CITY OF EL PASO, TEXAS **AGENDA ITEM** DEPARTMENT HEAD'S SUMMARY FORM

AGENDA DATE: 9.14.21 PUBLIC HEARING DATE: N/A

CONTACT PERSON(S) NAME AND PHONE NUMBER: Sam Rodriguez, P.E., City Engineer, 212-0065

DISTRICT(S) AFFECTED: District 8

STRATEGIC GOAL: Goal 4: Enhance El Paso's Quality of Life through Recreational, Cultural and **Educational Environments**

SUBGOAL: Goal 4.1: Complete Quality of Life Bond Projects and develop signature programming:

Mexican American Cultural Center

SUBJECT: Discussion and action on the following items related to the Mexican American Cultural **Center and Main Library Renovation**

- 1.1) Presentation on the design of the Mexican American Cultural Center and Main Library Renovation signature Quality of Life Bond Project. Construction to be completed in summer of 2023.
- 1.2) APPROVE a resolution to reprogram project funds from 1) Investment Interest Capital Plans in the amount of \$3,124,819.68, 2) PCP Balance Project Savings in the amount of \$4,194,969.15, for the total aggregated amount of \$7,319,788.83 to Cleveland Square & Main Library Renovation Projects.
- 1.3) APPROVE amendments to the 2020-535R Construction Manager At Risk agreement with Sundt, for approval of the Guaranteed Maximum Price of \$22,551,344.00.
- 1.4) APPROVE a resolution to coordinate with El Paso Electric to identify and relocate specific existing improvements in the site to accommodate for the construction and improvements of the MACC and Cleveland Square.

BACKGROUND / DISCUSSION:

The Mexican American Cultural Center & Main Library Renovation have had an increase in scope since the last approved budget of \$18,003,664, that included \$7,253,663 from the 2012 Quality of Life Bond, and \$10.750.000 from the 2019 Capital plan. The increased scope includes the renovation of Cleveland Square into a public open amphitheater space, specialty equipment for programming, as well an enhanced entrance and new staircase for Main Library, new connecting breezeway from the new Children's Area to Teen Town, and new furniture as part of the renovation. The added scope brings increased quality and enhanced amenities to a signature quality of life project. The transferred funds will cover the total new project budget of \$25,323,452.80, so that construction may begin in September of 2021 for project completion of July 2023.

PRIOR COUNCIL ACTION:

Council previously approved an increased budget for the Mexican American Cultural Center & Main Library Renovation on September 18 2018. The amount approved was \$10,750,000.00 to be funded by the 2019 Capital Plan.

AMOUNT AND SOURCE OF FUNDING:

Revised 04/09/2021

The total aggregated amount of \$25,323,452.80 is being funded by 1) \$7,253,663 from the 2012 Quality of Life Bond, and 2) \$10,750,000 from the 2019 Capital plan, as well as the reprogramed project funds from 3) Investment Interest Capital Plans in the amount of \$3,124,819.68, and 4) PCP Balance Project Savings in the amount of \$4,194,969.15.

HAVE ALL AFFECTED DEPARTMENTS BEEN NOTIFIED? __X_ YES ___NO

PRIMARY DEPARTMENT: Capital Improvement

SECONDARY DEPARTMENT: MCAD, Parks & Recreation

DEPARTMENT HEAD:

(If Department Head Summary Form is initiated by Purchasing, client department should sign also)

RESOLUTION

WHEREAS, the El Paso City Council previously approved the 2009 Capital Plan, 2010 Capital Plan, 2011 Capital Plan, FY12 – FY13 Capital Plan, the 2013 Street Infrastructure plan, the 2017 Capital Plan, the 2018 Capital Plan, the 2019 Capital Plan, and the 2020 Capital Plan and the 2012 Quality of Life projects (all collectively referred to as the "Capital Plans") which generated investment interest and had balances left over from completed projects within each capital plan ("Existing Projects"); and

WHEREAS, the City is developing the Mexican American Cultural Center, Cleveland Square & Main Library Renovation Project (the "**Project**"); and

WHEREAS, the Existing Projects have or will be completed under their current budgets; and

WHEREAS, the City desires to reprogram project funding and interest from the Existing Projects in the aggregated amount of \$7,319,788.83 to the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

THAT the City approves the reprogramming of funds from investment interest in previous Capital Plans, and project savings of completed projects to the Project as shown in **Attachment** "A". Further that the Capital Plans are amended as provided herein, and that the City Manager, or designee, is authorized to execute all documents and perform all actions necessary to effectuate the reprogramming of funds as provided herein.

PASSED AND APPROVED this	day of2021.
	THE CITY OF EL PASO:
ATTEST:	Oscar Leeser Mayor
Laura D. Prine City Clerk	
APPROVED AS TO FORM:	APPROVED AS TO CONTENT: Samuel Rodriguez
Omar De La Rosa Assistant City Attorney	Samuel Rodriguez, P.E., City Engineer Capital Improvement Department

"ATTACHMENT A"

Project Funds Reprogramming

ADD	ТО				
Project Name	Fund	Amount			
	PCP Balance/Project Savings	•			
Mexican American	Fund 4530 2011 CO ISSUE	\$225,474.79			
Cultural Center's	(Parks/Streets/City Facilities)				
Cleveland Square	Fund 4510 2010 CO ISSUE	\$77,708,13			
& Main Library	(Parks/streets/City Facilities)				
Renovations	Fund 4743 2018 CO ISSUE	\$582,285.42			
Renovations	(Parks/Museums/Zoo/City Facilities, Streets)				
	Fund 4745 2019 Capital Plan	\$113,618.03			
	(Acquire/Construct/Improve/Renovate/Equip:				
	New & existing parks, open space, facilities)				
	Fund 4746 2020 CAPITAL PLAN	\$3,074,803.46			
	(Acquire/Construct/Improve/Renovate/Equip:				
	New & existing parks, open space, facilities)				
	Fund 4800 PROPOSITION 1	\$121,079.32			
	(Parks/Zoo)				
	Total:	\$4,194,969.15			
	Investment Interest				
Mexican American	Fund 4800 PROPOSITION 1	\$144,370.65			
Cultural Center's	(Parks/Zoo)				
Cleveland Square	Fund 4800 PROPOSITION 2	\$95,120.57			
& Main Library	(Libraries/MCAD)				
Renovations	Fund 4560 FY12-FY13 CIP	\$144.05			
Nerrovations	(Parks/Streets/City Facilities)				
	Fund 4710 2009 CAPITAL PLAN	\$3,701.99			
	(Acquire/Construct/Improve/Renovate/Equip:				
	New & existing parks, open space, facilities)				
	Fund 4741 2017 CAPITAL PLAN	\$68,183.28			
	(Acquire/Construct/Improve/Renovate/Equip:				
	New & existing parks, open space, facilities)				
	Fund 4740 2012-13 STREET INFRASTRUCTURE	\$657,590.00			
	(Re-alignment/Parks/Streets/facilities)				
	Fund 4743 2018 CAPITAL PLAN	\$515,932.84			
	(Acquire/Construct/Improve/Renovate/Equip:				
	New & existing parks, open space, facilities)				
	Fund 4745 2019 CAPITAL PLAN	\$228,700.67			
	(Acquire/Construct/Improve/Renovate/Equip:				
	New & existing parks, open space, facilities)				
	Fund 4746 2020 CAPITAL PLAN	\$83,343.51			

Fund 4530 2011 CO ISSUE	\$1,168,844.01
(Parks/Streets/City Facilities)	
Fund 4510 2019 CO ISSUES	\$158,888.11
(Parks/Streets/City Facilities)	
Total:	\$3,124,819.68
	(Parks/Streets/City Facilities) Fund 4510 2019 CO ISSUES (Parks/Streets/City Facilities)

Aggregated Total:	\$7,319,788.83	Aggregated Total:	\$7,319,788.83

RESOLUTION

WHEREAS, Ordinance 16090 grants the El Paso Electric Company ("**El Paso Electric**") a franchise to construct, reconstruct, repair, maintain, use and operate in, over, or under the present and future streets, alleys, public ways parks, and public places of the City of El Paso, facilities for the transmission and distribution of electrical energy and broadband over power line communications; and

WHEREAS, Ordinance 16090 also provides that the City shall have the power at any time to require El Paso Electric to change the route or position of its poles, lines, conduits, or other construction at El Paso Electric's expense when the El Paso City Council shall find, by resolution, that such change is necessary in the closing, opening or relocation of streets or alleys, or water or sewer lines, the changing of grade of streets or alleys, the construction and maintenance of parks and public improvements, the construction of private buildings, the construction or use of driveways, and under other conditions which the City Council shall find necessary under the lawful exercise of its police power; and

WHEREAS, the City of El Paso is currently making improvements to the El Paso Public Library Main Branch, located at 501 N. Oregon St., El Paso, TX 79901 ("**Property**"), such improvements including the construction of a Mexican American Cultural Center; and

WHEREAS, El Paso Electric currently has infrastructure and facilities located on the Property and on public spaces and right of ways belonging to the City of El Paso adjacent to the Property, and

WHEREAS, On August 13, 2013, the City of El Paso granted El Paso Electric an Underground and Switchgear Box Pad Easement recorded in the Official Public Records of Real Property in El Paso County under Document No. 20130067773 ("**Easement**"), such document granting an easement to El Paso Electric for the installation of some underground facilities on the Property; and

WHEREAS, the Easement provides that the City shall have the power at any time to require El Paso Electric Company to change the route and position of its poles, lines, conduits, or other construction at El Paso Electric's expense when the El Paso City Council finds, by resolution, that such change is necessary in the closing, opening or relocation of streets or alleys, or water or sewer lines, the changing of grade of streets or alleys, the construction and maintenance of public improvements, the construction of private buildings, the construction or use of driveways or under other conditions which the City Council shall find necessary.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

RESOLUTION

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

THAT the City Manager is authorized to sign the Guaranteed Maximum Price Amendment to the Standard Form of Agreement by and between the City of El Paso and SUNDT CONSTRUCTION, Inc. ("Construction Manager") for the project known as "Mexican American Cultural Center & Library Renovation – 2020-535R", to accept and incorporate the Construction Manager's Guaranteed Maximum Price Proposal and establishing the Guaranteed Maximum Price ("GMP") for the project in the amount of \$22,551,344; and

That the City Manager or Designee be authorized to approve contract changes or amendments which are necessary for proper execution of the work and carrying out the intent of the project, which are in accordance with applicable laws and are within the appropriate budget; and

That the City Manager be authorized to establish the funding sources and make any necessary budget transfers and execute any and all documents necessary for execution of this agreement.

day of

20

	, 01, 20
	CITY OF EL PASO:
	Oscar Leeser, Mayor
ATTEST:	
Laura D. Prine,	
City Clerk	
APPROVED AS TO FORM:	APPROVED AS TO CONTENT:
SANG	Samuel Rodriguez
Juan S. Gonzalez	Sam Rodriguez, P.E., City Engineer
Senior Assistant City Attorney	Capital Improvement Department

PASSED AND APPROVED this

1. That the City Council finds that the relocation of El Paso Electric improvements located on the Property, and adjacent public areas and rights of way, is necessary for the construction and maintenance of city public improvements and the construction of city buildings on and adjacent to the Property.

2. That in accordance to Ordinance 16090 and the Easement, the City of El Paso requires the El Paso Electric Company to change the route or position of its poles, lines, conduits, or other construction at, and adjacent to, the Property at the El Paso Electric Company's expense.

3. That the City Engineer is authorized, and directed, to coordinate with El Paso Electric to identify the specific El Paso Electric improvements that need to be relocated to accommodate the construction of the city improvements to, and adjacent to, the Property.

ADOPTED this	day of, 2021.
	THE CITY OF EL PASO:
ATTEST:	Oscar Leeser Mayor
Laura D. Prine City Clerk	

APPROVED AS TO FORM:

Omar A. De La Rosa Assistant City Attorney **APPROVED AS TO CONTENT:**

Samuel Rodriguez
Sam Rodriguez, P.E.
City Engineer

GUARANTEED MAXIMUM PRICE AMENDMENT TO THE STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONSTRUCTION MANAGER

This Guaranteed Maximum Price Amendment to the Standard Form of Agreement Between Owner and Construction Manager (the "Amendment") is entered into by and between the City of El Paso (the "City" or "Owner") and SUNDT CONSTRUCTION, INC. ("Sundt" or "Construction Manager") for the construction of Mexican American Cultural Center & Library Renovation –2020-535R Project ('Project''). This Amendment amends the one certain Standard Form of Agreement Between the Owner and Design-Builder (the "Agreement") entered into by and between the City and SUNDT, dated February 4, 2020, and establishes a Guaranteed Maximum Price ("GMP") for construction and time for completion of construction as set forth below:

RECITALS:

WHEREAS, the City and Construction Manager entered into the Agreement dated as of February 4, 2020, for the construction of the Mexican American Cultural Center & Library Renovation –2020-535R Project; and

WHEREAS, unless clearly provided otherwise herein, all terms and phrases used herein shall have the same meaning as the terms and phrases used in the Agreement; and

WHEREAS, Section 2.05 of the Agreement contemplates the delivery of a Construction Manager's GMP Proposal to the City; and

- **WHEREAS**, Section 2.05 of the Agreement requires that said proposal contain certain representations and documentation; and
- **WHEREAS**, Section 2.05 of the Agreement provides that in the event the City timely accepts the Construction Manager's GMP Proposal, this Amendment shall be executed; and
- **WHEREAS**, Construction Manager has delivered a Construction Manager's GMP Proposal to the City; and
- **WHEREAS**, the City desires to accept the Construction Manager's GMP Proposal, subject to any amendments or revisions as set forth below.
- **NOW, THEREFORE,** in consideration of the mutual covenants set forth herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and Construction Manager agree to modify and amend the Agreement as follows:

- 1. The City hereby accepts the Construction Manager's GMP Proposal submitted dated July 28, 2021, a true and complete copy of which is attached hereto and incorporated herein by reference, marked as Exhibit "1-A".
- 2. **GUARANTEED MAXIMUM PRICE**. Construction Manager's GMP for the project is \$22,551,344, subject to additions and deductions by Change Order as provided in the Contract Documents. As agreed by the City and Construction Manager, the GMP is an amount that the total project costs shall not exceed, and is based on and detailed in the attached Exhibit "1-A".
- 3. **CMAR FEE**. The Construction Manager's Fee for the Construction of the Work is hereby established in the sum of \$894,899, based on the product of 4.25% multiplied by the Cost of the Work, and said sum is included within the above stated GMP.
- 4. **TOTAL PROJECT COST**. The Total Project Cost for the construction of the Project are hereby established in the sum of \$17,352,657, and said sum is included in the above stated GMP. Construction Manager acknowledges and agrees that the City shall have no liability for any Cost of Project expenses beyond payment of the above noted amount and Construction Manager agrees that it shall not be entitled to receive any additional compensation from the City for the General Conditions beyond this amount unless expressly adjusted by a Change Order.
- 5. **CMAR CONTINGENCY**. A Construction Manager's contingency for the project is established in the sum of \$694,106 and said sum is included in the above GMP. Construction Manager shall use the Construction Managers Contingency pursuant to section D / Clarifications & Assumptions of the Construction Manager's GMP Proposal attached to this document as Exhibit "1-A".
- 6. **OWNER CONTINGENCY**. An Owner's contingency for the project is established in the sum of \$60,000 and said sum is included in the above GMP. Owner shall use the Owner's Contingency pursuant to Subsection 6.3 of Section D / Clarifications & Assumptions of the Construction Manager's GMP Proposal attached to this document as Exhibit "1-A".
- 7. **BUY OUT SAVINGS.** In the event of any "buy out" transactions, agreements by the Construction Manager with a subcontractor for the subcontractor's cost of its portion of the Work, then such savings shall be shared with the Owner in the following percentages: 50% to Owner, 50% to Construction Manager up to \$300,000.
- 8. **SUBSTANTIAL COMPLETION**. The Construction Manager shall achieve Substantial Completion of the entire Work not later than 640 calendar days from the date of commencement, subject to and adjustments of this Contract Time as provided in the Contract Documents and Changer Orders modifying and extending this Agreement. It is specifically understood and agreed to by and between Owner and Construction Manager that time is of the essence in the substantial completion of the Work, and that failure to substantially complete the Work within the designated period, or as it may be extended, shall be construed as a breach of this Agreement.
- 9. **FINAL COMPLETION**. The Construction Manager shall achieve Final Completion of the entire Work not later than 672 calendar days from the date of commencement, subject to and adjustments of this Contract Time as provided in the Contract Documents and Change Orders modifying and extending this Agreement. It is specifically understood and agreed to by and between

Owner and Construction Manager that time is of the essence in the substantial completion of the Work, and that failure to substantially complete the Work within the designated period, or as it may be extended, shall be construed as a breach of this Agreement.

10. **LIQUIDATED DAMAGES**. The Construction Manager acknowledges and recognizes that the Owner is entitled to full and beneficial occupancy and use of the completed work following expiration of the Contract Time. The Construction Manager further acknowledges and agrees that, if the Construction Manager fails to substantially, or cause the Substantial Completion or Final Completion of any portion of the Work within the Contract time, the Owner will sustain actual damages as a result of such failure. The exact amount of such damages will be difficult to ascertain. Therefore, the Owner and Construction Manager agree that, if the Construction Manager shall neglect, fail, or refuse to achieve substantial completion of the Work by the Substantial Completion of Final Completion date, subject to proper extension granted by the Owner, then the Construction Manager agrees to pay the Owner as liquidated damages ("Liquidated Damages"), not as a penalty, for the damages that would be suffered by Owner as a result of delay the sum of:

\$2,216 for each consecutive calendar day after the date of Substantial Completion in which the Work is not completed.

\$1,550 for each consecutive calendar day after the date of Final Completion in which the Work is not completed.

11. Except as modified herein, the terms and conditions of the Agreement remain unchanged. In the event of a conflict between the terms of this Amendment and those of the Agreement, the City and Construction Manager agree that the terms of this Amendment shall take precedence.

IN WITNESS WHEREOF, the parties have executed this Amendment to be effective a of the day of, 20							
Owner:	Construction Manager:						
CITY OF EL PASO, TEXAS	SUNDT CONSTRUCTION, INC.						
 Tomas González	By:						
City Manager	Name:						
	Title:						

Exhibit "1-A" – Construction Manager's GMP Proposal











TABLE OF CONTENTS

- A / Executive Summary
- **B** / Estimate Summary
- C / Estimate Detail/Furniture Breakout
- **D** / Clarifications & Assumptions
- **E** / List of Documents
- F / Project Schedule
- **G** / Constructability Review







EXECUTIVE SUMMARY

Sundt Construction is pleased to present the Guaranteed Maximum Price for the Mexican American Cultural Center Project. The project price is broken down between the following

Library-\$5,147,382

MACC-\$13,255,705

Cleveland Square - \$2,071,059

Furniture-\$1,497,961

Within the numbers above we are carrying contingencies in the following amounts

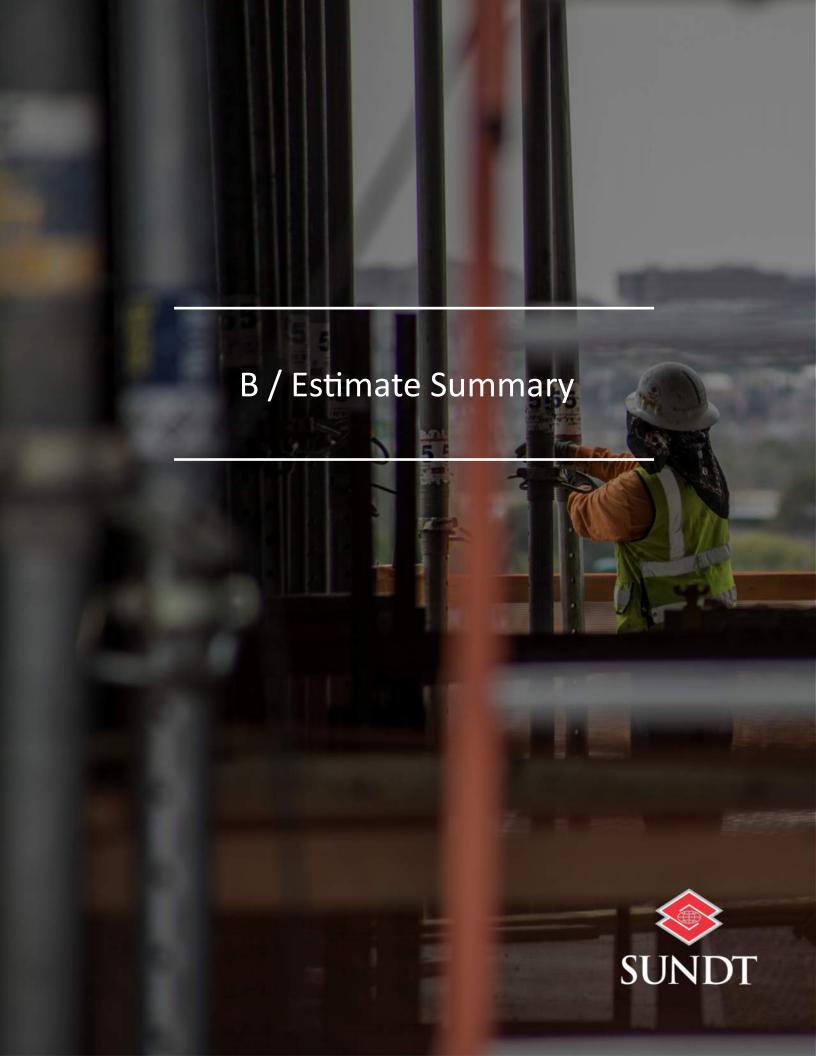
Cost Escalation - \$260,290

Design—\$173,527

Construction - \$694,106

Included in this package are the summary report, detailed cost report, clarifications and assumptions, schedule, and list of contract documents used for developing the GMP.





