, use **Phish Alert** or forward to SpamReport@elpasotexas.gov.

Mr. Zamora, thank you for your comment on my response for the project at 9050 Escobar. The Mission Valley Civic Association, along with the EPPD personal from the Mission Valley and the financial advisor from YISD met with Mr. Quinn to discuss his project on Sept 10, 2024. Our discussion with Mr. Quinn was that we did not want 18 wheeler trucks being driven on Escobar passing the park or the school. We acknowledged the fact that other projects like apartments or businesses would also create more vehicle traffic for the Zaragoza. Mr. Quinn took our views and created an exit for this traffic away from the park and the school and still have access to the Interstate. The Mission Valley Civic Association will not object to his presentation as he has presented to us!

From: Zamora, Luis F. <ZamoraLF@elpasotexas.gov>
Sent: Tuesday, November 19, 2024 5:42 PM
To: longhorn_1989@hotmail.com <longhorn_1989@hotmail.com>
Cc: Smith, Kevin W. <SmithKW@elpasotexas.gov>; Garcia, Raul <GarciaR1@elpasotexas.gov>
Subject: PZR224-00019 - 9050 Escobar

Good evening Mrs. Carreon,

I hope you are well and getting ready for a happy Thanksgiving. We received a statement from the applicant regarding the rezoning at 9050 Escobar mentioning that the Mission Valley Civic Association is in support of the request. Per your response to them, I am unsure whether you meant to let them know that you were in support or merely remain neutral at this point and would like to get clarification directly from you.

Thank you in advance.

Sincerely,

Luis Zamora, AICP, CNU-A | Chief Planner

P: 915.212.1552 | F: 915.212.0084
A: 801 Texas Ave., El Paso, TX 79901
E: ZamoraLF@elpasotexas.gov
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