GMP

Friday, July 30, 2021; Revised Friday September 03, 2021



Triday, July 30, 2021, Neviseu Triday September 03, 2021														30	JND.	L
	1- MACC 2 - Library 3 - Cleveland Park 4 - Furniture				Project Total											
Description	L		40,939 S			67,590 S			45,312 S		108,529 S.F.				108,529 S.	
		Total	%	\$/S.F.	Total	%	\$/S.F.	Total	%	\$/S.F.	Total	%	\$/S.F.	Total	%	\$/S.F.
DIRECT COST																
00 13 00 Traffic Control		\$20,000	0.15%	\$0.49	\$20,000	0.38%	\$0.30	\$20,000	0.94%	\$0.44	·	0.00%	\$0.00	\$60,000	0.27%	\$0.55
00 14 00 Mockup		\$25,000	0.18%	\$0.61	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$25,000	0.11%	\$0.23
00 16 00 BIM		\$10,000	0.07%	\$0.24		0.19%	\$0.15	\$5,000	0.24%	\$0.11	\$0	0.00%	\$0.00	\$25,000	0.11%	\$0.23
00 18 00 Survey		\$24,962	0.18%	\$0.61	\$4,500	0.09%	\$0.07	\$21,343	1.00%	\$0.47	\$0	0.00%	\$0.00	\$50,805	0.23%	\$0.47
02 41 00 Demolition		\$232,483	1.71%	\$5.68	\$160,265	3.03%	\$2.37	\$59,554	2.80%	\$1.31	\$0	0.00%	\$0.00	\$452,302	2.01%	\$4.17
03 30 00 Structural Concrete		\$482,470	3.55%	\$11.79	\$136,758	2.59%	\$2.02	\$345,675	16.26%	\$7.63	\$0	0.00%	\$0.00	\$964,903	4.28%	\$8.89
04 20 00 Masonry		\$163,755	1.20%	\$4.00	\$22,924	0.43%	\$0.34	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$186,679	0.83%	\$1.72
05 10 00 Structural Steel		\$1,320,863	9.71%	\$32.26	\$293,779	5.56%	\$4.35	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$1,614,642	7.16%	\$14.88
05 60 00 Decorative Metals		\$746,852	5.49%	\$18.24	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$746,852	3.31%	\$6.88
06 40 00 Architectural Woodwork		\$133,203	0.98%	\$3.25	\$177,128	3.35%	\$2.62 \$0.21	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$310,331	1.38%	\$2.86
07 10 00 Waterproofing		\$65,488	0.48%	\$1.60	\$14,193	0.27%		\$24,866	1.17%	\$0.55	\$0 \$0	0.00%	\$0.00	\$104,547	0.46%	\$0.96
07 50 00 Roofing		\$937,060 \$225,034	6.89% 1.65%	\$22.89 \$5.50	\$21,018	0.40% 3.62%	\$0.31 \$2.83	\$0 \$0	0.00%	\$0.00 \$0.00	\$0 \$0	0.00%	\$0.00 \$0.00	\$958,078 \$416,168	4.25% 1.85%	\$8.83 \$3.83
08 10 00 Doors, Frames and Hardware		\$123,844	0.91%	\$3.03	\$191,134	0.00%	\$2.83		0.00%	\$0.00			\$0.00	\$123,844	0.55%	\$1.14
08 30 00 Specialty Doors		\$292,512	2.15%	\$3.03 \$7.15	\$0 \$144,497	2.74%	\$0.00 \$2.14	\$0 \$0	0.00%	\$0.00	\$0 \$0	0.00%	\$0.00	\$123,844	1.94%	\$4.03
08 40 00 Exterior Glazing System 09 20 00 Framing & Drywall		\$1,468,460	10.79%	\$35.87	\$498,120	9.43%	\$2.14 \$7.37	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$1,966,580	8.72%	\$18.12
09 64 00 Wood Flooring		\$1,468,460	0.52%	\$1.72	\$498,120	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$70,288	0.31%	\$0.65
09 68 00 Carpet		\$339,194	2.49%	\$8.29	\$387,633	7.34%	\$5.74	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$726,827	3.22%	\$6.70
10 00 00 Specialties		\$61,720	0.45%	\$1.51	\$66,798	1.26%	\$0.99	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$128,518	0.57%	\$1.18
10 14 00 Signage		\$13,116	0.10%	\$0.32	\$12,564	0.24%	\$0.33	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$25,680	0.11%	\$0.24
11 40 00 Food Service Equipment		\$257,531	1.89%	\$6.29	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$257,531	1.14%	\$2.37
12 20 00 Window Treatments		\$46,357	0.34%	\$1.13	\$25,000	0.47%	\$0.37	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$71,357	0.32%	\$0.66
12 60 00 Multiple Seating		\$329,300	2.42%	\$8.04	\$25,000	0.00%	\$0.00	\$0	0.00%	\$0.00	\$1,183,000	76.95%	\$10.90	\$1,512,300	6.71%	\$13.93
14 20 00 Elevators		\$192,862	1.42%	\$4.71	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$192,862	0.86%	\$1.78
21 00 00 Fire Suppression		\$193,198	1.42%	\$4.72		5.05%	\$3.95	\$0	0.00%	\$0.00		0.00%	\$0.00	\$459,869	2.04%	\$4.24
22 00 00 Plumbing		\$20,000	0.15%	\$0.49	\$40,000	0.76%	\$0.59	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$60,000	0.27%	\$0.55
26 00 00 Electrical		\$2,457,208	18.06%	\$60.02	\$1,537,294	29.10%	\$22.74	\$157,527	7.41%	\$3.48	\$0	0.00%	\$0.00	\$4,152,029	18.41%	\$38.26
27 40 00 Audio Video Communications		\$212,942	1.57%	\$5.20	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$212,942	0.94%	\$1.96
31 00 00 Earthwork		\$0	0.00%	\$0.00	\$16,145	0.31%	\$0.24	\$556,369	26.17%	\$12.28	\$0	0.00%	\$0.00	\$572,514	2.54%	\$5.28
31 31 00 Termite Treatment		\$2,860	0.02%	\$0.07	\$173	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$3,033	0.01%	\$0.03
31 40 00 Support of Excavation		\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$25,000	1.18%	\$0.55	\$0	0.00%	\$0.00	\$25,000	0.11%	\$0.23
32 14 00 Unit Paving		\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$157,889	7.43%	\$3.48	\$0	0.00%	\$0.00	\$157,889	0.70%	\$1.45
32 31 00 Fences and Gates		\$0	0.00%	\$0.00	\$3,500	0.07%	\$0.05	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$3,500	0.02%	\$0.03
32 90 00 Landscaping		\$0	0.00%	\$0.00	\$15,000	0.28%	\$0.22	\$262,778	12.36%	\$5.80	\$0	0.00%	\$0.00	\$277,778	1.23%	\$2.56
SUBTOTAL DIRECT COST		\$10,468,562	76.95%	\$255.71	\$4,065,094	76.95%	\$60.14	\$1,636,001	76.95%	\$36.11	\$1,183,000	76.95%	\$10.90	\$17,352,657	76.95%	\$159.89
Subcontractor Default Insurance	0.00%	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00
Subcontractor Liability Insurance	0.00%	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00
Material & Labor Escalation	1.50%	\$157,028	1.15%	\$3.84	\$60,976	1.15%	\$0.90	\$24,540	1.15%	\$0.54	\$17,745	1.15%	\$0.16	\$260,290	1.15%	\$2.40
Design Contingency	1.00%	\$104,686	0.77%	\$2.56	\$40,651	0.77%	\$0.60	\$16,360	0.77%	\$0.36	\$11,830	0.77%	\$0.11	\$173,527	0.77%	\$1.60
Contractors Contingency	4.00%	\$418,742	3.08%	\$10.23	\$162,604	3.08%	\$2.41	\$65,440	3.08%	\$1.44	\$47,320	3.08%	\$0.44	\$694,106	3.08%	\$6.40
Sales / Gross Receipts Tax	0.00%	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00
TOTAL DIRECT COST		\$11,149,019	81.95%	\$272.33	\$4,329,325	81.95%	\$64.05	\$1,742,341	81.95%	\$38.45	\$1,259,895	81.95%	\$11.61	\$18,480,580	81.95%	\$170.28
INDIRECT COSTS																
Preconstruction Fee		\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00
General Conditions		\$1,300,816	9.56%	\$31.77	\$505,126	9.56%	\$7.47	\$203,288	9.56%	\$4.49	\$146,999	9.56%	\$1.35	\$2,156,228	9.56%	\$19.87
PL & PD Insurance	0.95%	\$125,807	0.92%	\$3.07	\$48,853	0.92%	\$0.72	\$19,661	0.92%	\$0.43	\$14,217	0.92%	\$0.13	\$208,538	0.92%	\$1.92
Builder's Risk	0.19%	\$25,382	0.19%	\$0.62	\$9,856	0.19%	\$0.15	\$3,967	0.19%	\$0.09	\$2,868	0.19%	\$0.03	\$42,073	0.19%	\$0.39
G.C. Bond	0.77%	\$101,970	0.75%	\$2.49	\$39,596	0.75%	\$0.59	\$15,936	0.75%	\$0.35	\$11,523	0.75%	\$0.11	\$169,025	0.75%	\$1.56
Contractors Fee (OH&P)	4.25%	\$539,877	3.97%	\$13.19	\$209,642	3.97%	\$3.10	\$84,371	3.97%	\$1.86	\$61,009	3.97%	\$0.56	\$894,899	3.97%	\$8.25
SUBTOTAL INDIRECT COSTS		\$2,093,852	15.39%	\$51.15	\$813,073	15.39%	\$12.03	\$327,222	15.39%	\$7.22	\$236,616	15.39%	\$2.18	\$3,470,763	15.39%	\$31.98
OWNERS CONTINGENCY		\$361,970	2.66%	\$8.84	\$140,558	2.66%	\$2.08	\$56,568	2.66%	\$1.25	\$40,904	2.66%	\$0.38	\$600,000	2.66%	\$5.53
											<u> </u>					
TOTAL PROJECT CONSTRUCTION COSTS		\$13,604,841	100.00%	\$332.32	\$5,282,957	100.00%	\$78.16	\$2,126,131	100.00%	\$46.92	\$1,537,415	100.00%	\$14.17	\$22,551,344	100.00%	\$207.79



REIMBURSABLE LABOR RATES

Exhibit I.B.

Mexican American Cultural Center

	DESCRIPTION	Unit	
		Rate	Unit
1	REGIONAL MANAGER	\$200.08	Hour
2	PROJECT EXECUTIVE	\$188.54	Hour
3	PROJECT MANAGER	\$124.13	Hour
4	MEP SPECIALIST	\$133.34	Hour
5	PRECONSTRUCTION MANAGER	\$200.08	Hour
6	PRECON PROJECT MANAGER	\$153.83	Hour
7	SENIOR ESTIMATOR	\$123.34	Hour
8	ESTIMATOR	\$106.39	Hour
9	GENERAL SUPERINTENDENT	\$147.90	Hour
10	PROJECT SUPERINTENDENT	\$119.55	Hour
11	FIELD SUPERINTENDENT	\$76.61	Hour
12	PROJECT ENGINEER	\$87.34	Hour
13	FIELD ENGINEER	\$68.16	Hour
14	QUALITY MANAGER	\$90.41	Hour
15	QUALITY CONTROL INSPECTOR	\$77.38	Hour
16	SAFETY SPECIALIST	\$79.68	Hour
17	PROJECT OFFICE MANAGER	\$70.79	Hour
18	PROJECT ADMINISTRATOR	\$60.50	Hour
19	CLERICAL PERSONNEL	\$59.79	Hour
20	CONTRACT ADMINISTRATOR	\$65.73	Hour
21	VDC DEPARTMENT MANAGER	\$142.81	Hour
22	VDC ENGINEER	\$111.45	Hour
23	VDC TECHNICIAN	\$80.97	Hour
24	PROJECT SCHEDULER	\$115.72	Hour
100	CARPENTER FOREMAN	\$53.12	Hour
101	CARPENTER JOURNEYMAN	\$45.36	Hour
102	EQUIPMENT OPERATOR FOREMAN	\$48.71	Hour
103	EQUIPMENT OPERATOR JOURNEYMAN	\$45.10	Hour
104	EQUIPMENT OPERATOR TOWER CRANE	\$55.53	Hour
105	CEMENT MASON FOREMAN	\$52.99	Hour
106	CEMENT MASON JOURNEYMAN	\$44.83	Hour
107	LABORER FOREMAN	\$42.82	Hour
108	LABORER JOURNEYMAN	\$45.90	Hour
109	IRONWORKER FOREMAN	\$55.66	Hour
110	IRONWORKER JOURNEYMAN	\$49.51	Hour
111	WELDER	\$52.32	Hour

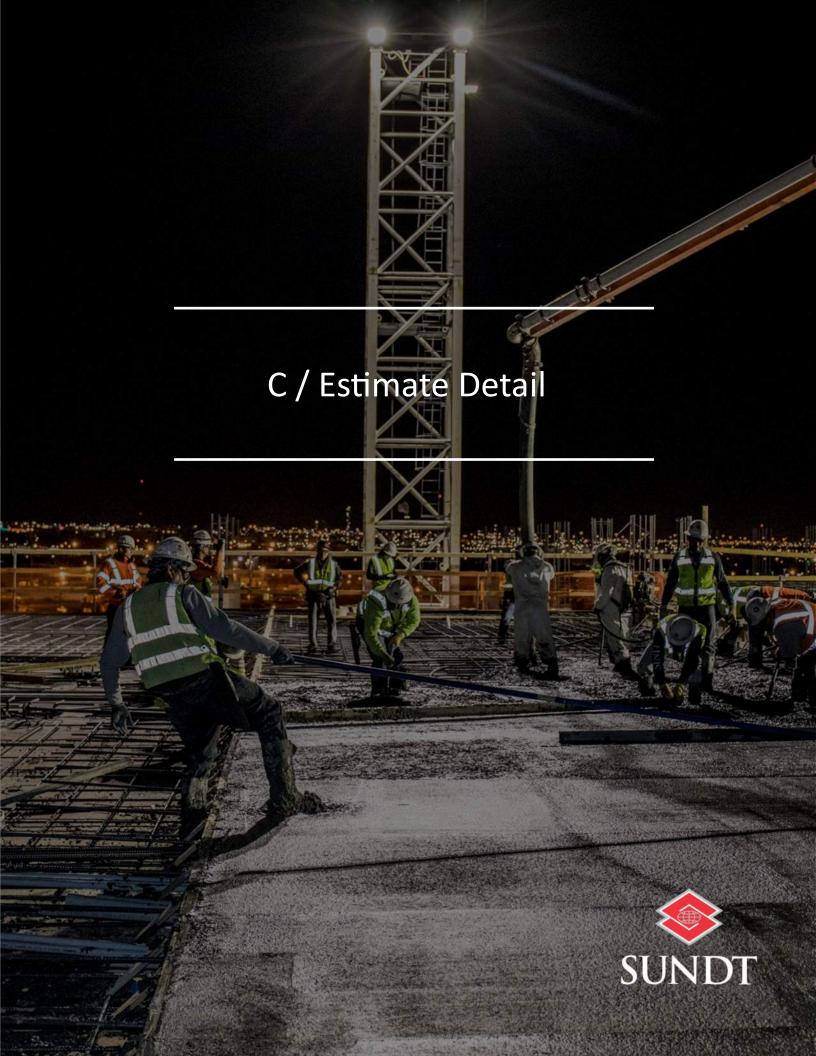
- 1. These rates are valid from October 1, 2021 thru September 30, 2022. After September 30, 2022 these rates will increase 5% per year unless otherwise stipulated in the contract.
- 2. Holiday, Sick and Vacation time for personnel assigned to the project will be a reimbursable cost at these same labor rates.
- **3.** The above labor rates include all customary medical and health insurance, payroll taxes, qualified retirement plan (401k and ESOP), bonus, and fringe benefits.

Allowances



Exhibit II.C. List of Allowances in GMP

Line No.	C. List of Allowances in GMP Description	Total Amount	2021-07-28 all Estimate Allowances
1	Elevator Cab Upgrades (MACC)	\$ 25,000.00	
2	Existing Auditorium Acoustic Panels (Re-Upholstery)	\$ 20,000.00	
3	Library Window Treatment	\$ 25,000.00	
4	AV Equipment	\$ 469,000.00	
5	MACC Furniture	\$ 347,000.00	
6	Library Furniture	\$ 367,000.00	
7	Workshop Tool/Equipment	\$ 267,000.00	
8	Utility Locates	\$ 3,000.00	
9	Ceiling and Column Patch	\$ 78,431.00	
10	Refinishing of Library Desk	\$ 8,500.00	
11	Outdoor LED Screen	\$ 212,942.00	
12	Children's interactive wall	\$ 14,000.00	
13	Material & Labor Escalation	\$ 260,290.00	
14	Cleaning of existing duct	\$ 49,000.00	
15	Replace Existing Plumbing Lines	\$ 60,000.00	
	TOTAL	\$ 2,206,163.00	



MACC GMP 7.28.21



DESCRIPTION	TOTAL COST
00 13 00 Construction Support	\$60,000
00 14 00 Miscellaneous Job Expenses	\$25,000
00 16 00 Quality Control / Quality Assurance	\$25,000
00 18 00 Survey	\$50,805
02 41 00 Demolition	\$452,302
03 30 00 Structural Concrete	\$964,903
04 20 00 Masonry	\$186,679
05 10 00 Structural Steel	\$1,614,642
05 60 00 Decorative Metals	\$746,852
06 40 00 Architectural Woodwork	\$310,331
07 10 00 Waterproofing	\$104,547
07 50 00 Roofing	\$958,078
08 10 00 Doors, Frames and Hardware	\$416,168
08 30 00 Specialty Doors	\$123,844
08 40 00 Exterior Glazing System	\$437,009
09 20 00 Framing & Drywall	\$1,966,580
09 64 00 Wood Flooring	\$70,288
09 68 00 Carpet	\$726,827
10 00 00 Specialties	\$128,518
10 14 00 Signage	\$25,680
11 40 00 Food Service Equipment	\$257,531
12 20 00 Window Treatments	\$71,357
12 60 00 Multiple Seating	\$1,512,300
14 20 00 Elevators	\$192,862
21 00 00 Fire Suppression	\$459,869
22 00 00 Plumbing	\$60,000
26 00 00 Electrical	\$4,152,029
27 40 00 Audio Video Communications	\$212,942
31 00 00 Earthwork	\$572,514
31 31 00 Termite Treatment	\$3,033
31 40 00 Support of Excavation	\$25,000
32 14 00 Unit Paving	\$157,889
32 31 00 Fences and Gates	\$3,500
32 90 00 Landscaping	\$277,778
DIRECT SUBTOTAL	\$17,352,657

MACC GMP 7.28.21



INDIRECT SUBTOTAL

TOTAL PROJECT COST \$17,352,657



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT	TOTAL COST	NOTES/COMMENTS
00 13 00 Cd	onstruction Support					
001300.001 T	60.00	Month	\$3,000.00	\$60,000.00		
00 13 00 Cd				\$60,000.00		
00 14 00 Mi	scellaneous Job Expenses					
001400.001 N	- Nockup	1.00	LS	\$25,000.00	\$25,000.00	
00 14 00 Mi	scellaneous Job Expenses				\$25,000.00	
00 16 00 Qւ	uality Control / Quality Assurance					
001600.001 E	BIM/Coord, Qual Const. Review, & Tracking	1.00	LS	\$5,000.00	\$5,000.00	
001600.001 E	BIM/Coord, Qual Const. Review, & Tracking	2.00	LS	\$20,000.00	\$20,000.00	
00 16 00 Qւ	uality Control / Quality Assurance				\$25,000.00	
00 18 00 Su	ırvey					
001800.000 S	Survey	1.00	LS	\$5,462.00	\$5,462.00	
001800.000 S	Survey	1.00	LS	\$16,843.00	\$16,843.00	
001800.001 S	Site Survey - Contractor's Geotechnical Study	1.00	LS	\$15,000.00	\$15,000.00	
	Site Survey - GPRS (undergrind radar)	1.00	l	\$4,500.00	\$4,500.00	
	Site Survey - GPRS (underground radar)	1.00	I -	\$4,500.00	\$4,500.00	
	Site Survey - GPRS (underground radar)	1.00	LS	\$4,500.00	\$4,500.00	
00 18 00 Su	ırvey				\$50,805.00	
02 41 00 De	emolition					
	Bid Package - Demolition	1.00	LS	\$59,554.00	\$59,554.00	
	Bid Package - Demolition	1.00	l	\$128,994.00	\$128,994.00	
	Bid Package - Demolition	1.00	l	\$212,323.00	\$212,323.00	
	Post Demo Discovery Issues	102,862.00	SF Flr.	\$1.00	\$51,431.00	
02 41 00 De	emolition				\$452,302.00	
03 30 00 St	ructural Concrete					
	Bid Package - Structural Concrete	1.00	l	\$116,758.00	\$116,758.00	
	Bid Package - Structural Concrete	1.00	l	\$335,675.00	\$335,675.00	
	Bid Package - Structural Concrete	1.00	l	\$477,470.00	\$477,470.00	
	Patch floors and columns	1.00	l	\$5,000.00	\$5,000.00	
	Patch floors and columns Etch Concrete Historic Walk Media-Blast (6 locals	1.00 1.00	l	\$20,000.00 \$10,000.00	\$20,000.00 \$10,000.00	
	er 1/L2.02M)	1.00	LS	\$10,000.00	\$10,000.00	
03 30 00 St	ructural Concrete				\$964,903.00	
04 20 00 Ma	asonry					
042200.100 0	Concrete Masonry Rebar	1.00	LS	\$7,462.00	\$7,462.00	
	Concrete Masonry Units 8"	1.00	l	\$22,924.00	\$22,924.00	
	Concrete Masonry Units 8"	1.00	l	\$131,293.00	\$131,293.00	
042200.100 C	Concrete Masonry Units allowance	1.00	LS	\$25,000.00	\$25,000.00	
04 20 00 Ma	asonry				\$186,679.00	
05 10 00 St	ructural Steel					
	Bid Package - Structural Steel	1.00	LS	\$293,779.00	\$293,779.00	
051000.000 E	Bid Package - Structural Steel Fabrication/Erection	1.00	LS	\$1,320,863.0 0	\$1,320,863.00	
05 10 00 St	ructural Steel				\$1,614,642.00	



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT	TOTAL COST	NOTES/COMMENTS
05 60 00 De	ecorative Metals					
	Bid Package - Decorative Metals - Ext. Alum/LED & Perf Screen Walls	1.00	LS	\$746,852.00	\$746,852.00	
05 60 00 De	ecorative Metals				\$746,852.00	
06 40 00 Ar	chitectural Woodwork					
064000.000 E	Bid Package - Architectural Woodwork	1.00	LS	\$133,203.00	\$133,203.00	
064000.000 Bid Package - Architectural Woodwork		1.00	LS	\$156,628.00	\$156,628.00	
064000.000 Bid Package - Refinish Exisitng Desk		1.00	All.	\$8,500.00	\$8,500.00	
064000.000 V	Vall at interactive childerns areas	1.00	All.	\$12,000.00	\$12,000.00	
06 40 00 Ar	chitectural Woodwork				\$310,331.00	
07 10 00 Wa	aterproofing					
071000.000 E	Bid Package - Waterproofing/Joint Sealants	1.00	LS	\$14,193.00	\$14,193.00	
071000.000 E	Bid Package - Waterproofing/Joint Sealants	1.00	LS	\$24,866.00	\$24,866.00	
071000.000 E	Bid Package - Waterproofing/Joint Sealants	1.00	LS	\$65,488.00	\$65,488.00	
07 10 00 Wa	aterproofing				\$104,547.00	
07 50 00 Rd	oofing					
075000.000 E	Bid Package - Paving/Waterproofing	1.00	LS	\$382,611.00	\$382,611.00	
075000.000 E	Bid Package - Roofing	1.00	LS	\$21,018.00	\$21,018.00	
	3id Package - Roofing	1.00		\$146,185.00	\$146,185.00	
075000.000 E	Bid Package - Terracota Rainscreen	1.00	LS	\$408,264.00	\$408,264.00	
07 50 00 Rd	oofing				\$958,078.00	
08 10 00 Do	oors, Frames and Hardware					
081000.001 E	Bid Package - Doors - Interior	1.00	LS	\$191,134.00	\$191,134.00	
081000.001 E	Bid Package - Doors - Interior	1.00	LS	\$225,034.00	\$225,034.00	
08 10 00 Do	oors, Frames and Hardware				\$416,168.00	
08 30 00 Sp	ecialty Doors					
083000.015 F	Folding Door	1.00	EA	\$28,650.00	\$28,650.00	
083000.015 F	ull Height Coiling Grille	1.00	EA	\$95,194.00	\$95,194.00	
08 30 00 Sp	ecialty Doors				\$123,844.00	
08 40 00 Ex	terior Glazing System					
	Bid Package - Exterior Glazing System	1.00	LS	\$144,497.00	\$144,497.00	
	Bid Package - Exterior Glazing System	1.00	LS	\$292,512.00	\$292,512.00	
08 40 00 Ex	terior Glazing System				\$437,009.00	
09 20 00 Fr	aming & Drywall					
092000.000 E	Bid Package - Framing, Drywall, Paint, EFIS, Rough Carpentry	1.00	LS	\$498,120.00	\$498,120.00	
	Bid Package - Framing, Drywall, Paint, EFIS Rough Carpentry	1.00	LS	\$1,468,460.0 0	\$1,468,460.00	
09 20 00 Fr	aming & Drywall				\$1,966,580.00	
09 64 00 W	09 64 00 Wood Flooring					
096400.005 Flooring - Wood Flooring		1.00	LS	\$70,288.00	\$70,288.00	
09 64 00 W				\$70,288.00		
09 68 00 Ca						
096800.000 E	Bid Package - Flooring	1.00	LS	\$339,194.00	\$339,194.00	



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT COST	TOTAL COST	NOTES/COMMENTS
096800.010 E	id Package - Flooring	1.00	LS	\$387,633.00	\$387,633.00	
09 68 00 Ca	rpet				\$726,827.00	
10 00 00 Sp	ecialties					
	id Package -Child Interactive Wall station 9/A- 11L	1.00	All.	\$2,000.00	\$2,000.00	
	id Package - Toilet, Bath and Laundry accessories	1.00	LS	\$57,220.00	\$57,220.00	
	id Package - Toilet, Bath and Laundry accessories	1.00	LS	\$60,298.00	\$60,298.00	
102800.000 E	Defibulator	2.00	All.	\$9,000.00	\$9,000.00	
10 00 00 Sp	pecialties				\$128,518.00	
10 14 00 Si	gnage					
	Signage - Building	1.00	l	\$13,116.00	\$13,116.00	
	Signage - Building	1.00	LS	\$12,564.00	\$12,564.00	
10 14 00 Sig	gnage				\$25,680.00	
11 40 00 Fo	od Service Equipment					
114000.000 E	quipment - Food Service	1.00	LS	\$257,531.00	\$257,531.00	
11 40 00 Fo	od Service Equipment				\$257,531.00	
12 20 00 Wi	indow Treatments					
122000.000 E	tid Package - Window Treatments	1.00	LS	\$46,357.00	\$46,357.00	
122000.000 E	id Package - Window Treatments - Allowance	50.00	EA	\$500.00	\$25,000.00	
12 20 00 Wi	indow Treatments				\$71,357.00	
12 60 00 Mu	ultiple Seating					
	equipment - Workshop (Tools, Dust Colletion = FE - CFCI)	1.00	All.	\$267,000.00	\$267,000.00	
	id Package - A/V	1.00	l	\$469,000.00	\$469,000.00	
	Bid Package - Furniture/Equipment - Library	1.00		\$367,000.00	\$367,000.00	
	id Package - Furniture/Equipment - MACC id Package - Multiple Seating	1.00 1.00	l	\$347,000.00 \$62,300.00	\$347,000.00 \$62,300.00	
	ultiple Seating	1.00	Δ	ψ02,300.00	\$1,512,300.00	
					ψ1,512,500.00	
14 20 00 El		4.00		#407 000 00	#40 7 000 00	
re	tid Package - Elevators - included equipment elocation	1.00		\$167,862.00	\$167,862.00	
	Elevator - Cab upgrade	1.00	All.	\$25,000.00	\$25,000.00	
14 20 00 El	evators				\$192,862.00	
	re Suppression					
	Bid Package - Fire Protection	1.00	l	\$193,198.00	\$193,198.00	
	did Package - Fire Protection	1.00	LS	\$266,671.00	\$266,671.00	
21 00 00 Fii	re Suppression				\$459,869.00	
	22 00 00 Plumbing					
	Plumbing - Additional Plumbing Runs Plumbing - Additional Plumbing Runs	1.00 1.00		\$20,000.00 \$40,000.00	\$20,000.00 \$40,000.00	
22 00 00 Pl	umbing				\$60,000.00	
26 00 00 Ele	ectrical					
		<u> </u>	L			



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT COST	TOTAL COST	NOTES/COMMENTS
260000.000 B	id Package - lectrical/HVAC/Plumbing/AV/Comm	1.00	LS	\$157,527.00	\$157,527.00	
260000.000 B	•	1.00	LS	\$1,537,294.0 0	\$1,537,294.00	
260000.000 B	id Package - lectrical/HVAC/Plumbing/AV/Comm	1.00	LS	\$2,457,208.0 0	\$2,457,208.00	
26 00 00 Ele	ectrical				\$4,152,029.00	
27 40 00 Au	dio Video Communications					
274000.026 A	V System - Outdoor LED Screen 13'-8"x44'-0"	1.00	LS	\$212,942.00	\$212,942.00	
27 40 00 Au	dio Video Communications				\$212,942.00	
31 00 00 Ea	rthwork					
310000.000 B	id Package - Earthwork	1.00	LS	\$12,945.00	\$12,945.00	
	id Package - Earthwork	1.00	LS	\$553,369.00	\$553,369.00	
	ackfill basement w/import material	1.00		\$3,200.00	\$3,200.00	
	312300.030 Utility Location in Cleveland Square Park		All.	\$3,000.00	\$3,000.00	
31 00 00 Ea	31 00 00 Earthwork				\$572,514.00	
31 31 00 Te	rmite Treatment					
313100.001 T	ermite Treatment	5,515.00	LS	\$1.10	\$3,033.25	
31 31 00 Te	rmite Treatment				\$3,033.25	
31 40 00 Su	pport of Excavation					
314000.001 S	horing	1.00	LS	\$25,000.00	\$25,000.00	
31 40 00 Su	pport of Excavation				\$25,000.00	
32 14 00 Un	it Paving					
321400.005 P	laza - Pavers	1.00	LS	\$157,889.00	\$157,889.00	
32 14 00 Un	it Paving				\$157,889.00	
32 31 00 Fe	nces and Gates					
323100.025 V	Vrought Iron Fencing	1.00	LS	\$3,500.00	\$3,500.00	
32 31 00 Fe	32 31 00 Fences and Gates				\$3,500.00	
32 90 00 La	32 90 00 Landscaping					
329000.000 B	id Package - Landscaping	1.00	All.	\$15,000.00	\$15,000.00	
329000.000 B	id Package - Landscaping	1.00	LS	\$262,778.00	\$262,778.00	
32 90 00 La	ndscaping				\$277,778.00	

DIRECT SUBTOTAL \$17,352,657.25

Furniture Breakdown of Allowances included in GMP

	AMCC - City Scheduled Vocationa Equ	pment, Prog	ram A/V, & F	F&E					
MACC DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
301	PUBLIC SPACE								
301	BLACK BOX	1		\$ 237,600.00	\$ -	\$ 184,900	\$ 52,700		\$ -
F									https://www.googleadservices.com/pagead/aclk?sa
									=L&ai=DChcSEwil
									eSn8TuAhUUCecKHUqjDgcYABAIGgJwdg&ohost=ww
									w.google.com&cid=CAESQOD2tXDICvjkA8marR1Ejh1
		150	\$ 120.00	\$ 18,000.00			\$ 18,000		cf9koyQiloHvetQTdyZgiaEdJnWNc1n6YZ3CkyKh9blCz
			120.00	Ψ			ψ . ο,οοο		PE1XFcU8RpVRuPzvGC8&sig=AOD64 1mUvh7CJWo
									<u>W-</u>
									2pfQINdu9hNtzG6g&ctype=5&q=&ved=2ahUKEwjV
	FOLDABLE CHAIR							Grade?	wd6Sn8TuAhXiHTQIHUkwCH8Q9aACegQIAxBj&adurl
F	FOLDABLE CHAIR							Giddes	Ether // DChrCFriff
Г									https://www.google.com/aclk?sa=l&ai=DChcSEwjFya
		3	\$ 10,000,00	\$ 30,000,00			\$ 30,000		CnocTuAhVulK0GHZRrAroYABBcGgJwdg&sig=AOD64
		3	\$ 10,000.00	\$ 30,000.00			\$ 30,000		<u>2lemPIN4 AcPasvTA1PgT48PvFbQ&ctype=5&q=&v</u> ed=0ahUKEwip6JunocTuAhUeHjQIHZImAxwQ9A4I9A
	MOVABLE CHAIR PLATFORM							Size & Grade?	U&adurl=
E	THE TY IDEE OF IT WILL I EXTENDED							5/25 & 5/4d5.	https://www.google.com/aclk?sa=l&ai=DChcSEwjSuJ
_									PhosTuAhUjPa0GHYgLAFIYABAOGgJwdg&sig=AOD64
		6	\$ 15,000,00	\$ 90,000.00		\$ 90,000			1Wk2OaEZLhkYd7jlwr69hbGJwGkw&ctype=46&g=
		O	Ψ 13,000.00	Ψ /0,000.00		φ /0,000			&ved=0ahUKEwjg6o7hosTuAhVUOH0KHXHSAgwQw
	Permanent loudspeakers							Size & Grade?	w8l1wQ&adurl=
E									https://www.google.com/shopping/product/145546
									86021764605720?q=motorized+projection+screen&r
									lz=1C1GCEA_enUS868US868&sxsrf=ALeKk02On2Fa7
		2	2500	\$ 5,000.00		\$ 5,000			kM95K7xqpD7Pi1WfuWrxw:1612030869656&biw=1
						'			023&bih=1010&safe=active&prds=eto:43405932836
									52781664 0&sa=X&ved=0ahUKEwillbGEo8TuAhXsJT
	MOTORIZED PROJECTION SCREEN							Size?	QIHSkuBfcQ8wllgQg
E									-
									https://www.google.com/aclk?sa=L&ai=DChcSEwjSh
		1	\$ 4,100.00	\$ 4,100.00			\$ 4,100		Lm3pcTuAhX PK0GHWIYBGoYABAEGgJwdg&sig=AO
			Ψ 4,100.00	Ψ 4,100.00			Ψ,100		D64 1QD76NDtui bRSF9Gro Hlpvsjbg&ctype=5&q=
								10'x12-20ea+\$1500 motor	&ved=2ahUKEwim_rG3pcTuAhVpIDQIHdQRDkAQ9a
	Electrically controlled Duvateen masking							Allow?	ACegQIChBH&adurl=
E									https://www.fullcompass.com/prod/556747-
									panasonic-ptrz120bu-12600lms-wuxga-
		2	\$ 16,000.00	\$ 32,000.00		\$ 32,000			projector?dfw_tracker=36058-
						`			556747&gclid=CjwKCAiApNSABhAlEiwANuR9YDOtrb
	overhead, ceiling-mounted multimedia projectors							Size & Grade?	nbj2GSxCMHTbl2leFdrzmOE7V7tE7ZElmnt3wtsJvZk1
Е	projectors							Size & Olddey	o45BoCtglQAvD_BwE https://vintageking.com/trident-series-88-console-
-		1	\$ 29,000.00	\$ 29,000.00		\$ 29,000		Size & Grade?	88-16
E					 			5.25 & 514451	00.10
_		3	\$ 1,000.00	\$ 3,000.00		\$ 3,000			- https://www.ebay.com/itm/265072355541?chn=ps
	Multimedia computer unit(s)	5	1,000.00	0,000.00		Ψ 0,000		Size & Grade?	&mkevt=1&mkcid=28
E	,				1				SAME TO ACTION OF THE PARTY OF
		3	\$ 1,000.00	\$ 3,000.00		\$ 3,000			- https://www.grainger.com/product/9WY47?gucid=N
	steel storage cabinet with racks	,	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, 2,000.00		, 5,550		Size & Grade?	:N:FPL:Free:GGL:CSM-1946:tew63h3:20501231
E	Audio equipment including amplifiers,								allow
	multimedia players and digital sound	1	\$ 10,000.00	\$ 10,000.00		\$ 10,000		Cina 9 Crada?	
	recorders, etc.					l		Size & Grade?	

	AMCC - City Scheduled Vocationa Equ	pment, Prog	ram A/V, & F	F&E							SONDI CONSTRUCTIO
MACC										MANUFACTURER	
DEPT _	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTA	AL	Vocational	A	/V	Furniture	MANUFACTURER	MODEL
E	Video equipment and a media storage cabinet	1	\$ 2,000.00	\$ 2,0	00.00		\$	2,000		Size & Grade?	https://www.google.com/shopping/product/148581 00547636741304?q=Video+equipment+and+a+medi a+storagee+cabinet&riz=1C1GCEA enUS943US944& biw=1463&bih=691&safe=active&prds=eto:4398283 232125266237 0&sa=X&ved=0ahUKEwiphZPUvoTyA
Е	Cabiner									Size & Gladey	hXbmGoFHS20CSoQ8wIIzw8
L .	Master control panel for all audio/visual equipment, sound equipment, performer's equipment, and room lighting	1	\$ 6,500.00	\$ 6,5	500.00		\$	6,500		Size & Grade?	https://www.google.com/shopping/product/157875 26163705461694?q=Master+control+audio/visual+p anel&rlz=1C1GCEA enUS943US944&biw=1463&bih= 691&safe=active&prds=eto:8641447814739032105 0&sa=X&ved=0ahUKEwibkeSdv4TyAhWlk2oFHWKIB SSQ8wllkwY
	Install	1	LS	\$ 5,0	00.00		\$	4,400	\$ 600	Allowance	
		\$232,600.00									
Р	SPACE NAME/FURNITURE	QUANTITY	UNIT COST							MANUFACTURER	
300	LOBBY	1		\$ 12,4	00.00	\$ -	\$	-	\$ 12,400	Recommend bull-in to	\$ -
F	DESK	1	\$ 10,000.00	\$ 10,0	00.00				\$ 10,000	Millwork	
F	Chair	3	\$ 800.00	\$ 2,4	00.00				\$ 2,400	Size & Grade?	
	TOTAL	\$ 12,400.00									
ВН	SPACE NAME/FURNITURE	QUANTITY	UNIT COST							MANUFACTURER	
318	PREP WORKSHOP	1		\$ 10	0,050	\$ 95,800	\$	4,250	\$ -		\$ -
F	STEEL CABINET	1	\$ 7,500.00	\$ 7,5	00.00	\$ 7,500				variance of x10???	
E	WALL MOUNTED PANEL SAW	1	\$ 12,000.00	\$ 12,0	00.00	\$ 12,000				"	
F	STEEL FIREPROOF CABINET	1	\$ 15,000.00	\$ 15,0	00.00	\$ 15,000				11	
F	TABLE	2	\$ 1,500.00	\$ 3,0	00.00	\$ 3,000				"	
E	PRINTER	1	\$ 4,000.00	\$ 4,0	00.00		\$	4,000		"	
E	TELEPHONE	1	\$ 250.00	\$ 2	250.00		\$	250		II .	
E	table saw with extension surfaces	1	\$ 10,000.00	\$ 10,0	00.00	\$ 10,000				II .	
E	Dust collection system	1	\$ 5,000.00	\$ 5,0	00.00	\$ 5,000				"	
E	Air compressor	1	\$ 3,000.00		00.00	\$ 3,000				"	
E	Radial arm saw	1	\$ 10,000.00		00.000	\$ 10,000				"	
E	Edge planer	1	\$ 6,000.00		00.00	\$ 6,000				"	
E	Belt / disk sander	1			00.00	\$ 15,000				"	
E	Industrial wash sink with extra-large drain	1	\$ 2,500.00		00.00	\$ 2,500				"	
E	PORTABLE SHOP VAC	1	\$ 1,800.00		300.00	\$ 1,800				"	
	Install	1	\$ 5,000.00	\$ 5,0	00.00	\$ 5,000	<u> </u>			"	
		\$ 38,300.00	111111111111111111111111111111111111111							AAANUE - COURT	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST		ro 00			1 000	6 00 000	MANUFACTURER	
102 F	COOKING CLASSROOM	1		\$ 45,7	50.00	\$ 1,650	\$ 2	1,800	\$ 22,300		\$ -
r	WORKING TABLE	4	\$ 450.00	\$ 1,8	800.00				\$ 1,800	Size & Grade?	- https://www.google.com/aclk?sa=l&ai=DChcSEwiZg N7LrMTuAhXBG30KHSQmCysYABAEGgJwdg&sig=AO D64_3bLoTMLUCjkUjllZ1kVEmFgiRyGg&ctype=5&q= &ved=0ahUKEwik4tjLrMTuAhWwHjQlHTa3An4Qww 8lxAQ&adurl=

	AMCC - City Scheduled Vocationa Equ	ıpment, Prog	gram A/V, & F	F&E					SUNDI CONSTRUCTIO
MACC DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
F	of AGE NAME/TORNITORE	QUARTIT	01111 0001	IOIAL	Vocanona	Α, τ	I GITTINGTO		
									https://www.google.com/aclk?sa=I&ai=DChcSEwi3yL
		4	¢ 550.00	¢ 0,000,00			¢ 0.000		jvrMTuAhViPa0GHUqdBL8YABAFGgJwdg&sig=AOD6
		4	\$ 550.00	\$ 2,200.00			\$ 2,200		4 2yaR iStaDa86efgVvVfYJ5ed7 w&ctype=5&q=&ve
									d=0ahUKEwie2LPvrMTuAhWZIDQIHY70A64Qww8lu
	TABLE							Size & Grade?	wQ&adurl=
F	CHAIRS	8	\$ 600.00	\$ 4,800.00			\$ 4,800	Size & Grade?	Allow
F	CABINET (built in? should be incldued) 30" FOUR BURNER ELECTRIC RANGE	2		\$ -					
E	W/OVEN	3		\$ -					
E	UNDER COUNTER REFRIGERATOR	3		\$ -					
E		Ŭ		Ψ					
									- https://www.google.com/aclk?sa=L&ai=DChcSEwiOi
									666rcTuAhVWH60GHbfADsoYABCKARoCcHY&sig=AO
		3	\$ 550.00	\$ 1,650.00	\$ 1,650				D64 1-
									zcuu3ukkxbZhE4GHi3ECiF1rTw&ctype=5&q=&ved=0
									ahUKEwiLnKm6rcTuAhXiIDQIHZlkD8cQg-
	WOOD CUTTING BOARD							Size & Grade?	UECKsO&adurl=
E	MIRCORWAVE	1		\$ -					
E	SOLID DOOR REACH IN REFRIGERATOR	1		\$ -					
E	SIX BURNER ELECTRIC RANGE W/OVEN	1		\$ -					
E									-
									https://www.google.com/aclk?sa=l&ai=DChcSEwjXl7
		1	\$ 5,500.00	\$ 5,500.00		\$ 5,500			DfrcTuAhWOGa0GHW2PDesYABAEGgJwdg&sig=AOD
			7 2,233.53	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		Ψ 0,000			64 38tzKR3kYIs-
	ELAT DANIEL TV DICDLAY							C: 0 CI-0	Szzef5M9EduJ53FA&ctype=5&q=&ved=0ahUKEwjHp
_	FLAT PANEL TV DISPLAY							Size & Grade?	qrfrcTuAhX-ljQIHU7XByIQww8IhgU&adurl=
E									-
									https://www.google.com/aclk?sa=l&ai=DChcSEwiPv qT7rcTuAhUPPK0GHVqlARMYABAOGgJwdg&sig=AO
		1	\$ 2,800.00	\$ 2,800.00		\$ 2,800			D64 0mW7gJL3LilaFulV9Ygp8 dckEwg&ctype=5&q=
									&ved=OahUKEwjRiZ77rcTuAhXsHTQIHe11BFoQww8li
	Large screen video unit							п	AQ&adurl=
Е	Audio system	1	\$ 10,000.00	\$ 10,000.00		\$ 10,000		"	allow
F		'	Ψ 10,000.00	Ψ 10,000.00		Ψ 10,000			
									- https://www.google.com/aclk?sa=l&ai=DChcSEwjvw
									tbfr8TuAhXPGa0GHSKuC0EYABAGGgJwdg&sig=AOD
		2	\$ 6,000.00	\$ 12,000.00			\$ 12,000		64 0BGczpoGJYSY6BHpHno0nkb 0nTQ&ctype=5&q
									=&ved=0ahUKEwjoi9Hfr8TuAhU9CjQIHU1YBCgQww
	CABINET (built in? should be incldued)							II .	8I7AM&adurl=
	Install	1	\$ 3,000.00	\$ 5,000.00		\$ 3,500	\$ 1,500	Allowance	
	TOTAL	\$ 40,750.00							
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER	
312/309	GREEN ROOM	2		\$ 14,800.00	\$ -	\$ -	\$ 14,800		\$ -
E									-
									https://www.google.com/aclk?sa=I&ai=DChcSEwjp7
		1	\$ 1,800.00	\$ 1,800.00			\$ 1,800		9CWr8TuAhXgPq0GHcXUAXsYABAOGgJwdg&sig=AO
		•	,,,,,,,,,	.,000.00			7 1,000		D64_3W_SVxlu7kKKRSosmuFrQd3pFb9A&ctype=5&
	UNIDED CARINET DE CRICERATOR							6: 0 0 1 0	q=&ved=0ahUKEwjckcyWr8TuAhXTJTQIHcHACjoQw
	UNDERCABINET REGRIGERATOR			1				Size & Grade?	w8l3AQ&adurl=

	ABACC City Cabadylad Vanations For	D	A /\ / O FI	-0		ı			SUNDI CONSTRUCTI
	AMCC - City Scheduled Vocationa Equ	ipment, Prog	ram A/V, & Fi	-&E					
MACC	CD A OF MAAAF (FURNITURE	OU A NITITY	UNUT 000T	70741		A 0.1	- "	MANUFACTURER	MODEL
DEPT	SPACE NAME/FURNITURE CHAIRS	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture		MODEL
F	Install	5	\$ 1,600.00	•			\$ 8,000	Allowance Allowance	
		\$ 8,000.00	\$ 3,000.00	\$ 5,000.00			\$ 5,000	Allowance	
D.F.D.T.								ALANUIS A CITUDED	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER	
40	OFFICE 26 DIRECTOR'S OFFICE			A 5100.00	•		A 5100		
F 42	DESK	1		\$ 5,100.00	\$ -	\$ -	\$ 5,100	Size & Grade?	\$ -
F F	CHAIR	1	\$ 1,200.00	\$ 1,200.00			\$ 1,200	Size & Grade?	
<u>г</u> Б	GUEST CHAIR	1		\$ 600.00			\$ 600	Size & Grade?	
F F	STORAGE	2	\$ 600.00	\$ 1,200.00			\$ 1,200	Size & Ordde 9	
E E	PRINTER	2	* 400.00	Incl			Incl	<u> </u>	_
E	Computer Desktop	1	\$ 400.00	\$ 400.00			\$ 400		
<u> </u>	Install	1		\$ 1,200.00			\$ 1,200		
		\$ 4,600.00	\$ 500.00	\$ 500.00			\$ 500		
DEDT			UNIT COST					MANUFACTURER	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	6 0 500 00	e	\$ 2,000	¢ = /00	MANUFACTURER	¢
425,423,421,41	9 STANDARD OFFICE DESK	4	t (00.00	\$ 9,500.00	ې -	\$ 3,900	_		\$
F	CHAIR	2	\$ 600.00	\$ 1,200.00	-		\$ 1,200	3126 & GIUU69	
	COMPUTER/PHONE	1	\$ 600.00	\$ 600.00		¢ 1.500	\$ 600	"	
E	PRINTER	1		\$ 1,500.00		\$ 1,500		"	_
E F	Side Chairs	1		\$ 400.00		\$ 400		"	_
г	Install	2	1	\$ 800.00		¢ 0.000	\$ 800	Allowance	
		\$ 4,500.00	\$ 1,000.00	\$ 5,000.00		\$ 2,000	\$ 3,000	Allowarice	
255								ALANUIS A CEURER	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER	•
424,422,420,41		4		\$ 6,400.00	\$ -	\$ -	\$ 6,400	Size & Crede?	\$
F	Desk	4	\$ 600.00	\$ 2,400.00			\$ 2,400	Size & Grade?	_
F F	Bookshelve Task Chair	1	800	\$ 800.00			\$ 800	"	_
F F	Side Chair	4	·	\$ 2,400.00			\$ 2,400	"	_
<u> </u>	TOTAL	\$ 6,400.00	\$ 400.00	\$ 800.00			\$ 800		
42	38 RECEPTION			\$ 2,00,00	S -	¢ 1,000	£ 1,00		ŧ.
F	DESK	1	¢ (00.00	\$ 2,600.00	\$ -	\$ 1,000		Size & Grade?	<u> </u>
<u>г</u> Е	COMPUTER/PHONE	1	\$ 600.00	\$ 1,000.00		¢ (00	\$ 1,000	Size & Ordde 9	
E	PRINTER	1		\$ 600.00		\$ 600 \$ 400		"	
F	Task Chair	1	\$ 400.00 \$ 600.00	\$ 400.00 \$ 600.00		\$ 400		"	
r		\$ 2,600.00	\$ 600.00	\$ 600.00			\$ 600		
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURE	
428	MEETING & CONFERENCE SPACES	QUANTITY	7	34700					
428	SMALL CONFERENCE ROOM	1	•	\$ 22,700.00	s -	\$ 3.500	\$ 19,200		\$
420 F	TABLE TABLE	6	\$ 2,000.00	\$ 12,000.00	, .	y 3,300	\$ 12,000	Size & Grade?	,
	CHAIR	12	\$ 2,000.00	\$ 7,200.00	-		\$ 7,200	"	-
	COMPUTER/PHONE	12		\$ 1,500.00		\$ 1,500	ψ /,200	11	
F	TV	'			 		+	"	
DEPT	SPACE NAME/FURNITURE	QUANTITY	\$ 2,000.00 UNIT COST	\$ 2,000.00		\$ 2,000		MANUFACTURE	
106	JI ACL HAME/TURNITURE	QUANTIT	Oldin COST					MANUFACTURE	
413	RECORDING STUDIO	1	LS	\$ 281,850.00	\$ 2,850	\$ 275,000	\$ 4,000	+/- Star Studios ROM Budget	\$
		1	LS	\$ 250,000.00		\$ 250,000		Allowance	
E	Speaker cabinets (ARE THESE BUILT IN?)	1		\$ -		,,		W/A	
	Drum set	1	\$ 2,800.00	\$ 2,800.00	\$ 2,800		<u> </u>	"	
E	Wired microphone	1	Ψ 2,000.00	\$ 2,000.00	Ψ 2,000		+	"	-
E	Amplifiers and loudspeakers	1			 		+	"	+
E	Ampimers and loudspeakers			\$ -					

11100	AMCC - City Scheduled Vocationa Equ	pilient, Prog	grain A, v, & r	TOL							
MACC	CD A CE NIA ME /FUDNITUDE	CHANTITY	TOO THAIL	707	A 1	Manathanal	A () (E.		MANUFACTURER	MODEL
r <u>T</u>	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOT	AL	Vocational	A/V	FU	ırniture	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	MODEL
-	A professional-grade mixer and console,	1		\$	-					11	
	likely a digital mider COMPUTER	_							1 000	п	
E		1	\$ 1,200.00	-	200.00			\$	1,200	"	
E	large flat-screen monitors	3		\$	-						
E	Specialized, custom-built console or										
	"mixing desk" will be required to house										
	the mixing board, computer equipment	1		\$	-						
	and audio processing equipment to fit									,,	
	the space.										
E	Large open metal storage racks to which										
	audio effects units and processors ("rack	1		\$	-						
	effects") are installed.									"	
E	Studio monitors for playback of recorded	1		\$	_			1			
	audio			Ψ						"	
E	A desktop computer with several										
	software digital audio workstations	1		\$							
	("DAWs") such as ProTools, Ableton Live	'		Ψ	-						
	and/or Logic.									"	
E	monitors connected to the computer for	2		\$							
	DAW interface and video playback	2		Φ	-					"	
E	Rack interfaces, effects, and signal										
	processors, such as microphone pre-	1		•							
	amplifiers, MIDI interfaces, reverb units,	'		\$	-						
	sound banks, etc.									"	
E	wired and wireless microphones	3		\$						"	
E	Amplifiers. A minimum of four amplifiers										
	("amps") and speaker cabinets ("cabs")										
	are needed: Two guitar/instrument	4		\$	-						
	amps/cabs, one bass amp/cab and one										
	keyboard amp/cab									"	
E	Powered speakers. There will need to be										
	a direct audio feed between the Control							1			
	Room and the Performance Space,	3		\$	-			1			
	primarily for voice communication but							1			
	also for recording playback.									II	
F	CHAIR	4	\$ 600.00	\$ 2,4	100.00			\$	2,400	п	
f	Install	1	\$ 400.00		100.00			\$	400		
A/V	Install	1	\$ 25,000.00		00.00		\$ 25,000				
Voc	Install	1	\$ 50.00		50.00	\$ 50					
106	MAKER SPACE	1	1.	\$ 113,0		\$ 87,600	\$ 16,000		9,400	r	\$
F	TABLE	9	\$ 600.00		100.00			\$	5,400		
F	CHAIR rolling cans with hard alive back-ups,	10	\$ 400.00	\$ 4,0	00.00			\$	4,000		
E	peripheral devices, and/or additional	3	\$ 1,500.00	\$ 1	500.00	\$ 4,500		1			
	computer equipment.	3	Ψ 1,500.00	ΙΨ +,ς	,50.00	4,500		1			

	AMCC - City Scheduled Vocationa Equ	ıpment, Prog	ram A/V, & F	F&E					
MACC DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
E	3D printers	2	\$ 13,000.00	\$ 26,000.00	\$ 26,000				- https://www.google.com/aclk?sa=l&ai=DChcSEwjTvr r4tsTuAhVsIK0GHVryD6kYABAVGgJwdg&sig=AOD64 _3cRa2elvLyxdVXfCJks6JKCTcb0w&ctype=5&q=&ved =0ahUKEwj70bX4tsTuAhUYFzQIHdO8BwkQww8l_g M&adurl=
E	Laser cutter	1	\$ 18,000.00	\$ 18,000.00	\$ 18,000				- https://www.google.com/aclk?sa=l&ai=DChcSEwj7h cqmt8TuAhUkCecKHZW1CvlYABAMGgJwdg&sig=AQ D64 0pNxJ4SFG096Qjp497XvnWWhi0zQ&ctype=5& q=&ved=0ahUKEwjCgsWmt8TuAhWyGTQIHWAoBj8 Qww8lwgM&adurl=
E	Computer milling device	1	\$ 15,000.00	\$ 15,000.00	\$ 15,000				https://www.google.com/aclk?sa=l&ai=DChcSEwjDn pvBt8TuAhW GK0GHYGvC80YABAMGgJwdg&sig=AO D64 14CZrK9xPxaDcmV4FvKfMmSNj3Tw&ctype=5& q=&ved=0ahUKEwi7u5XBt8TuAhWRCTQIHZGdDOoQ ww810AM&adurl=
E	Small format digital scanner	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000				https://www.google.com/aclk?sa=l&ai=DChcSEwjxut 7ot8TuAhXaC60GHduODIYYABAGGgJwdg&sig=AOD6 4 1YCxXweaPoWhYWPk8X1b0aE5txSA&ctype=5&q= &ved=0ahUKEwilotnot8TuAhVnIDQIHbyDDtMQww8 I0AQ&adurl=
E	Digital cameras	2	\$ 3,200.00	\$ 6,400.00	\$ 6,400				https://www.google.com/aclk?sa=L&ai=DChcSEwiA OalwInyAhXeDK0GHfBWAz4YABANGgJwdg&sig=AO D64 0w3r1kvwenWDNKa6VKtsPUfQO7Lg&ctype=65 &q=&ved=0ahUKEwifleOlwInyAhVHnp4KHR1tDfUQ2 Cklywc&adurl=
E	Large screen TV (wall mounted)	1	\$ 4,000.00	\$ 4,000.00		\$ 4,000			<u> </u>
Е	Instructor's desktop computers	2	\$ 1,500.00	\$ 3,000.00		\$ 3,000			
E	Laptop computers	2	\$ 1,200.00	\$ 2,400.00		\$ 2,400			
E	Room-dedicated computer servers and back-up hard drives	1	\$ 5,000.00	\$ 5,000.00		\$ 5,000			
E	Electric hand tools	1	\$ 2,000.00	\$ 2,000.00	\$ 2,000			Allowance	
E	Compressed air machine	1	\$ 1,200.00	\$ 1,200.00	\$ 1,200				
E	Small Dust collection system Portable shop vacuum	1	\$ 7,700.00	\$ 7,700.00	·				- https://www.google.com/aclk?sa=L&ai=DChcSEwjb9 NL9uMTuAhX3IK0GHe8nDdAYABBTGgJwdg&sig=AO D64 1z t5479HAGt46zs7EpdJGSR M2w&ctype=5&q =&ved=OahUKEwiUgM79uMTuAhXqJzQlHSf5ALEQ2C klqAQ&adurl=
E E	Portable shop vacuum Portable photo lights and tripods	1	\$ 1,800.00	\$ 1,800.00		\$ 1,600			- https://www.google.com/aclk?sa=L&ai=DChcSEwidla HQucTuAhUOHq0GHZqgB- sYABA_GgJwdg&sig=AOD64_1riW2XMUMbVXF7E5M fsNOCPU1bBA&ctype=65&q=&ved=0ahUKEwiX25vQ ucTuAhWVHzQIHYMIBLEQ2CkI2QQ&adurl=

111.00	AMCC - City Scheduled Vocationa E	qupment, Prog	ram A/V, & F	F&E					
MACC PT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
429	DIGITAL ART	1	01111 0001	\$ 79,400.00	\$ 40,800		\$ 13,600		\$ -
F	TABLE	10	\$ 600.00	\$ 6,000.00	4 10,000	7 20,000	\$ 6,000		<u> </u>
F	CHAIR	19	\$ 400.00	\$ 7,600.00			\$ 7,600		
E									https://www.google.com/aclk?sa=L&ai=DChcSEwj
									qt2fusTuAhXbKK0GHTFeAcsYABA0GgJwdg&sig=AC
		1	\$ 24,000.00	\$ 24,000.00	\$ 24,000				64 3hRju4aPGRnzamAgSPYNnGIImC4Q&ctype=5&
									=&ved=0ahUKEwjXntifusTuAhXTMX0KHcWvB6MQ
	Large format digital scanner								klygU&adurl=
E									-
									https://www.google.com/aclk?sa=I&ai=DChcSEwjx
		1	\$ 5,000.00	\$ 5,000.00	\$ 5,000				7ot8TuAhXaC60GHduODIYYABAGGgJwdg&sig=AOI
		·	φ σ,σσσ.σσ	φ σ,σσσ.σσ	φ σ,σσσ				4 1YCxXweaPoWhYWPk8X1b0aE5txSA&ctype=5&d
	Con will former and all widers are account.								&ved=0ahUKEwilotnot8TuAhVnIDQIHbyDDtMQwv
	Small format digital scanner								I0AQ&adurl=
E									- / // // // // // // // // // // // //
									https://www.google.com/aclk?sa=L&ai=DChcSEwi
		1	\$ 3,200.00	\$ 3,200.00	\$ 3,200				<u>OalwInyAhXeDK0GHfBWAz4YABANGgJwdg&sig=Al</u> D64 0w3r1kvwenWDNKa6VKtsPUfQO7Lg&ctype=I
									&g=&ved=OahUKEwifleOlwInyAhVHnp4KHR1tDfU
	Digital cameras								Cklywc&adurl=
E	Digital Carrieras								https://www.google.com/aclk?sa=L&ai=DChcSEwi
-									k zyusTuAhW1KK0GHU16BcsYABAEGgJwdg&sig=/
		1	\$ 400.00	\$ 400.00	\$ 400				D64 3 0KgBka61Fr9pyVKBYzf9HRKLPg&ctype=5&
		'	φ 400.00	φ 400.00	φ 400				&ved=0ahUKEwi16PfyusTuAhXXCTQIHQ6jDK4Q2C
	Opaque projector								5wM&adurl=
E	o parque projector								<u>JWWQdduri-</u>
_									- https://www.google.com/aclk?sa=l&ai=DChcSEwi7
									PZu8TuAhW0DK0GHWR8BTEYABAFGgJwdg&sig=A
		1	\$ 5,600.00	\$ 5,600.00	\$ 5,600				D64 1jHn15uu9lJP6 umH8Nn -
									81aHKQ&ctype=5&q=&ved=0ahUKEwiKyI7Zu8TuA
	Video projector								KIDQIHf6cAYwQww8IyAU&adurl=
E	Teacher computer	1	\$ 1,400.00	\$ 1,400.00		\$ 1,400			
E	Student computers	19	\$ 1,200.00	\$ 22,800.00		\$ 22,800			
E	Printers	2	\$ 400.00			\$ 800			
E	Stereo or audio player	1	\$ 800.00	\$ 800.00	\$ 800	·			
Е	Sound amplifiers	1	\$ 200.00	\$ 200.00	\$ 200				
Е	Portable photo lights and tripods	1	\$ 1,600.00	\$ 1,600.00	\$ 1,600				
E	Digital screen	1	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	\$ -	\$ -			Missed???	
406	ARTIST IN RESIDENCE	1		\$ 3,600.00	\$ 3,000	\$ -	\$ 600		\$
E	SHOP VAC	1	\$ 1,800.00		\$ 1,800				
F	TABLES	1	\$ 600.00	\$ 600.00			\$ 600		
E	PORTABLE BALLLET BAR	1	\$ 1,200.00	\$ 1,200.00					
405	HANDS ON STUDIO	1		\$ 9,000.00	\$ -	\$ -	\$ 9,000		\$
F	TABLE	5	\$ 600.00	\$ 3,000.00			\$ 3,000		
F	CHAIR	15	\$ 400.00	\$ 6,000.00			\$ 6,000	<u> </u>	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURE	
405	THIRD FLOOR	1		\$ 93,600.00		\$ -	\$ 93,600.0		\$
F	TABLE	10	\$ 1,500.00				\$ 15,000	Allowance	
F	TABLE SMALL	12	\$ 800.00				\$ 9,600	"	
	SOFA	10	\$ 4,000.00	\$ 40,000.00	1	1	\$ 40,000	"	

	AMCC - City Scheduled Vocationa Eq	upment, Prog	ram A/V, & FF	&E					SUNDI CONSTRUCTI
MACC		, ,	, , , , , ,						
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
F	CHAIR TYPE A	10	\$ 600.00	\$ 6,000.00		, .	\$ 6,000	"	
F	CHAIR TEPE B	45	\$ 400.00	\$ 18,000.00			\$ 18,000	"	
F	CABINET	5	\$ 1,000.00				\$ 5,000	"	
-				φ 0,000.00			7 3,222	MANUFACTURE - moved	to
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST		W/Ki	tchen Equi	pment	be Incl in Base Bid	
317,502	KITCHEN	1		\$ -					-
E	DISHTABLE	1		\$ -				ADVANCE TABCO	DTS-D30-60R
E	WORK TABLE	1		\$ -				ADVANCE TABCO	KSLAG-303-X
E	3 COMPARTMENT SINK	1		\$ -				ADVANCE TABCO	DTC-3-1620-84L-X
E	2 COMPARTMENT SINK	1		\$ -				ADVANCE TABCO	FC-2-1620-18RL-X
E	ICE STORAGE BIN	1		\$ -				ADVANCE TABCO	CRI-12-30-10-X
E	ICEMAKER	1		\$ -				MANITOWOC	IYT0620A
E	WORK TABLE	1		\$ -				ADVANCE TABCO	KSLAG-305-X
E	WORK TABLE	1		\$ -				ADVANCE TABCO	TMS-304
E	ICE MAKER CUBE	1		\$ -				MANITOWOC	IYT0620A
E	DISHTABLE RACK	1		\$ -				ADVANCE TABCO	DTA-79S
E	HEATED HOLDING PROOFING CABINET	1		\$ -				METRO	C537-CFC-U
E	CHARBROILER	1		\$ -				SOUTHBEND	HDC-36
E	CHEF BASE	1		\$ -				TRUE	TRCB-72
E	RANGE GAS HOTPLATE	1		\$ -				SOUTHBEND	HDO-36
E	GAS FRYER	1		\$ -				PITCO	35C+S
E	ROLL IN REFRIGERATOR	1		\$ -				TRUE	STA2RRI-2S
E	WORK TABLE	1		\$ -				ADVANCE TABCO	TKMSLAG-303-X
E	COMBI OVEN	1		\$ -				RATIONAL	ICP 6-FULL NG 208/240V 1 PH
E	ICE BIN	1		\$ -				ADVANCE TABCO	CRI-12-30-10-X
E	BACK BAR CABINET	1		\$ -				TRUE	TBB-24-48G-S-HC-LD
Е	DRAFT BEER COOLER	1		\$ -				TRUE	TDD-2CT-S-HC
E	WARMING DRAWER	1		\$ -				HATCO	CDW-3N
E	BLENDER RECESS	1		\$ -				ADVANCE TABCO	SL-RS-18
E	DISHWASHER	1		\$ -				JACKSON WWS	WWS TEMPSTAR VENTLESS (VER)
E	SANDWICH/SALAD PREPARATION			A					TSSU-48-12-HC
	REFRIGERATOR	1		\$ -				TRUE	
E	GLASS WASHER,	1		.					DELTA HT-E-SEER-T
	UNDERCOUNTER/UNDERBAR	1		\$ -				JACKSON WWS	
E	COFFEE BREWER	1		\$ -				BUNN	20900.0008
E	TEA BREWER	1		\$ -				BUNN	35700.0000
E	BEVERAGE TABLE/ COUNTER	1		\$ -				ADVANCE TABCO	BEV-30-108L
E	HEATED CABINET ROLL IN	1		\$ -				TRUE	STA2HRI-2S
E	GLASS RACK	1		\$ -				ADVANCE TABCO	CRCR-24-CT
E	GLASS RACK	1		\$ -				ADVANCE TABCO	CRCR-24-CT
E	HOT FOOD COUNTER	1		\$ -				DUKE	E303SW
E	GAS GRIDDLE	1		\$ -				SOUTHBEND	HDG-36
E	WORK TABLE	1		\$ -				ADVANCE TABCO	TKMSLAG-304-X
317,502	EXTERIOR FURNITURE	1		\$ 30,600.00	\$ -	\$ -	\$ 30,600		\$ -
F	TABLE	7	800	\$ 5,600.00			\$ 5,600		
F	CHAIR	24	600	\$ 14,400.00			\$ 14,400	"	
F	LITTERS	4	550	\$ 2,200.00			\$ 2,200	11	
F	BENCH	7	1200	\$ 8,400.00			\$ 8,400	"	

SUNDT CONSTRUCTION

	AMCC - City Scheduled Vocationa Equ	pment, Prog	ram A/V, & FI	F&E						
MACC										
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vo	ocational	A/V	Furniture	MANUFACTURER	MODEL
	50%	CD Allowance	MACC Feb 2021	\$ 1,067,950	\$	231,700	\$ 535,350	\$ 300,900		
		outdoor	screen deduct f	rom last round			\$ 128,100		math check	
				TOTAL	Vo	ocational	A/V	Furniture	\$ 318,302	
	100% CD Permit Set Allowance MACC July 2021						MACC		LIBRARY	
	Suggest Escalation Ac	ld to purchase	- Revised Total	15%	\$	266,455	\$ 468,338	\$ 346,035	\$ 366,047	
		Round	d up to 1,000th		\$	267,000	\$ 469,000	\$ 347,000		
					\$	1,083,000			\$ 367,000	
					\$1,	,450,000				



CITY OF EL PASO MAIN LIBRARY RENOVATION

SUB BASEMENT

ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-3	12	\$ 790.00	\$ 9,480.00	Book Mobile (2) Tech Services (4) Info Work (6)
CH-1	26	\$ 339.00	\$ 8,814.00	Book Mobile (2)Tech Services (8) Info Work (16)
CH-2	20	\$ 220.00	\$ 4,400.00	Tech Services (6) Conference (8) Info Work (6)
CH-4	12	\$ 150.00	\$ 1,800.00	Staff Lounge (12)
CH-5	15	\$ 310.00	\$ 4,650.00	Book Mobile (4) Tech Services (3) Info Work (8)
TB-15	2	\$ 800.00	\$ 1,600.00	Staff Lounge (2)
TB-16	2	\$ 650.00	\$ 1,300.00	Tech Services (1) Info Work (1)
TB-17	1	\$ 650.00	\$ 650.00	Conference (1)
TB-2B	4	\$ 413.18	\$ 1,652.72	Staff Lounge (4)
WS-1	4	\$ 1,788.50	\$ 7,154.00	Tech Services (4)
WS-2	10	\$ 1,788.50	\$ 17,885.00	Info Work (10)
SUB BASEMENT T	OTAL		\$ 59,385.72	

BASEMENT

ITEM	QTY	PRICE		EXT. PRICE	LOCATIONS
PO-3	3	\$ 790.0	00 \$	2,370.00	Private Office Basement (3)
CH-1	12	\$ 339.0	00 \$	4,068.00	PO Basement (3) WS3 (3) Docking (4) Reception (2)
CH-4	39	\$ 150.0	00 \$	5,850.00	Study (36) Break Area (3)
CH-5	6	\$ 310.0	00 \$	1,860.00	Private Office Basement (6)
TB-4	1	\$ 411.	'3 \$	411.73	Break Area (1)
TB-18	6	\$ 550.0	00 \$	3,300.00	Study (6)
WS-3	3	\$ 1,541.3	.0 \$	4,623.30	Work Stations (3)
WS-4	4	\$ 990.6	50 \$	3,962.40	Docking Stations (4)

1st Floor

ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-1	1	\$ 2,812.00	\$ 2,812.00	1ST FLOOR
PO-2	1	\$ 2,812.00	\$ 2,812.00	1ST FLOOR
CH-1	8	\$ 339.00	\$ 2,712.00	1ST FLOOR
CH-2	14	\$ 220.00	\$ 3,080.00	1ST FLOOR
CH-3	66	\$ 120.00	\$ 7,920.00	1ST FLOOR
CH-4	4	\$ 150.00	\$ 600.00	1ST FLOOR
CH-5	4	\$ 310.00	\$ 1,240.00	1ST FLOOR
CH-6	16	\$ 514.70	\$ 8,235.20	1ST FLOOR
CH-7	1	\$ 1,200.00	\$ 1,200.00	1ST FLOOR
CH-8	4	\$ 700.00	\$ 2,800.00	1ST FLOOR
CH-9	2	\$ 1,000.00	\$ 2,000.00	1ST FLOOR
CH-10	8	\$ 600.00	\$ 4,800.00	1ST FLOOR
CH-11	10	\$ 629.78	\$ 6,297.80	1ST FLOOR
CR-1	2	\$ 610.00	\$ 1,220.00	1ST FLOOR
SO-1	3	\$ 1,200.00	\$ 3,600.00	1ST FLOOR
SO-2	1	\$ 1,500.00	\$ 1,500.00	1ST FLOOR
OT-1	4	\$ 260.00	\$ 1,040.00	1ST FLOOR
OT-2	2	\$ 750.00	\$ 1,500.00	1ST FLOOR
OT-3	4	\$ 600.00	\$ 2,400.00	1ST FLOOR
TB-1	3	\$ 425.12	\$ 1,275.36	1ST FLOOR
TB-3	2	\$ 375.55	\$ 751.10	1ST FLOOR
TB-4	2	\$ 411.73	\$ 823.46	1ST FLOOR
TB-5	11	\$ 800.00	\$ 8,800.00	1ST FLOOR
TB-6	7	\$ 275.00	\$ 1,925.00	1ST FLOOR
TB-7	1	\$ 1,200.00	\$ 1,200.00	1ST FLOOR
TB-8	2	\$ 200.00	\$ 400.00	1ST FLOOR
TB-9	6	\$ 800.00	\$ 4,800.00	1ST FLOOR
TB-2A	2	\$ 338.30	\$ 676.60	1ST FLOOR

EXT-1	18	\$ 600.00	\$ 10,800.00	1ST FLOOR Outdoor Area (1,2,3)
EXT-2	18	\$ 400.00	\$ 7,200.00	1ST FLOOR Outdoor Area (1,2,3)
EXT-3	9	\$ 800.00	\$ 7,200.00	1ST FLOOR Outdoor Area (1,2,3)
1ST FLOOR TOTAL			\$ 103,620.52	

2ND FLOOR

			\$ -	
ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-3	3	\$ 790.00	\$ 2,370.00	2ND FLOOR
CH-1	6	\$ 339.00	\$ 2,034.00	2ND FLOOR
CH-2	41	\$ 220.00	\$ 9,020.00	2ND FLOOR
CH-5	6	\$ 310.00	\$ 1,860.00	2ND FLOOR
CH-12	4	\$ 900.00	\$ 3,600.00	2ND FLOOR
CH-13	4	\$ 600.00	\$ 2,400.00	2ND FLOOR
OT-3	2	\$ 600.00	\$ 1,200.00	2ND FLOOR
OT-4	8	\$ 450.00	\$ 3,600.00	2ND FLOOR
OT-5	10	\$ 223.00	\$ 2,230.00	2ND FLOOR
OT-6	25	\$ 1,200.00	\$ 30,000.00	2ND FLOOR
OT-7	1	\$ 2,200.00	\$ 2,200.00	2ND FLOOR
OT-8	2	\$ 1,750.00	\$ 3,500.00	2ND FLOOR
TB-6	4	\$ 275.00	\$ 1,100.00	2ND FLOOR
TB-8	6	\$ 200.00	\$ 1,200.00	2ND FLOOR
TB-10	5	\$ 800.00	\$ 4,000.00	2ND FLOOR
TB-11	1	\$ 400.00	\$ 400.00	2ND FLOOR
TB-12	2	\$ 700.00	\$ 1,400.00	2ND FLOOR
TB-13	1	\$ 700.00	\$ 700.00	2ND FLOOR
TB-14	14	\$ 560.00	\$ 7,840.00	2ND FLOOR
2ND FLOOR TOTAL			\$ 80,654.00	

DESIGN	\$ 2,000.00
INSTALLATION	\$ 32,000.00

Budgetary Total \$

FOR BUDGETARY USE ONLY

304,105.67

Original budget 29-Jan-2021

\$14,197.00

Indirect Fees & Insurance

\$47,745.00

15% suggested total escalation (10% to date + 5% to purchase prior to end of 2021

\$366,047.00

Total GMP Bid

\$366,047.00

Roundup to nearest \$1,000.00

D / Clarifications & Assumptions





A. Scope Document

- This GMP for the Mexican American Cultural Center has been developed from the 100% CD Package, Drawings dated 2/15/2021 and specification dated 2/15/2021 Exhibit E. It represents the renovation of the main library, adding a new entrance to the main library, renovation of the MACC, the additions of the black box theater, lobby and roof top.
- 2. As per the CMAR Contract Agreement, general provisions section 2.05. A.7. A statement that the proposed GMP is not based in any part on any subcontractor or material supply contract which would require the owner to compensate the construction manager on other than a fixed fee basis.

B. GENERAL CLARIFICATIONS

- This Guaranteed Maximum Price The (GMP) Proposal, per the contract agreement, will be valid for 60 calendar days from the date of this Proposal or September 26, 2021 after which Sundt may revise or update the GMP.
- Notwithstanding anything to the contrary these Clarifications, Assumptions,
 Qualifications, and Exclusions take precedence over the GMP Documents including the
 Agreement, General Conditions (Division 01 requirements by Exigo Architects), RFP,
 Proposal, Drawings and Specifications unless otherwise amended and agreed upon by
 both parties.
- 3. Global, national and regional fallout from the COVID-19 pandemic and other economic factors have resulted in volatile price fluctuations in construction inputs and extended lead times in the manufacture and delivery of some materials, equipment, and products. Upon acceptance and execution of the GMP Modification /Amendment, Contractor will expeditiously award subcontracts, change orders, and purchase orders for all authorized portions of the Work to lock down pricing, and secure manufacturing and delivery dates. If during the performance of the contract following formal acceptance of the GMP Proposal the price of any material, equipment, or product increases, through no fault of the Contractor or its subcontractors or suppliers, the GMP shall be equitably adjusted by Change Order in accordance with the procedures of the Contract by an amount reasonably necessary to cover any such price increases. Such price increases shall be documented through quotes, invoices, material specific indices, and documented demonstration of measures taken by Contractor to mitigate the magnitude and impact of the increase on the Project. Where during the performance of the contract the delivery of materials, equipment, or product is delayed, through no fault of the Contractor, or its subcontractors or suppliers, due to such factors as unavailability of transportation, port of entry delays, supply-chain shortages, etc. the Contract Time shall be adjusted by use of the Contractor's Contingency so long as the GMP is not exceeded. In accordance with the procedures of the Contract and the



Contractor shall not be liable for any additional costs or damages associated with such delay(s). The Contractor will make reasonable attempts to mitigate the magnitude and impact of any price increases or delivery delays described herein.

Included in the GMP is an escalation allowance of \$260,290 to address the above. This amount is not a contingency and is designed to cover escalation for the time required to award each subcontract. After the awards the normal conditions of the prime contract will govern. If escalation occurs through no fault of either party. Contractor may pursue compensation as a direct pass-through actual cost with no markups.

- 4. Electronic notifications for contract correspondence will be deemed suitable as is the precedence with previous City of El Paso contracts. All references to hard copies are assumed to be electronic, including record documents with the exception of O&M manuals or as specifically requested by the Owner. Mylars, reproducible or other outdated specifications are specifically excluded.
- 5. **Liquidated damages** are the sole and exclusive remedy for any and all damages incurred by the owner for failure to meet the substantial completion date.
- 6. Definition and Use of Allowances and Contingencies:

To the extent that the Drawings and Specifications are anticipated to require further development by the Architect, the CMAR Contractor has provided the GMP for such further development consistent with the Contract Documents and reasonably inferable therefrom. Such further development does not include such things as changes in scope, systems, kinds and quality of materials, finishes and equipment, all of which, if required, shall be incorporated by Change Order or Modification of Contract.

6.1 Allowances:

Allowances are identified in the estimate and are included for work that is undefined scope, unquantifiable or pricing was unavailable at the time of the GMP. These allowances are listed and quantified assumptions are included in the GMP for resolution when information is acquired to reconcile these items. Allowances unlike contingencies represent a shared risk and responsibility between the CMAR Contractor and the Owner. If the allowance is exceeded, the contractor has the right to request an equitable adjustment either through the use of the Owner's contingency or change order. Alternatively, any savings will be returned to the Owner's contingency upon reconciliation of all allowances. The CMAR Contractor and Owner recognize that allowance are part of the cost of work and needed to provide a full and complete project, therefore the Contractor will reconcile the allowance items and use the allowance in accordance to the buyout process, so long as the amount does not exceed \$300,000.

6.2 Contractor's Construction Contingency: In preparing the Contractor's GMP proposal, the Contractor has included a Contractor's Construction Contingency for the Contractor's exclusive use to cover



costs arising under circumstances listed above and other unanticipated costs which are properly considered reimbursable as a Cost of the Work but do not form the basis for a Change Order as a result of changes in the Scope of Work. The Contractor's Construction Contingency for the Project is \$694,106.

The Contractor shall report and reconcile the Contractor's Construction Contingency to the Owner on a monthly basis. The Contractor's Construction Contingency is considered necessary to provide a complete and functional project and Owner approval for use is not required so long as:

- (a) the contingency amount accessed does not cause the GMP to exceed,(b) the Contractor utilizes the Contractor's Construction Contingency for items
- required for the Project that are recoverable as Costs of the Work under the Contract Documents, but do not justify an increase in the GMP, and
- (c) the Contractor's Contingency is used for any items outlined in clause (1) though (3) below:
- Scope of the Work is unclear, incomplete or conflicting on the Contract
 Documents but is Work consistent with the Contract Documents and reasonably
 inferable as being necessary to produce the intended results for a complete
 Project.
- 2. Additional resources necessary to recover lost time.
- 3. Delays caused by market, labor, material or transportation conditions, labor disputes, normal weather or other causes which are costs of the Work but do not justify an increase in the GMP.

The Contractor's Contingency is not available for use by the Owner for allowance overruns, changes in the scope of work, differing or changed site conditions.

6.3 Owner's Construction Contingency:

The parties agree the Owner's Construction Contingency applied below the bottom line is now part of the GMP established at \$900,000. The purpose of the Owner's Construction Contingency is to efficiently and timely address any unknown or unanticipated cost or expenses not specified in the Contact Documents that may be required as a result of unforeseen circumstances, or additional Work as a result of a change of the Scope of Work; and which are otherwise reimbursable without duplication as Cost of the Work. The funds that comprise the Owner's Construction Contingency are not available for use to pay for costs or expenses that are to be reimbursable under the Contractor's Construction Contingency set forth in 4.2 and the clauses thereunder the above. The Owner's Construction Contingency is not a replacement or substitute for the costs or expenses which are properly allocable to



the Contractor's Construction Contingency as set forth above. Contractor has no entitlement to any portion of the Owner's Construction Contingency.

Contractor acknowledges and agrees that any Work which to be charged against the Owner's Construction Contingency that does not receive such prior written approval from the Owner shall be deemed to be part of the Contractor's basic Work compensated with in the GMP and not chargeable against the Owner's Construction Contingency. The Contractor shall not proceed with any Work which the Contractor believes is allocable to the Owner's Construction Contingency until authorized in writing through the issuance of an Owner's Contingency Use Authorization (OCUA) Form executed by Owner.

Any expenditure from or allocable to the Owner's Construction Contingency, may only be made or allocable after the prior written approval and authorization of Owner pursuant to a Contingency Use Authorization Form. The Owner reserves the right, in its sole and absolute discretion, to withhold consent on expenditures of the Owner's Construction Contingency. Upon approval by the Owner, the Owner shall execute a Contingency Use Authorization Form reflecting the amount and purpose of the use of all or a portion of the Owner's Construction Contingency. Such as Contingency Use Authorization becomes a part of the Contract Documents incorporated by reference herein.

6.4 Design Contingency:

A design contingency is being held in the GMP to be assigned to remaining constructability details, RFIs and clarifications as a result of the bid process expected to be resolved by the issuance of the Notice to Proceed. Upon the issuance of the Notice to Proceed this line item will be converted/moved into the "Owner's Contingency" in the schedule of values.

- 7. Prevailing wage rates are included based upon City of El Paso 2016 Wage Rate approved by City of El Paso Council, February 2017.
- 8. Substantial Completion shall be achieved no later than 640 Calendar Days after the Construction Manager's receipt of a Notice to Proceed.
- 9. The Contractor has included supervisory labor costs to cover from the Notice to Proceed to Final Completion as defined in the Contract Agreement. With the inclusion of this GMP Modification, the Contractor specifically excludes all supervisory labor and extended overhead for delays outside of its control. If Owner, Engineer or anyone for whom Owner is responsible, delays, disrupts, or interferes, with performance or progress of the Work, then Contractor shall be entitled to an equitable adjustment in time and or price. Contractor reserves the right to utilize the Contractor's Contingency in the event of force majeure so long as the GMP is not exceeded.



- 10. Construction Managers Liability Insurance premium shall be a reimbursable cost of the work within the GMP at the rate of 0.950% of the GMP, as adjusted, (reference 13.01.B.5.e of the General Condition to the Agreement).
- 11. Builders Risk Insurance premium shall be a reimbursable cost of the work within the GMP at the rate of 0.192% of the GMP as adjusted, (reference 13.01.B.5.e of the General Condition to the Agreement).
- 12. All Subcontractors shall be enrolled in the Construction Manager's Subcontractor Liability Insurance Policy the cost of which shall be a reimbursable cost of the work at the rate of 1.71% of the Subcontract Amount as adjusted, (reference 13.01.B.5.e of the General Condition to the Agreement).
- 13. Construction Manager will either require Subcontractors to provide 100% Payment and Performance Bonds or will enroll the Subcontractor in the Construction Manager's Subcontractor Default Insurance (SDI) Program. The bond premiums shall be a reimbursable cost of the work within the GMP. The cost of SDI premiums paid will be reimbursed as a cost of the work at the rate of 1.25% of the Subcontract Amount.
- 14. Construction Managers 100% Payment and Performance Bond premium shall be a reimbursable cost of the work within the GMP at the rate of 0.77% of the GMP as adjusted.
- 15. The Construction Managers Project staff and General Conditions is included in the GMP as a Not-to-Exceed amount of \$2,700,290. Labor rates shall be reimbursed as a cost of the work based on Exhibit I.B. Reimbursable Staff Labor Rates. These rates are included with this GMP Proposal and are subject to adjustment in accordance with the Agreement. The following rates below are also included in the GMP:
 - 15.1 Vehicles assigned to the Project assigned staff shall be a reimbursable cost of the work within the GMP at a rate of \$517 per week as proposed in Construction Managers Proposal.
 - 15.2 Computers/Software assigned to the Project assigned staff shall be a reimbursable cost of the work within the GMP at a rate of \$131.24 per week as proposed in Construction Managers Proposal.
 - 15.3 Cell Phones assigned to the Project assigned staff shall be a reimbursable cost off the work within the GMP at a rate of \$50.00 per week as proposed in Construction Managers Proposal.
- 16. The Budget Proposal anticipates that the Owner will provide and pay for the following items, if required:
 - 16.1 Owner moving costs and all costs associated with providing, handling, and installation of Owner-furnished components, furniture, furnishings and equipment other than specifically noted in the Contract Drawings and Specifications (i.e. Museum exhibits).



- 16.2 Permit Fees and Impact Fees. Trade specific permit fees are included in the GMP.
- 16.3 Maintenance of landscaping and irrigation system after substantial completion is specifically excluded.
- 16.4 Any IT equipment, Fiber, Cable, Phones or services not specifically identified on the Contract Drawings or Specifications. Maintenance of landscaping and irrigation system after substantial completion. Contractor will maintain landscaping inside the construction fence.
- 16.5 The Terracotta Rain Screen is an international product and will require a 50% deposit before the manufacturing will begin and a 50% upon delivery of the material on site. The cost for each request will be included in pay applications anticipating the above applicable dates.
- 16.6 The KGW Outdoor LED Display is an international product and will require a 50% deposit before the manufacturing will begin and a 50% upon delivery of the material on site. The cost for each request will be included in pay applications anticipating the above applicable dates.

Q. MUNICIPAL FEES & TAXES

 Sales or renovation tax, or any other city, county or state tax is not included. The owner shall provide Sundt a sales tax-exempt certificate for use. All related to construction direct cost like materials,

R. WARRANTY

- 1. A one (1) year warranty on workmanship (labor & material), starting at the date of Substantial Completion, is included in the GMP. Any warranties that extend beyond this period shall be arranged between the Owner and the product manufacturer and be maintained by the Owner.
- 2. Manufacturer's disclaimers and limitations on all product warranties shall be passed to the Owner. Sundt Construction and its subcontractors/suppliers' obligations and liabilities shall not exceed the standard terms and limitations offered by these product warranties.
- 3. There is no warranty provided for materials or equipment that exists onsite before start of construction.

S. ALLOWANCES

- 1. Allowances provided need to be confirmed between Owner and Architect/Engineer
- 2. Allowances are listed in Exhibit II.C
- T. CSI SPECIFIC CLARIFICATIONS (SFA-Standard Form of Agreement, SGC-Standard General Conditions)
 - 1) Division 1 General Conditions, General Requirements
 - a) The GMP anticipated free use of the owner's CAD files with Owner's authorization and Revit Models transmitted electronically. Sundt Construction will sign releases should they be required and understands that these documents are not a contract document. We will provide any drawings needed and it's not good to have free use. It can lead to unwanted use of the file. Define free use



and files cannot be modified by contractor.

- b) Sundt Construction will keep the following typical construction hours. The overall construction schedule will provide approximate times Owner's site staff is required with further coordination prior to actual construction activity. Owner premium time, labor burden or shift differential has been excluded in this GMP Proposal. Sundt will make adjustments as necessary, requested by the CID, and as required by City Planning & Inspection Department.
 - i) 6 AM 6 PM Monday Saturday
 - ii) Off-Hours Coordinated with Facility Staff for shut-down and other disruptive work.
- c) This GMP Proposal does not include Design Liability Insurance. Sundt Construction takes no design responsibility for any scope of work within the Project. Furthermore, any constructability review or value engineering ideas are the benefit of the project. Those ideas are to be fully vetted by the Architect/Engineer of Record and incorporated into the document with their design liability. Engineering required in the Performance Specifications has been assigned to the appropriate subcontractor for their individual scopes of work based on the design criteria provided by the Architect/Engineer of Record.
- d) Removal salvage and protect all site art and special items to be saved to owner are to be removed by others prior to the start of this contract. Sundt to coordinate with Owner.
- e) Roof Drawing sheets note existing TPO roof to be demolished, leaving the concrete deck below open to water damage. The new roof plans note the insulation to remain. The roofing and tapered insulation will be left in place, and selectively removal for new work and temporary patched around new construction will be accomplished.
- f) There may be the need to close parking lanes and a bus stop South of the project on E. Franklin Ave between N Santa Fe St, and El Paso St.
- g) This Guaranteed Maximum Price (GMP) Proposal completes the requirements of:
 - i) Up to Date Design Review
 - ii) Value Engineering Review
 - iii) Preliminary GMP Submittal
 - iv) GMP Final Estimates and Review
- h) Additionally, this GMP Proposal establishes the completion of the following Preconstruction Contract Requirements:
 - i) SFA Article 2.03 Preconstruction Phase
 - ii) SFA Article 2.04 Preliminary Cost Estimates
 - iii) SFA Article 2.05 Guaranteed Maximum Price Proposal
 - iv) Item A.1 List of Drawings, Specifications
 - Item A.2 Proposed Contract Price organized by trade categories, allowance, contingencies, Construction Manager's Fee, and other items that comprise the Contract Price.



- vi) Item A.3 Substantial Completion proposed date
- vii) Item A.4 Qualifications and Exclusions
- viii) Item A.5 Construction Manager's Key Personnel
- ix) Item A.6 Date on which CM Proposal expires
- x) Item A.7 A statement that the proposed GMP is not based in any part on any subcontract or material supply contract
- m) Item A.8 Inspection of the documents and information that form the basis of the GMP proposal has been accomplished.
 - a. Item B Site Evaluation
 - b. Item C Agreement to Execute the GMP Amendment
 - c. Item D Costs for further development of documents by Designer have been identified here-in this Qualification and Exclusion document. All other items not mentioned in this document could not have been reasonably inferable and therefore are not included as costs in this GMP.
 - d. SAF Article 6.02 H Liquated Damages \$ 2,216 for consecutive calendar days after the date of Substantial Completion and \$1,550 for consecutive calendar days after the date of Final Completion.
- n) SFA Article 7.02
 - a. Item A Construction Manager's Fee is agreed to as 4.25%.
 - b. Item B.1 Additive / Deductive Change Order Percentage 4.25% under review
 - c. The Construction Manager has identified products included in the GMP that are not the stated Basis of Design, yet are from the specified list of acceptable manufacturers defined as equal substitutions per projects financed with public funds per Texas law.
 - d. The GMP does not include design fees or costs for modifications to the design to incorporate acceptable products and manufacturers instead of the basis of design.
 - e. Sundt Construction will provide a professional effort in good faith to capture and incorporate all changes and modifications issued by design revisions. However, Sundt is not solely responsible for incorporating revisions issued by the Architect if not clouded in the documents and identified via narrative.
 - f. Existing conditions are assumed to match GMP documents however contractor will survey to confirm. Contractor will perform an existing conditions punch list and reconcile existing conditions with owner.
 - g. A cost loaded schedule per 4.04.E.2 is not included in the price.
- Not included in the GMP are all temporary security services / night watchmen as Sundt plans to avoid such costs with possible video monitoring and physically securing the site and existing buildings during all non-construction hours.
- p) Administrative costs associated with owner-initiated audits after 6 months past Substantial Completion are not anticipated and will be avoided, as Sundt will provide 100% backup with every pay application.
- q) Separate Field offices for the Owner and Architect. All parties are allowed access



and use of the Sundt Offices within the building.

r) Excluded all unforeseen structural remediation that may be discovered after the demolition.

2) Division 2 - Existing Conditions

- a) Exclude moving/removing Art shown on drawings
- b) Exclude Abatement of hazardous materials (i.e. Asbestos, Lead) including soil, testing, survey, inspection services, abatement, remediation, haul off or consulting services. If found compensation both time and financial will be applied

3) Division 3 – Concrete

- a) Excluded Hard-Dig (rock) excavation to elevations shallower than noted on the Geotechnical Report.
- b) Concrete timeline etching is shown on L1.00M in six locations. Each location has four (4) 10" numbers and hundred & two (102) characters that are 4" high. Anything above these character count is excluded.

4) Division 4 – Masonry

a) No Comments

5) Division 5 – Steel

- a) No Comments
- 6) Division 6 Wood
 - a) No Comments

7) Division 7 - Thermal and Moisture Protection

- a) Included is all new parapet cap flashing for new construction only, as indicated on the drawings.
- b) Excluded are all factory mitered terracotta corners as the manufacturer does not produce this detail.
- c) Excluded are all textured or fluted face finish terracotta panels; the only available surface is "SMOOTH" from the specified manufacturer.
- d) Included in the GMP for interior expansion joints are CS Group FWF 1 inch.
- e) Included in the GMP for waterproofing is W.R. Meadows Mel Rol LM.
- f) Concrete Pavers are assumed to be 24" X 24", Vancouver Bay Color.

8) Division 8 – Openings

g) Included in the GMP is an equal to Kawneer Clearwall 2.5"x10.5" curtainwall framing with 1" insulated glass for entry cube, as it is not the specified Basis of Design.

9) Division 9 – Finishes

- a) Included in the GMP is an Allowance for the existing Auditorium Acoustic Panels.
- b) Included in the GMP is an Allowance for the existing concrete ceilings and column patching.

10) Division 10 – Specialties

a) Hand dryers are excluded. They are not shown on the 100% CD documents.

11) Division 11 – Equipment

a) No Comments



12) Division 12 – Furnishings

- a) Included in the GMP is an Allowance for the Library window treatments.
- b) Included in the GMP is an Allowance for the Library furniture.
- c) Included in the GMP is an Allowance for the MACC Furniture, Vocational Equipment, and AV Equipment (not scheduled).

13) Division 14 - Conveying Equipment

- a) Not included in the GMP are Elevator Maintenance, Refurbishment, and/or Recertification of the existing elevators in the Library during or after construction.
- b) Not included in the GMP are any elevator cab upgrades and /or finishes for the existing elevators in the Library.
- c) Included in the GMP is an Allowance for cab upgrades only to the existing elevator in the MACC.
- d) Included in the GMP is the relocation of the elevator mechanical room equipment and controls and recertification of the elevator.

14) Division 21 - Fire Suppression

- a) Not included in the GMP is a Fire Pump and associated backflow.
- b) POC are in the existing Buildings. The main Fire Standpipe for the entire complex is located in the MACC 1st Floor Auditorium Rm 304 Stage area NW corner. The fire valves in the Library room titled "FIRE RISER/SUMP PUMP" Sub-Basement once serviced the original library building. Investigation by the Engineering Consultant is required to better understand if the old riser can be removed and define the exact scope of work.

15) Division 22/23 - Plumbing/HVAC

- a) Included in the GMP is an Allowance to repair water and sanitary sewer lines past specified, noted or detailed existing points of connection are not noted or detailed to be replaced.
- b) Included in the GMP is an Allowance for cleaning of the existing ducts left to remain and be reused.
- c) Not included in the GMP are repairs of the existing HVAC Systems not specifically noted on the drawings.

16) Division 26 – Electrical

a) We are assuming all existing electrical systems that are noted to be reused are in compliance with all local and state codes.

17) Division 27 – Communications

a) Included in the GMP is an Allowance for the Outdoor LED Screen for the MACC.

18) Division 28 – Security

a) No Comments

19) Division 31 – Earthwork

- a) Not included in the GMP are cost or responsible for underground facilities that are not identified within the contract documents.
- b) The budget is based upon reliance and warrant of the structural design and geotechnical report assumptions

20) Division 32 - Site Improvements



a) Not included in the GMP are costs of utilities not depicted on the drawings.

21) Division 33 – Wet Utilities

a) Included in the GMP Estimate are GPRS (underground radar) location finding services for areas outside of the building within the construction limits.

Additional Comments:

In the event buyout savings are recognized, they will be processed as a change order at the end of the project and will be mutually agreeable to both parties. This in no means prevents the Contractor from surrendering saving prior to the completion for the benefit of the project, (Substantial Completion).

Owner will accept FIO submittals so long as the Contractor verifies the information to be correct as per specifications. This is in order to expedite the review times and expedite the material/equipment purchase. FIO submittals will be agreed upon the approval of the submittal register and agreed upon by all parties, (Owner, Architect, and Contractor).

The Contractor will be allowed to use Buyout to utilize a third-party envelope consultant in order to improve quality for the Project should funds be available. The Contractor will furnish the Quality Management Plan for the Owner's Review and Approval.

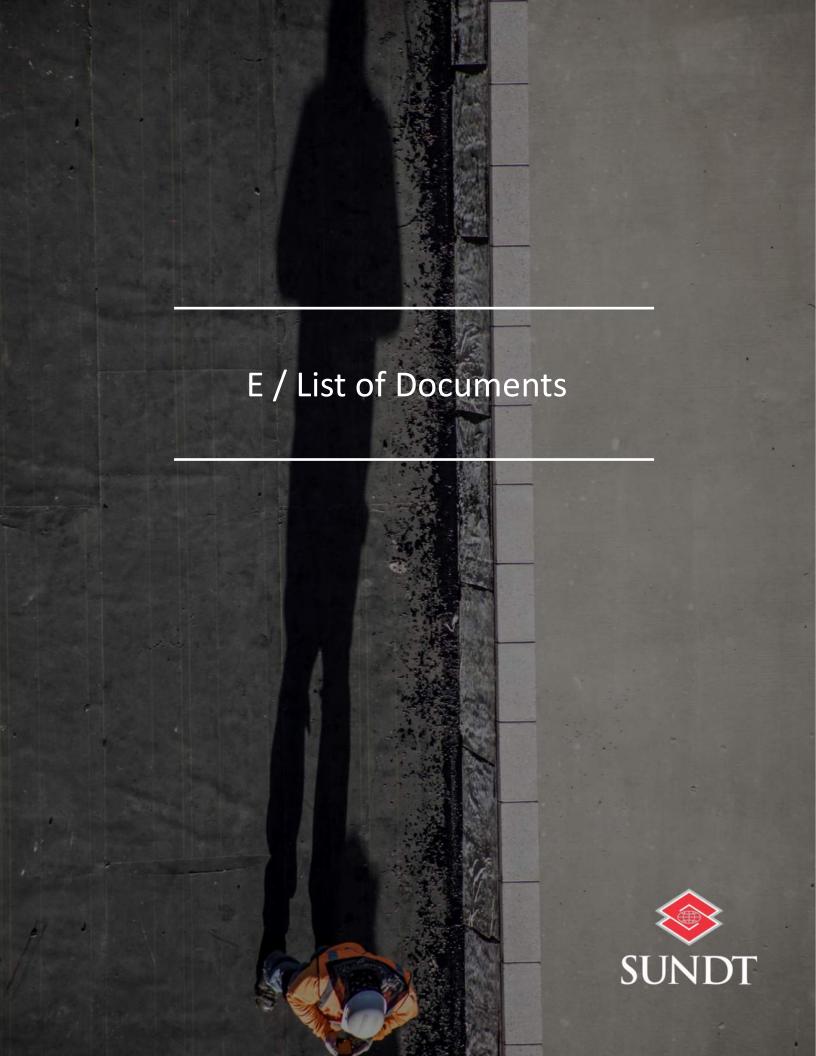


EXHIBIT E - BIDDING/CONTRACT DOCUMENTS LIST

PROJECT: MEXICAN AMERICAN CULTURAL CENTER

DOCUMENT DATE: 7/28/2021



Document Name / Sheet Number	File Name / Sheet Title	Author	Rev. No.	Plot/Rev/Wet Stamp Date
Bid Addenda				
Model Files - For Reference Only				
Structural REVIT Model				
Architectural REVIT Model MEP Model		+		+
WILF WIOGE				
Reference Documents / Reports				
Structural Calculations				
Report on Geotechnical Investigation				
,				
Bid Addenda				
Addendum 1	RFI Log Site Visit			
Addendum 2	Scope Directive			
Addendum 3	RFI Log Missing Specs		1	
Addendum 4	Bid Time		1	<u> </u>
Addendum 5	Exhibit A - Demolition		-	
Addendum 6	RFI Log Updated			
Addendum 7	Revised RFI Log			-
Addendum 8 Addendum 9	Alum Perf Screen Walls Re-Bid			
Addendum 9 Addendum 10	Updated Bid Form.			
Addendum 10 Addendum 11	Electrical COMM Revisions			
Addendam 11	Electrical Colvilvi Revisions			
Specifications				
Specifications				
Division 00	PROCUREMENT AND CONTRACTING REQUIREMENTS			
00 00 00	Cover	City of El Paso		2/15/2021
00 01 10	Table of Contents	City of El Paso		2/15/2021
Division 01	General Requirements Summary			
01 00 00	Summary of Project	City of El Paso		2/15/2021
01 01 90	Contract Considerations	City of El Paso		2/15/2021
01 02 80	Modification Requirements	City of El Paso		2/15/2021
01 03 90	Coordination and Meetings	City of El Paso		2/15/2021
01 04 50	Cutting and Patching	City of El Paso		2/15/2021
01 09 00	Reference Standards	City of El Paso		2/15/2021
01 12 00	Alteration Project Procedures	City of El Paso		2/15/2021 2/15/2021
01 22 00 01 30 00	Unit Prices Administrative Requirements	City of El Paso City of El Paso	+	2/15/2021
01 40 00	Quality Control Services	City of El Paso	-	2/15/2021
01 51 00	Temporary Facilities	City of El Paso	1	2/15/2021
01 55 50	Construction Facilities	City of El Paso	1	2/15/2021
01 56 00	Temporary Controls	City of El Paso		2/15/2021
01 56 39	Temporary Tree Protection	City of El Paso	1	2/15/2021
01 57 13	Temporary Erosion and Sediment	City of El Paso		2/15/2021
01 60 00	Materials and Equipment Control	City of El Paso		2/15/2021
01 70 00	Contract Close-out	City of El Paso		2/15/2021
07 72 00	Project Record Documents	City of El Paso		2/15/2021
Division 02	EXISTING CONDITIONS			
02 22 50	Minor Demolition for Remodeling	City of El Paso	1	2/15/2021
02 41 13	Site Demolition	City of El Paso	1	2/15/2021
Division 03	CONCRETE			
03 10 00	Concrete Forming and Acessories	City of El Paso	1	2/15/2023
03 10 50	Soils for Earthwork	City of El Paso	-	2/15/202
03 12 30	Excavation	City of El Paso	-	2/15/202
03 12 31	Fill	City of El Paso	1	2/15/2023

PROJECT:		XHIBIT E - BIDDING/CONTRACT DOCUMENTS LIST MEXICAN AMERICAN CULTURAL CENTER						
DOCUMENT DATE:		7/28/2021	SUNDT					
		, ,						
03 16 30	Drilled Concrete Piers and Shafts	City of El Paso	2/15/2021					
03 20 00	Concrete Reinforcing	City of El Paso	2/15/2021					
03 30 01	Cast-In Place Concrete	City of El Paso	2/15/2021					
Division 04	MASONRY							
04 82 00	Reinforced Masonry	City of El Paso	6/7/2021					
Division 05	METALS							
05 12 00	Structural Framing	City of El Paso	2/15/2021					
05 31 30	Steel Floor Decking	City of El Paso	2/15/2021					
05 40 00	Cold Formed Metal Framing	City of El Paso	2/15/2021					
05 50 00	Metal Fabrications	City of El Paso	2/15/2021					
05 51 00	Metal Stairs	City of El Paso	2/15/2021					
05 52 00	Handrails and Guardrails	City of El Paso	2/15/2021					
05 73 13	Ornamental Railings	City of El Paso	2/15/2021					
Division 06	WOOD AND PLASTIC							
06 61 00	Plastic Reinforced Panels	City of El Paso	2/15/2021					
06 11 40	Wood Blocking and Curbing	City of El Paso	2/15/2021					
06 22 10	Wood Paneling	City of El Paso	2/15/2021					
06 41 00	Interior Architectural Millwork	City of El Paso	2/15/2021					
Division 07	THERMAL AND MOISTURE PROTECTION							
07 10 00	Monolithic Membrane System	City of El Paso	2/15/2021					
07 16 00	Bituminous Dampproofing	City of El Paso	2/15/2021					
07 21 20	Rigid Board Insulation	City of El Paso	2/15/2021					
07 21 30	Batt Insulation	City of El Paso	2/15/2021					
07 21 40	Foam-In Place Insulation	City of El Paso	2/15/2021					
07 24 00	Exterior Finish and Insulation System	City of El Paso	2/15/2021					
07 27 26	Fluid Applied Vapor Barrier	City of El Paso	2/15/2021					
07 42 29	Terracota Rainscreen Wall System	City of El Paso	2/15/2021					
07 53 00	Singly Ply Roofing	City of El Paso	2/15/2021					
07 62 00	Sheet Metal Flashing and Trim	City of El Paso	2/15/2021					
07 84 10	Firestopping	City of El Paso	2/15/2021					
07 90 00	Joint Sealers	City of El Paso	2/15/2021					
Division 08	DOORS AND WINDOWS							
08 11 10	Standard Steel Doors	City of El Paso	2/15/2021					
08 11 20	Standard Steel Frames	City of El Paso	2/15/2021					
08 21 10	Flush Wood Doors	City of El Paso	2/15/2021					
08 33 31	Rolling Service Doors	City of El Paso	2/15/2021					
08 40 00	Aluminum Storefronts	City of El Paso	2/15/2021					
08 41 30	Glazed Aluminum Curtain Walls	City of El Paso	2/15/2021					
08 42 29	Automatic Sliding Entrances	City of El Paso	2/15/2021					
08 71 00	Builders Hardware	City of El Paso	2/15/2021					
08 80 00	Glazing	City of El Paso	2/15/2021					
Division 09	FINISHES							
09 00 00	Color Schedule	City of El Paso	2/15/2021					
09 22 16	Non-Structural Framing Systems	City of El Paso	2/15/2021					
09 26 00	Gypsum Board Systems	City of El Paso	2/15/2021					
09 30 00	Ceramic Tiling	City of El Paso	2/15/2021					
09 36 60	Quarry Floor Tile	City of El Paso	2/15/2021					
09 50 00	Wood Panel Ceilings	City of El Paso	2/15/2021					
09 51 00	Suspended Acoustical Ceilings	City of El Paso	2/15/2021					
09 63 40	Stone Flooring	City of El Paso	2/15/2021					
09 64 30	Wood Athletic Flooring	City of El Paso	2/15/2021					
09 65 00	Resilient Tile Flooring	City of El Paso	2/15/2021					
09 68 50	Carpet Tile	City of El Paso	2/15/2021					
09 72 00	Dry Eraser Wall Covering	City of El Paso	2/15/2021					
09 80 00	Softsound Ceiling	City of El Paso	2/15/2021					
09 90 00	Painting	City of El Paso	2/15/2021					
Division 10	SPECIALTIES							
	J. EGINETIES	1	I					

	EXHIBIT E - BIDDING/CONTRACT		
PROJECT:	MEXICAN AMERICAN CULTURAL CENTER	/20/2024	CLINITYT
DOCUMENT DATE:	//	<mark>/28/2021</mark>	SUNDT
10 15 00	Visual Display Boards	City of El Paso	2/15/202
10 16 00	Toilet Compartments	City of El Paso	2/15/202
10 22 26	Operable Partitions	City of El Paso	2/15/202
10 26 00	Corner Guards	City of El Paso	2/15/202
10 44 10	Plastic Signs	City of El Paso	2/15/202
10 44 20	Metal Dimensional Letters	City of El Paso	2/15/202
10 51 26	Solid Plastic Lockers	City of El Paso	2/15/202
10 52 20	Fire Extinguishers	City of El Paso	2/15/202
10 80 00	Bathroom Accessories	City of El Paso	2/15/202
10 90 00	Exterior LED Metal Wall Screen	City of El Paso	2/15/202
10 91 00	Exterior Aluminum Screen	City of El Paso	2/15/202
Division 11	EQUIPMENT		
11 40 00	Food Service Equipment	City of El Paso	2/15/202
11 41 00	Service Equipment	City of El Paso	2/15/202
11 42 00	Residential Food Service Equipment	City of El Paso	2/15/202
Division 12	FURNISHINGS		
12 24 13	Roller Shades - Mechoshades	City of El Paso	2/15/202
12 36 60	Solid Surfaces Countertops	City of El Paso	2/15/202
District 42	CDECIAL CONCEDUCTION		
Division 13	SPECIAL CONSTRUCTION N/A		
Division 14 14 24 00	CONVEYING SYSTEMS Machine Room-Less Elevator	City of El Paso	2/15/202
14 24 00	Machine Room-Less Elevator	City of El Paso	2/13/202
Division 21	FIRE SPRINKLER SYSTEM		
21 00 00	Fire Sprinkler System	City of El Paso	2/15/202
Division 22	PLUMBING		
22 00 00	Plumbing	City of El Paso	2/15/202
22 05 00	Plumbing General Conditions	City of El Paso	2/15/202
22 07 00	Insulation for Plumbing Systems	City of El Paso	2/15/202
Division 23	HEATING, VENTILATING AND AIR CONDITIONING		
23 00 00	Heating, Ventilating and Aire Conditioning	City of El Paso	2/15/202
23 05 00	Mechanical General Conditions	City of El Paso	2/15/202
23 05 93	Test and Balance	City of El Paso	2/15/202
23 07 00	Insulation for Mechanical Systems	City of El Paso	2/15/202
23 09 00	Building Automation System	City of El Paso	2/15/202
23 23 00	Refrigerant Piping	City of El Paso	2/15/202
Division 26	ELECTRICAL		+
26 05 00	Common Work Results	City of El Paso	2/15/202
26 05 03	Equipment Wiring Connection	City of El Paso	2/15/202
26 05 19	Low-Voltage Electrical Power Conductors and Cables	City of El Paso	2/15/202
26 05 33	Raceway and Boxes for Electrical Systems	City of El Paso	2/15/202
26 05 34	Outlet Junction and Pull Boxes	City of El Paso	2/15/202
26 09 23	Lighting CONtrol Devices & Occupancy Sensors	City of El Paso	2/15/202
26 23 13	Disconnect Switches	City of El Paso	2/15/202
26 24 16	Panelboards	City of El Paso	2/15/202
26 27 26	Wiring Devices	City of El Paso	2/15/202
26 51 00	Interior Lighting	City of El Paso	2/15/202
26 56 00	Exterior Lighting	City of El Paso	2/15/202
27 00 00	Structured Cabling System	City of El Paso	2/15/202
27 41 16	Audio Visual	City of El Paso	2/15/202
27 50 01	ссту	City of El Paso	2/15/202
27 51 16	Public Address System	City of El Paso	2/15/202
28 16 00	Intrusion Alarm System	City of El Paso	2/15/202
28 31 00	Fire Detection and Alarm	City of El Paso	2/15/202
Division 31	EARTHWORK		
31 05 16	Agregates for Earthwork	City of El Paso	2/15/202
31 11 00	Clearing and Grubbing	City of El Paso	2/15/202

Sundt Contruction, Inc.

DOCESTREES	EXH	T E - BIDDING/CONTRACT DO	CUMENTS LIST	
12.22.13 Rough Grading City of El Paso	N	ICAN AMERICAN CULTURAL CENTER		
Securation and Fill	i:	7/28/	<mark>2021</mark>	SUNDT
Securation and Fill	l _R .	Grading	City of El Paso	2/15/2021
13.23.23 Subgrade fill City of El Paso				2/15/2021
3201 90 Operation and Maintenance of Planting City of El Paso			· · · · · · · · · · · · · · · · · · ·	2/15/2021
220 19	E	IOR IMPROVEMENTS		+
23.11.23			City of El Paso	2/15/2021
321313 Concrete Paving	A	gates for Base Course		2/15/2021
23.14.00	A	tic Concrete Pavement	City of El Paso	2/15/2021
3215 16 Aggregate Paving	C	ete Paving	City of El Paso	2/15/2021
Plant trigation	U	aving	City of El Paso	2/15/2021
1329.200	А	gate Paving	City of El Paso	2/15/2021
Planting	P	rrigation	City of El Paso	2/15/2021
Distain 33	T	nd Grass	City of El Paso	2/15/2021
Storm Drainage	P	ng	City of El Paso	2/15/2021
APPENDIX Solls and Foundation Study Report City of El Paso	U	IES		
	St	Drainage	City of El Paso	2/15/2021
	Δ	DIX		
General Information			City of El Paso	2/15/2021
General Information	D	age Values 4 TO I Main Library.		
G100L NDEX	U	ngs volume 1 1&1 Main Library		
ABBREVIATIONS & SYMBOLS	C	SHEET	EXIGO	2/15/2021
TAS ACCESSIBILITY REQUIREMENTS	IN		EXIGO	2/15/2021
STATE TAS ACCESSIBILITY REQUIREMENTS	A	VIATIONS & SYMBOLS		2/15/2021
STATE TAS ACCESSIBILITY REQUIREMENTS	T	CCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
TAS ACCESSIBILITY REQUIREMENTS	T	CCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
G120L	T.	CCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
G121L	T.	CCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
G122L	LI	AFETY - SUB BASEMENT	EXIGO	2/15/2021
STEP SURVEY	LI	AFETY - BASEMENT	EXIGO	2/15/2021
SURVEY	LI	AFETY - FIRST FLOOR	EXIGO	2/15/2021
Civil C.O.L. GENERAL NOTES & CIVIL SITE PLAN SER C2.0L ENLARGED DIMENSIONAL CONTROL & PAVEMENT SER C3.0L ENLARGED GRADING & DRAINAGE PLANS SER C4.0L DETAILS SER C5.0L EROSION CONTROL PLAN SER C5.0L EROSION CONTROL PLAN SER Architectural A SER A100.0L SITE PLAN DEMO EXIGO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.2L BASEMENT - EXISTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN B EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.8L<	LI	AFETY - SECOND FLOOR	EXIGO	2/15/2021
C1.0L GENERAL NOTES & CIVIL SITE PLAN C2.0L ENLARGED DIMENSIONAL CONTROL & PAVEMENT SER C3.0L ENLARGED GRADING & DRAINAGE PLANS SER C4.0L DETAILS SER C5.0L EROSION CONTROL PLAN SER C5.0L EROSION CONTROL PLAN SER Architectural A100.0L SITE PLAN DEMO EXIGO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.1L BASEMENT - SENTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100.1L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - DIMENSION PLAN EXIGO A110L SUB-BASEMENT - DIMENSION PLAN EXIGO A110L SUB-BASEMENT - DIMENSION PLAN EXIGO A110L SUB-BASEMENT - DIMENSION PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO	SI	Y	EXIGO	2/15/2021
C1.0L GENERAL NOTES & CIVIL SITE PLAN C2.0L ENLARGED DIMENSIONAL CONTROL & PAVEMENT SER C3.0L ENLARGED GRADING & DRAINAGE PLANS SER C4.0L DETAILS SER C5.0L EROSION CONTROL PLAN SER C5.0L EROSION CONTROL PLAN SER Architectural A100.0L SITE PLAN DEMO EXIGO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.1L BASEMENT - SENTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100.1L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - DIMENSION PLAN EXIGO A110L SUB-BASEMENT - DIMENSION PLAN EXIGO A110L SUB-BASEMENT - DIMENSION PLAN EXIGO A110L SUB-BASEMENT - DIMENSION PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO				
C3.0L ENLARGED GRADING & DRAINAGE PLANS SER C4.0L DETAILS C5.0L EROSION CONTROL PLAN SER C5.0L EROSION CONTROL PLAN SER Architectural A100.0L SITE PLAN DEMO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN A100.2L BASEMENT - EXISTING DEMO PLAN A100.3L FIRST FLOOR - EXISTING DEMO PLAN A100.3L FIRST FLOOR - EXISTING DEMO PLAN A100.4L FIRST FLOOR - EXISTING DEMO PLAN BEXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN BEXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN BEXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN BEXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100.1L SUB-BASEMENT - NEW PLAN BEXIGO A101L SUB-BASEMENT - NEW PLAN EXIGO A101L SUB-BASEMENT - NEW PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104L SECOND LEVEL - NEW FLOOR PLAN EXIGO A104L SEXIGO A104L BASEMENT - DIMENSION PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO	G	AL NOTES & CIVIL SITE PLAN	SER	2/15/2021
C4.0L DETAILS SER C5.0L EROSION CONTROL PLAN SER Architectural	E	GED DIMENSIONAL CONTROL & PAVEMENT	SER	2/15/2021
C5.0L	E	GED GRADING & DRAINAGE PLANS	SER	2/15/2021
Architectural EXIGO A100.0L SITE PLAN DEMO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN A100.2L BASEMENT - EXISTING DEMO PLAN A100.3L FIRST FLOOR - EXISTING DEMO PLAN A100.4L FIRST FLOOR - EXISTING DEMO PLAN B A100.5L SECOND FLOOR - EXISTING DEMO PLAN A100.6L SECOND FLOOR - EXISTING DEMO PLAN A100.6L SECOND FLOOR - EXISTING DEMO PLAN B A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO EXIGO A100.8L DEMO ELEVATIONS A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A110L ROOF PLAN EXIGO	D	S	SER	2/15/2021
A100.0L SITE PLAN DEMO EXIGO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.2L BASEMENT - EXISTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A110L ROOF PLAN EXIGO A110L ROOF PLAN EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO	E	ON CONTROL PLAN	SER	2/15/2021
A100.0L SITE PLAN DEMO EXIGO A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.2L BASEMENT - EXISTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A110L ROOF PLAN EXIGO A110L ROOF PLAN EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO	+			
A100.1L SUB-BASEMENT - EXISTING DEMO PLAN EXIGO A100.2L BASEMENT - EXISTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100.1L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A110L ROOF PLAN EXIGO A110L ROOF PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO A120L BASEMENT - DIMENSION PLAN EXIGO	Si	AN DEMO	EXIGO	2/15/2021
A100.2L BASEMENT - EXISTING DEMO PLAN EXIGO A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN B EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A101L BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A103L SECOND LEVEL - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A110L ROOF PLAN EXIGO A110L ROOF PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO		=		2/15/2021
A100.3L FIRST FLOOR - EXISTING DEMO PLAN EXIGO A100.4L FIRST FLOOR - EXISTING DEMO PLAN B EXIGO A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN EXIGO A110L ROOF PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO				2/15/2021
A100.5L SECOND FLOOR - EXISTING DEMO PLAN EXIGO A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO				2/15/2021
A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	FI	FLOOR - EXISTING DEMO PLAN B	EXIGO	2/15/2021
A100.6L SECOND FLOOR - EXISTING DEMO PLAN B EXIGO A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW FLOOR PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	SI	ID FLOOR - EXISTING DEMO PLAN	EXIGO	2/15/2021
A100.7L ENLARGED DEMO STAIR PLAN & DETAILS EXIGO A100.8L DEMO ELEVATIONS EXIGO A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO				2/15/2021
A100.9L AS-BUILT DRAWINGS FOR REFERENCE & CLARITY EXIGO A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO				2/15/2021
A100L SITE PLAN NEW EXIGO A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	D	ELEVATIONS	EXIGO	2/15/2021
A101L SUB-BASEMENT - NEW FLOOR PLAN EXIGO A102L BASEMENT - NEW PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	A	ILT DRAWINGS FOR REFERENCE & CLARITY	EXIGO	2/15/2021
A102L BASEMENT - NEW PLAN EXIGO A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO			EXIGO	2/15/2021
A103L FIRST FLOOR - NEW FLOOR PLAN EXIGO A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	SI	ASEMENT - NEW FLOOR PLAN	EXIGO	2/15/2021
A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	B	1ENT - NEW PLAN	EXIGO	2/15/2021
A104AL SECOND LEVEL - NEW FLOOR PLAN EXIGO A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO	FI	FLOOR - NEW FLOOR PLAN	EXIGO	2/15/2021
A104BL SECOND LEVEL - NEW FLOOR PLAN B EXIGO A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO				2/15/2021
A110L ROOF PLAN EXIGO A120L SUB-BASAEMENT - DIMENSION PLAN EXIGO A121L BASEMENT - DIMENSION PLAN EXIGO				2/15/2021
A121L BASEMENT - DIMENSION PLAN EXIGO	R	PLAN		2/15/2021
A121L BASEMENT - DIMENSION PLAN EXIGO	SI	ASAEMENT - DIMENSION PLAN	EXIGO	2/15/2021
A122L FIRST FLOOR - DIMENSION PLAN EXIGO				2/15/2021
The second secon	FI	FLOOR - DIMENSION PLAN	EXIGO	2/15/2021
A123L SECOND FLOOR - DIMENSIONAL PLAN EXIGO	SI	ID FLOOR - DIMENSIONAL PLAN	EXIGO	2/15/2021

Sundt Contruction, Inc.

PROJECT:	EXHIBIT E - BIDDING/CONTRACT MEXICAN AMERICAN CULTURAL CENTER		
DOCUMENT DATE:		/28/2021	SUNDT
		, ,	
A124L	SECOND FLOOR - DIMENSION PLAN B	EXIGO	2/15/2021
A140L	SUB BASEMENT - FINISH PLAN	EXIGO	2/15/2021
A141L	BASEMENT - FINISH PLAN	EXIGO	2/15/2021
A142L A143L	FIRST FLOOR - FINISH PLAN SECOND FLOOR - FINISH PLAN	EXIGO EXIGO	2/15/2021 2/15/2021
A144L	SECOND FLOOR - FINISH PLAN B	EXIGO	2/15/2021
A160.1L	SUB-BASEMENT RCP - EXISTING DEMO	EXIGO	2/15/2021
A160.2L	BASEMENT RCP - EXISTING DEMO	EXIGO	2/15/2021
A160.3L	FIRST FLOOR RCP - EXISTING DEMO	EXIGO	2/15/2021
A160.4L	2ND FLOOR RCP - EXISTING DEMO	EXIGO	2/15/2021
A161L	NEW SUB-BASEMENT RCP	EXIGO	2/15/2021
A162L	NEW BASEMENT RCP	EXIGO	2/15/2021
A163L	NEW FIRST FLOOR RCP	EXIGO	2/15/2021
A164L	NEW 2ND FLOOR RCP	EXIGO	2/15/2021
A200L	EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A210L	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A211L	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A212L	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A213L	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A214L	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A215L	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A300L	BUILDING SECTIONS	EXIGO	2/15/2021
A301L	BUILDING SECTIONS - CURTAIN WALL ENTRANCE	EXIGO	2/15/2021
A320L	WALL SECTIONS - CURTAIN WALL	EXIGO	2/15/2021
A400L	ENLARGED STAIR PLANS	EXIGO	2/15/2021
A401AL	STAIR SECTIONS	EXIGO	2/15/2021
A401BL	STAIR SECTIONS	EXIGO	2/15/2021
A401CL A402L	STAIR DETAILS ENLARGED RESTROOM	EXIGO EXIGO	2/15/2021 2/15/2021
A403L	ENLARGED WALKWAY	EXIGO	2/15/2021
A404L	ENLARGED WALKWAT ENLARGED CURTAIN WALL ENTRANCE PLANS	EXIGO	2/15/2021
A405L	EXTERIOR ELEVS - CURTAIN WALL ENTRANCE	EXIGO	2/15/2021
A406L	CURTAIN WALL MULLION DETAILS	EXIGO	2/15/2021
A410L	MILLWORK ENLARGED PLANS	EXIGO	2/15/2021
A500L	EXTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A520L	INTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A521L	INTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A540L	DOOR & WINDOWS DETAILS	EXIGO	2/15/2021
A560L	MILLWORK DETAILS	EXIGO	2/15/2021
A561L	MILLWORK ELEVATIONS	EXIGO	2/15/2021
A600L	FINISH SCHEDULES	EXIGO	2/15/2021
A601L	DOOR SCHEDULE	EXIGO	2/15/2021
A602L	WINDOW SCHEDULE	EXIGO	2/15/2021
Structural	100% DD Set_1 Landscaping		
\$100L	STRUCTURAL NOTES	STUBBS	2/15/2021
\$101L	STRUCTURAL DETAILS	STUBBS	2/15/2021
\$102L	STRUCTURAL DIAGRAMS	STUBBS	2/15/2021
S200L	SUB BASEMENT DEMOLITION PLAN	STUBBS	2/15/2021
S201L	BASEMENT DEMOLITION PLAN	STUBBS	2/15/2021
S202L	GROUND LEVEL DEMOLITION PLAN	STUBBS	2/15/2021
S203L	SECOND FLOOR FRAMING DEMOLITION PLAN	STUBBS	2/15/2021
S204L	ROOF FRAMING DEMOLITION PLAN	STUBBS	2/15/2021
\$300L \$400L	SUB-BASEMENT FOUNDATION PLAN BASEMENT FLOOR FRAMING PLAN	STUBBS STUBBS	2/15/2021 2/15/2021
5400L S401L	GROUND LEVEL FLOOR FRAMING PLAN	STUBBS	2/15/2021
S402L	SECOND FLOOR FRAMING PLAN	STUBBS	2/15/2021
\$500L	ROOF FRAMING PLAN	STUBBS	2/15/2021
S600L	FOUNDATION DETAILS	STUBBS	2/15/2021
\$700L	TYPICAL FRAMING DETAILS	STUBBS	2/15/2021
S800L	FLOOR FRAMING DETAILS	STUBBS	2/15/2021
S801L	ROOF FRAMING DETAILS	STUBBS	2/15/2021
\$900L	STAIR PLANS & DETAILS		_, 10, 2021
			1

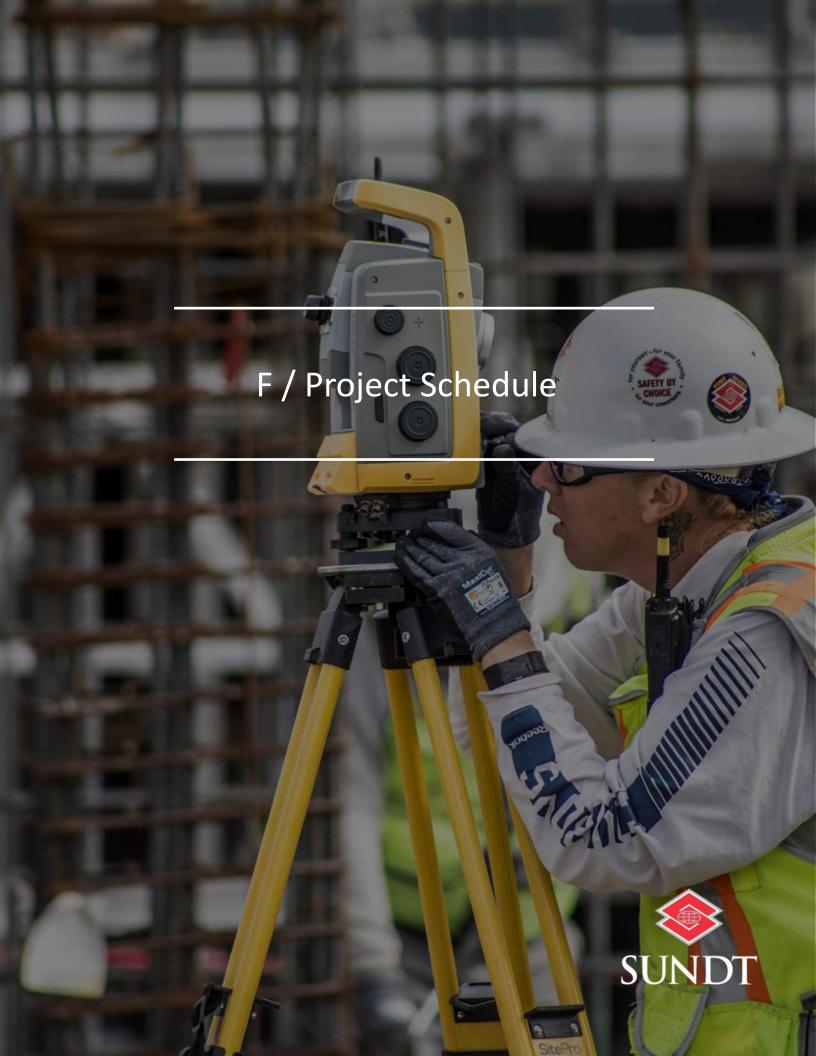
	<u> EXHIBIT E - BIDDING/CONTRACT DO</u>	OCUMENTS LIST	
PROJECT:	MEXICAN AMERICAN CULTURAL CENTER		
DOCUMENT DATE:	7/28/	2021	SUNDT
M100L	LEGEND, NOTES, SCHEDULES AND DETAILS	FLUID SYSTEMS	2/15/2021
M101L	SCHEDULES AND DETAILS	FLUID SYSTEMS	2/15/2021
M200L	SUB-BASEMENT DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M201L	BASEMENT DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M202L	FIRST FLOOR DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M203L	SECOND FLOOR DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M204L	SUB-BASEMENT NEW MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M205L	BASEMENT NEW MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M206L	FIRST FLOOR NEW MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M207L	SECOND FLOOR NEW MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
M208L	SECOND FLOOR PARTIAL NEW MECHANICAL PLAN	FLUID SYSTEMS	2/15/2021
Plumbing			
P100L	LEGEND, NOTES, SCHEDULES AND DETAILS	FLUID SYSTEMS	2/15/2021
P200L	SUB-BASEMENT DEMOLITION PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P201L	BASEMENT DEMOLITION PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P202L	FIRST FLOOR DEMOLITION PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P203L	SECOND FLOOR DEMOLITION PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P204L	SUB-BASEMENT NEW PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P205L	BASEMENT NEW PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P206L	FIRST FLOOR NEW PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P207L	SECOND FLOOR NEW PLUMBING PLAN	FLUID SYSTEMS	2/15/2021
P300L	ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS	FLUID SYSTEMS	2/15/2021
P301L P302L	ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS	FLUID SYSTEMS	2/15/2021
P302L	ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS	FLUID SYSTEMS	2/15/2021 2/15/2021
Electrical			2/15/2021
ED1.0L	SUB-BASEMENT POWER DEMOLITION	ALPHA ENGINEERING	1 6/18/2018
ED1.1L	SUB-BASEMENT LIGHTING DEMOLITION	ALPHA ENGINEERING	2/15/2021
ED1.2L	BASEMENT POWER DEMOLITION	ALPHA ENGINEERING	2/15/2021
ED1.3L	BASEMENT LIGHTING DEMOLTION	ALPHA ENGINEERING	2/15/2021
ED1.4L	FIRST FLOOR POWER DEMOLITION	ALPHA ENGINEERING	2/15/2021
ED1.5L	FIRST FLOOR LIGHTING DEMOLITION	ALPHA ENGINEERING	2/15/2021
ED1.6L	SECOND FLOOR POWER DEMOLITION	ALPHA ENGINEERING	2/15/2021
ED1.7L	SECOND FLOOR LIGHTING DEMOLITION	ALPHA ENGINEERING	2/15/2021
E1.0L	SITE PLAN	ALPHA ENGINEERING	2/15/2021
E2.0L	SUB-BASEMENT LIGHTING	ALPHA ENGINEERING	1 6/18/2018
E2.1L	BASEMENT LIGHTING	ALPHA ENGINEERING	2/15/2021
E2.2L	FIRST FLOOR LIGHTING	ALPHA ENGINEERING	1 6/18/2018
E2.3L	SECOND FLOOR LIGHTING	ALPHA ENGINEERING	1 6/18/2018
E2.4L	SECOND FLOOR ENLARGED LIGHTING PLAN	ALPHA ENGINEERING	2/15/2021
E3.0L	SUB-BASEMENT POWER	ALPHA ENGINEERING	2/15/2021
E3.1L	BASEMENT POWER	ALPHA ENGINEERING	2/15/2021
E3.2L	FIRST FLOOR POWER	ALPHA ENGINEERING	2/15/2021
E3.3L E3.4L	SECOND FLOOR POWER SECOND FLOOR ENLARGED POWER PLAN	ALPHA ENGINEERING ALPHA ENGINEERING	2/15/2021 2/15/2021
E4.0L	SUB-BASEMENT SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING	2/15/2021
E4.1L	BASEMENT SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING	2/15/2021
E4.2L	FIRST FLOOR SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING	2/15/2021
E4.3L	SECOND FLOOR SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING	2/15/2021
E4.4L	SECOND FLOOR ENLARGED SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING	2/15/2021
E5.0L	ELECTRICAL RISER DIAGRAMS	ALPHA ENGINEERING	1 6/18/2018
E5.1L	PANEL SCHEDULES	ALPHA ENGINEERING	2/15/2021
E5.2L	PANEL SCHEDULES	ALPHA ENGINEERING	1 6/18/2018
E5.3L	PANEL SCHEDULES	ALPHA ENGINEERING	1 6/18/2018
E5.4L	ELECTRICAL DETAILS	ALPHA ENGINEERING	1 6/18/2018
E6.0L	EXTERIOR CUT SHEETS	ALPHA ENGINEERING	2/15/2021
Drawings (by Discipline)	Drawings Volume 2 MACC		
General Information	100% Design Development Set		
G000	COVER SHEET	EXIGO	2/15/2021
G100M	INDEX	EXIGO	2/15/2021
G101M	ABBREVIATIONS & SYMBOLS	EXIGO	2/15/2021
G110M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
			, , , , , , , , , , , , , , , , , , , ,

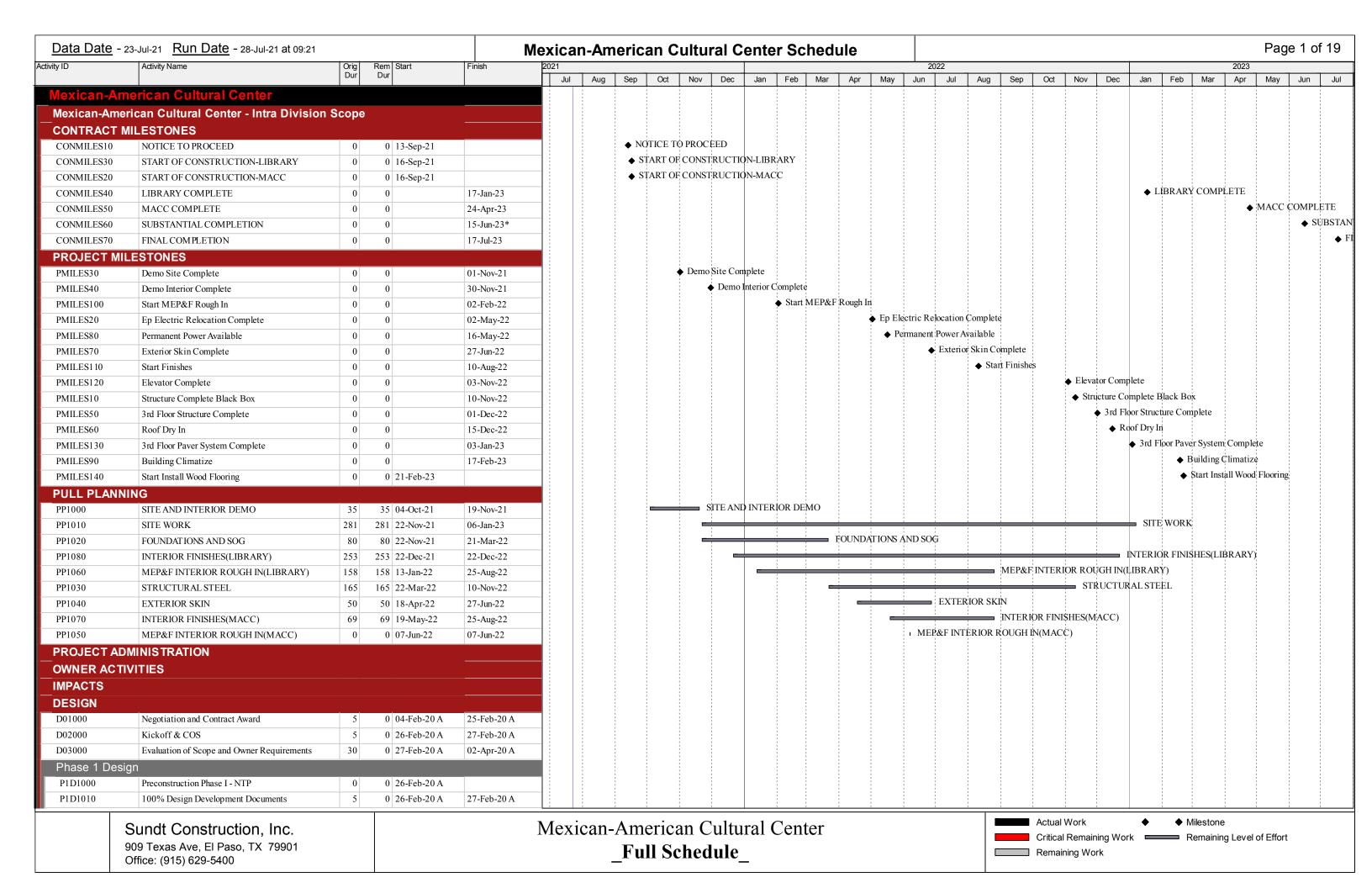
	EXHIBIT E - BIDDING/CONTRACT	T DOCUMENTS LIST	
PROJECT:	MEXICAN AMERICAN CULTURAL CENTER		
DOCUMENT DATE:		7/28/2021	SUNDT
G112M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
G113M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO	2/15/2021
G122M	LIFE SAFETY - FIRST FLOOR	EXIGO	2/15/2021
G123M	LIFE SAFETY - SECOND FLOOR	EXIGO	2/15/2021
G124M	LIFE SAFETY - THIRD FLOOR	EXIGO	2/15/2021
S		EXIGO	2/15/2021
Civil			
C0.0M	CIVIL GENERAL NOTES	SER	2/15/2021
C1.0M	CIVIL DEMOLITION PLAN	SER	2/15/2021
C1.1M	DIMENSIONAL CONTROL & PAVEMENT PLAN	SER	2/15/2021
C2.0M	ENLARGED GRADING PLAN	SER	2/15/2021
C3.0M	ENLARGED DRAINAGE PLAN	SER	2/15/2021
C3.1M	STORM WATER LINE 1 PLAN VIEW & PROFILE	SER	2/15/2021
C3.2M	STORM WATER LINE 2 PLAN VIEW & PROFILE	SER	2/15/2021
C3.3M	DRAINAGE CALCULATIONS	SER	2/15/2021
C4.0M	DETAILS	SER	2/15/2021
C4.1M	DETAILS	SER	2/15/2021
C4.2M	DETAILS	SER	2/15/2021
C4.3M	DETAILS	SER	2/15/2021
C4.4M	RETAINING WALLA PLAN VIEW AND PROFILE	SER	2/15/2021
C4.5M C5.0M	SECTIONS EROSION CONTROL PLAN	SER SER	2/15/2021 2/15/2021
			, , , ,
L0.00M	COVER SHEET	TEN EYCK	2/15/2021
L1.00M	OVERALL SITE PLAN	TEN EYCK	2/15/2021
L1.01M	GRADING PLAN	TEN EYCK	2/15/2021
L2.00M	HARDSCAPE DETAILS	TEN EYCK	2/15/2021
L2.01M	HARDSCAPE DETAILS HARDSCAPE DETAILS	TEN EYCK	2/15/2021
L2.02M	HARDSCAPE DETAILS	TEN EYCK	2/15/2021
L2.03M	HARDSCAPE DETAILS	TEN EYCK	2/15/2021
L3.00M	IRRIGATION NOTES	TEN EYCK	2/15/2021
L3.01M	IRRIGATION PLAN	TEN EYCK	2/15/2021
L3.02M	IRRIGATION PLAN	TEN EYCK	2/15/2021
L3.03M	IRRIGATION PLAN	TEN EYCK	2/15/2021
L3.10M	IRRIGATION DETAILS	TEN EYCK	2/15/2021
L3.11M	IRRIGATION DETAILS	TEN EYCK	2/15/2021
L4.00M	PLANTING NOTES	TEN EYCK	2/15/2021
L4.01M	PLANTING PLAN	TEN EYCK	2/15/2021
L4.02M	PLANTING PLAN	TEN EYCK	2/15/2021
L4.10M	PLANTING DETAILS	TEN EYCK	2/15/2021
L5.00M	SITE FURNISHINGS	TEN EYCK	2/15/2021
Architectural			
A100.2M	SITE PLAN DEMO - MACC	EXIGO	2/15/2021
A100.3M	SITE PLAN NEW,MACC Clevland Square	EXIGO	2/15/2021
A100.4M	DEMO PLAN - FIRST FLOOR	EXIGO	2/15/2021
A100.5M	DEMO PLAN - SECOND FLOOR - EXISTING	EXIGO	2/15/2021
A100.6M	DEMO PLAN - ROOF	EXIGO	2/15/2021
A100.8M	DEMO ELEVATIONS - EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A103M	FLOOR PLAN - LEVEL 1	EXIGO	2/15/2021
A104M	FLOOR PLAN - LEVEL 2	EXIGO	2/15/2021
A105M	FLOOR PLAN - LEVEL 3	EXIGO	2/15/2021
A106M	ROOF PLAN - NEW TPO BELOW PAVERS	EXIGO	2/15/2021
A110M	ROOF PLAN - THIRD LEVEL NEW ROOFS	EXIGO	2/15/2021
A111M	ROOF PAVER SYSTEM SECTIONS	EXIGO	2/15/2021
A122M	DIMENSION PLAN - LEVEL 1	EXIGO	2/15/2021
A123M	DIMENSION PLAN - LEVEL 1	EXIGO	2/15/2021
A124M	DIMENSION PLAN - LEVEL 2	EXIGO	2/15/2021
A125M	DIMENSION PLAN - LEVEL 3	EXIGO	2/15/2021
A126M	DIMENSION PLAN - LEVEL 3	EXIGO	2/15/2021
A127M	DIMENSION PLAN - LEVEL 4	EXIGO	2/15/2021
A128M	ENLARGED DIMENSION PLANS	EXIGO	2/15/2021
A130M	EQUIPMENT PLAN - LEVEL 1	EXIGO	2/15/2021

PROJECT:	EXHIBIT E - BIDDING/CONTRA		
DOCUMENT DATE:		7/28/2021	SUNDT
		, , ,	
A131M	EQUIPMENT PLAN - LEVEL 2	EXIGO	2/15/2021
A132M	EQUIPMENT PLAN - LEVEL 3	EXIGO	2/15/2021
A133M	EQUIPMENT SCHEDULE	EXIGO	2/15/2021
A142M	FINISH PLAN - LEVEL1	EXIGO	2/15/2021
A143M	FINISH PLAN - LEVEL2	EXIGO	2/15/2021
A144M	FINISH PLAN - LEVEL 3	EXIGO	2/15/2021
A160.1M A160.2M	DEMO REFLECTED CEILING PLAN - LEVEL 1	EXIGO	2/15/2021
A160.2M A163M	DEMO REFLECTED CEILING PLAN - LEVEL 2 REFLECTED CEILING PLAN - LEVEL 1	EXIGO EXIGO	2/15/2021 2/15/2021
A164M	REFLECTED CEILING PLAN - LEVEL 1	EXIGO	2/15/2021
A165M	REFLECTED CEILING PLAN - LEVEL 2	EXIGO	2/15/2021
A166M	PERGOLA - ROOF PLAN & RCP	EXIGO	2/15/2021
A200M	EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A201M	EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A202M	EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A203M	EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A204M	EXTERIOR ELEVATIONS	EXIGO	2/15/2021
A210M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A211M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A212M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A213M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A214M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A215M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A216M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A217M	INTERIOR ELEVATIONS	EXIGO	2/15/2021
A300M	BUILDING SECTIONS	EXIGO	2/15/2021
A320M	WALL SECTIONS	EXIGO	2/15/2021
A321M A322M	WALL SECTIONS	EXIGO EXIGO	2/15/2021 2/15/2021
A323M	WALL SECTIONS	EXIGO	2/15/2021
A324M	WALL SECTIONS WALL SECTIONS	EXIGO	2/15/2021
A400M	ENLARGED STAIR PLANS - EAST & WEST STAIRS	EXIGO	2/15/2021
A401M	LONGITUDINAL EAST STAIR SECTIONS	EXIGO	2/15/2021
A403M	LONGITUDINAL WEST STAIR SECTIONS	EXIGO	2/15/2021
A404.1M	NORTH & SOUTH TRANSVERSE STAIR SECTIONS	EXIGO	2/15/2021
A404M	DETAILS - STAIR	EXIGO	2/15/2021
A405M	ELEVATOR SECTIONS	EXIGO	2/15/2021
A406M	ELEVATOR DETAILS	EXIGO	2/15/2021
A407M	ENLARGED KITCHEN & BAR SERVICE PLAN	EXIGO	2/15/2021
A408M	ENLARGED RESTROOM	EXIGO	2/15/2021
A410M	ENLARGED ELEVATOR PLANS	EXIGO	2/15/2021
A500M	EXTERIOR ENVELOPE DETAILS	EXIGO	2/15/2021
A501M	EXTERIOR ENVELOPE DETAILS	EXIGO	2/15/2021
A502M	EXTERIOR ENVELOPE DETAILS	EXIGO	2/15/2021
A503M	EXTERIOR ENVELOPE DETAILS	EXIGO	2/15/2021
A504M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO	2/15/2021
A505M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO	2/15/2021
A506M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO	2/15/2021
A507M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO	2/15/2021
A508M A509M	ROOF DETAILS	EXIGO	2/15/2021 2/15/2021
A510M	ROOF DETAILS ROOF DETAILS	EXIGO EXIGO	2/15/2021
A511M	EXTERIOR SCREEN STRUCTURE	EXIGO	2/15/2021
A520M	INTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A521M	INTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A522M	INTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A523M	INTERIOR CONSTRUCTION DETAILS	EXIGO	2/15/2021
A540M	DOOR & WINDOWS DETAILS	EXIGO	2/15/2021
A541M	DOOR & WINDOWS DETAILS	EXIGO	2/15/2021
A542M	DOOR & WINDOWS DETAILS	EXIGO	2/15/2021
A543M	WINDOW SCHEDULE & DETAILS	EXIGO	2/15/2021
A560M	MILLWORK DETAILS	EXIGO	2/15/2021
A600M	ROOM FINISH SCHEDULE & WALL TYPES	EXIGO	2/15/2021
A601M	DOOR SCHEDULE	EXIGO	2/15/2021
	·		

	EXHIBIT E - BIDDING/CONTRACT [OCUMENTS LIST		
PROJECT:	MEXICAN AMERICAN CULTURAL CENTER			
DOCUMENT DATE:	7/2	8/2021		SUNDT
Structural				
S100M	STRUCTURAL NOTES	STUBBS		2/15/2021
S101M	QUALITY ASSURANCE	STUBBS		2/15/2021
S102M	STRUCTURAL DETAILS	STUBBS		2/15/2021
S103M	STRUCTURAL DETAILS	STUBBS		2/15/2021
S104M	STRUCTURAL DIAGRAMS	STUBBS		2/15/2021
S200M	FOUNDATION DEMOLITION PLAN	STUBBS		2/15/2021
S201M	SECOND FLOOR FRAMING DEMOLITION PLAN	STUBBS	1	7/7/2021
S202M	ROOF FRAMING DEMOLITION PLAN	STUBBS	1	7/7/2021
S300M	FOUNDATION PLAN	STUBBS		2/15/2021
S301M S400M	FOUNDATION PLAN	STUBBS	1	2/15/2021
S400M S401M	SECOND FLOOR FRAMING PLAN	STUBBS	1	7/7/2021
	SECOND FLOOR FRAMING PLAN THIRD FLOOR FRAMING PLAN	STUBBS STUBBS	1	2/15/2021
S402M	THIRD FLOOR FRAMING PLAN THIRD FLOOR FRAMING PLAN		1	7/7/2021
S403M	ROOF FRAMING PLAN	STUBBS	1	7/7/2021
S500M	ROOF FRAMING PLAN ROOF FRAMING PLAN	STUBBS		2/15/2021
S501M	FOUNDATION DETAILS	STUBBS		2/15/2021
S600M		STUBBS	- 1	2/15/2021
S601M	FOUNDATION DETAILS	STUBBS	1	7/7/2021
S700M	TYPICAL FRAMING DETAILS	STUBBS		2/15/2021
S701M	TYPICAL FRAMING DETAILS	STUBBS		2/15/2021
S800M	ROOF FRAMING DETAILS	STUBBS		2/15/2021
S801M	ROOF FRAMING DETAILS	STUBBS		2/15/2021
S802M	ROOF FRAMING DETAILS	STUBBS	1	7/7/2021
S900M	STAIR PLANS	STUBBS	1	7/7/2021
S901M	STAIR PLANS	STUBBS	1	7/7/2021
S902M	STAIR DETAILS	STUBBS	1	7/7/2021
S903M	BRACE FRAME ELEVATIONS	STUBBS		
Mechanical				
M100M	LEGEND, NOTES, SCHEDULES AND DETAILS	FLUID SYSTEMS		2/15/2021
M101M	MECHANICAL DETAILS	FLUID SYSTEMS		2/15/2021
M102M	MECHANICAL DETAILS MECHANICAL DETAILS & CONTROLS	FLUID SYSTEMS		2/15/2021
M103M	MECHANICAL DETAILS & CONTROLS MECHANICAL SCHEDULES	FLUID SYSTEMS		2/15/2021
M200M	FIRST FLOOR - EXISTING DEMO MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M201M	SECOND FLOOR - EXISTING DEMO MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M202M	FIRST FLOOR - NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M203M	SECOND FLOOR - NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M204M	THIRD FLOOR - NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
11120-1111	THIND LEGGIN NEW INTEGRATION OF THE	1 2012 313121413		2/13/2021
Plumbing				
P100M	SITE PLAN	FLUID SYSTEMS		2/15/2021
P101M	LEGEND, NOTES, SCHEDULES & DETAILS	FLUID SYSTEMS		2/15/2021
P200M	FIRST FLOOR - EXISTING DEMO PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P201M	SECOND FLOOR - EXISTING DEMO PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P202M	FIRST FLOOR - NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P203M	SECOND FLOOR- NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P204M	THIRD FLOOR - PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P300M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P301M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P302M	WASTE AND WATER RISER DIAGRAMS WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P303M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P304M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P400M	ROOF DEMO PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P401M	ROOF NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
				2, 23, 2021
Electrical				
ED1.0M	DEMOLITION 1ST FLR.	ALPHA ENGINEERING		2/15/2021
ESD1.0M	SITE PLAN NEW, MACC DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.1M	DEMOLITION 1ST FLR. LIGHTING	ALPHA ENGINEERING		2/15/2021
ED1.2M	DEMOLITION 2ND FLR.	ALPHA ENGINEERING		2/15/2021
ED1.2M	DEMOLITION 2ND FLR. DEMOLITION 2ND FLR. LIGHTING	ALPHA ENGINEERING ALPHA ENGINEERING		2/15/2021
E1.0M	SITE PLAN NEW,MACC Clevland Square	ALPHA ENGINEERING ALPHA ENGINEERING		2/15/2021
E2.0M	LIGHTING PLAN 1ST FLOOR	ALPHA ENGINEERING		2/15/2021
E2.1M	LIGHTING PLAN 131 FLOOR LIGHTING PLAN 2ND FLOOR	ALPHA ENGINEERING		2/15/2021
LZ.IIVI	LIGITHING FLAIN ZIND FLOOR	ALF HA ENGINEERING		2/15/2021

EXH	HIBIT E - BIDDING/CONTRACT D	OCUMENTS LIST	
PROJECT:	MEXICAN AMERICAN CULTURAL CENTER		
DOCUMENT DATE:	7/28	<mark>3/2021</mark>	SUNDT
E2.2M	LIGHTING PLAN 3RD FLOOR	ALPHA ENGINEERING	2/15/2021
E2.3M	LIGHTING DETAILS	ALPHA ENGINEERING	2/15/2021
E3.0M	POWER PLAN 1ST FLOOR	ALPHA ENGINEERING	2/15/2021
E3.1M E3.2M	POWER PLAN 2ND FLOOR POWER PLAN 3RD FLOOR	ALPHA ENGINEERING	2/15/2021
E3.3M	ENLARGED POWER PLANS	ALPHA ENGINEERING ALPHA ENGINEERING	2/15/2021 2/15/2021
E4.0M	SPECIAL SYSTEMS PLANS SPECIAL SYSTEMS PLAN 1ST FLOOR	ALPHA ENGINEERING ALPHA ENGINEERING	2/15/2021
E4.1M	SPECIAL SYSTEMS PLAN 2ND FLOOR	ALPHA ENGINEERING ALPHA ENGINEERING	2/15/2021
E4.2M	SPECIAL SYSTEMS PLAN 3RD FLOOR	ALPHA ENGINEERING	2/15/2021
E4.3M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING	2/15/2021
E4.4M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING	2/15/2021
E4.5M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING	2/15/2021
E4.6M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING	2/15/2021
E5.0M	ELECTRICAL RISER DIAGRAM	ALPHA ENGINEERING	2/15/2021
E5.1M	PANEL SCHEDULES	ALPHA ENGINEERING	2/15/2021
E5.2M	PANEL SCHEDULES	ALPHA ENGINEERING	2/15/2021
E5.3M	PANEL SCHEDULES	ALPHA ENGINEERING	2/15/2021
E6.0M	CUTSHEET	ALPHA ENGINEERING	2/15/2021
e de politico e lobro			
Sundt Bidding Exhibits Attachment 1 - Instructions to Bidders		Sundt	
Attachment 1 - mstructions to bluders		Sullat	
Attachment 2 - Bid Form		Sundt	
Attachment 3 - Sample Standard Forms		Sundt	
of Agreement			
Exhibit A - Scope of Work Directive		Sundt	
Exhibit B - Special Project Requirements		Sundt	
Exhibit C - Project Schedule		Sundt	
Exhibit D - Safety Management and		Sundt	
Illness Prevention Requirements		Januar	
Exhibit E - List of Bidding/Contract		Sundt	
Documents			
Exhibit F - Quality Management			
Requirements			
Exhibit G - Insurance Manual	Sundt Liability Insurance Program (SLIP) Manual - 10/1/18 to 10/1 PROGRAM	/23 Sundt	
Exhibit H - Textura Overview		Sundt	
Exhibit I - Prime Contract		Sundt	
Exhibit J - Systems Trade Interface		Sundt	
Agreement			
Exhibit L - Site Usage and Logistics Plan		Sundt	
Exhibit M - BIM Requirements		Sundt	





ata Date -	- 23-Jul-21 Run Date - 28-Jul-21 at 09:21			N	exican-American Cultural Center Schedule Pag	je 2 o
)	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 2023	
1D1020	Cit. Decise & Comment Projet (CD)			10 Mar 20 A	Jul Aug Sep Oct Nov Dec Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec Jan Feb Mar Apr May	Jun
1D1020	City Review & Comment Period (SD)	5	0 27-Feb-20 A	10-Mar-20 A		
1D1030	100% Design Development Estimate	10	0 28-Feb-20 A	01-Apr-20 A		1 1 1
1D1040	Incorporate Comments	3	0 10-Mar-20 A	17-Apr-20 A		1 1 1
1D1050	60% Construction Documents	20	0 01-Apr-20 A	18-Jan-21 A		
1D1170	Design Development Finish Milestone	0	0	01-Apr-20 A		
1D1080	Prefinal 90% Construction Docs	15	0 18-Jan-21 A	08-Feb-21 A		1
ID1180	100% CD and GMP Library	10	0 08-Feb-21 A	16-Jun-21 A		
1D1090	Incorporate Comments	5	0 09-Feb-21 A	16-Feb-21 A		
D1130	Bidding Process/Prep GMP	21	21 17-Jun-21 A	20-Aug-21	Bidding Process/Prep GMP	
D1140	GMP Presented to City	1	1 23-Aug-21	23-Aug-21	GMP Presented to City	
D1141	City Review and Approval of GMP	12	12 24-Aug-21	09-Sep-21	City Review and Approval of GMP	
ID1200	NTP Is sued to Sundt	1	1 10-Sep-21	10-Sep-21	NTP Issued to Sundt	
D1210	Estimate & Buyout Update	3	3 13-Sep-21	15-Sep-21	■ Estimate & Buyout Update	
nase 2 Des	sign					
RMITTING	G					1
ECONST	RUCTION					1 1 1
STIMATE						1
ONTRACT	TQ					
JBCONTRAC				_		
UB1090	Issue Elevator Sub-contract	10	10 13-Sep-21	24-Sep-21	Issue Elevator Sub-contract	
		10	-		Issue Demoilition Sub-contract	1
JB900	Issue Demoilition Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Electrical Sub-contract	
UB910	Issue Electrical Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Plumbing Sub-contract	
UB920	Issue Plumbing Sub-contract	10	10 16-Sep-21	29-Sep-21		
UB930	Issue Mechincal Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Mechincal Sub-contract	
UB940	Issue Earthwork/Utilities Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Earthwork/Utilities Sub-contract	
UB950	Issue Concrete Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Concrete \$ub-contract	
UB960	Issue Steel Erector Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Steel Erector Sub-contract	
UB970	Issue Roofing Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Roofing Sub-contract	1
UB980	Issue Framing/Drywall,TBT Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Framing/Drywall,TBT Sub-contract	1
UB990	Issue Kitchen Equipment Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Kitchen Equipment Sub-contract	
UB1000	Issue Landscape Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Landscape Sub-contract	
UB1010	Issue Millwork Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Millwork \$ub-contract	1
UB1020	Issue Flooring Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Flooring Sub-contract	1
JB1030	Issue Door/Frame/Hardware Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Door/Frame/Hardware Sub-contract	
UB1050	Issue Masonry Sub-contract	10	10 16-Sep-21	29-Sep-21	Issue Masonry Sub-contract	
JB1060	Issue Specialty Sub-Contract	10	10 16-Sep-21	29-Sep-21	Issue Specialty Sub-Contract	
JB1070	Issue Fire Suppression Sub-Contract	10	10 16-Sep-21	29-Sep-21	Issue Fire Suppression Sub-Contract	1 1 1
UB1040	Issue Aluminum Store front Sub-contract	10	10 14-Oct-21	27-Oct-21	Issue Aluminum Store front Sub-contract	
)s						
7240	Issue Steel Supplier PO	10	10 16-Sep-21	29-Sep-21	Issue Steel Supplier PO	
OCUREM			· r	· F		
	MASTER FORMAT					
						1 1 1
	- GENERAL REQUIREMENTS					
	- EXISTING CONDITIONS					1
	- CONCRETE					1
oncrete						1 1 1 1
Building Conc						
SUBM1060	Sub-Contractor Submittal to Sundt	10	10 30-Sep-21	13-Oct-21	Sub-Contractor Submittal to Sundt	:

<u>Data Date</u> -	23-Jul-21 Run Date - 28-Jul-21 at 09:2	21			Mexica	an-Am	nerica	ın Cult	ural	Cente	er S	che	dule	•													Page	3 of
vity ID	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 Jul	Aug	Sep	Oct No	ov De	ec Jan	Feb	o Ma	ar A	pr N	lay	Jun	22 Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	2023 Apr	May	Jun
SUBM1720	Submit to Design Team for Approval	21	21 21-Oct-21	18-Nov-21						it to Design								1	1	1	!							
Site Concrete			,	<u> </u>				1			1							1	1	1								
SUBM1040	Sub-Contractor Submittal to Sundt	10	10 19-Nov-21	06-Dec-21				: 1 1 1		Sub-Contrac	tor Subr	mittal to	o Sundt					1	1	1								į
SUBM1360	Sundt Submittal Review	5	5 07-Dec-21	13-Dec-21				1 1 1		Sundt Sub	mittal R	Review	!			1		1 1 1	1 1 1	1 1 1				1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	
SUBM1700	Submit to Design Team	21	21 14-Dec-21	14-Jan-22				1		S	Submit to	to Design	n Team					1	1	1								
Drilled Concrete	e Piers	' '	'					1 1 1			1							1 1 1	1	1	1							
SUBM1070	Sub-Contractor Submittal to Sundt	10	10 14-Dec-21	29-Dec-21				1 1 1		Sub-C	Contracto	torSubm	nittal to	Sundt		-		1	1	1								
SUBM1390	Sundt Submittal Review	5	5 30-Dec-21	06-Jan-22				1 1 1		Sun	dt Subn	miţtal Re	eview					1	1	1								
SUBM1730	Submit to Design Team	21	21 07-Jan-22	04-Feb-22				1 1 1	1		Sub	bmit to	Design	Team		1		1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1								
Rebar	·							1										1 1 1	1	1								
SUBM1050	Sub-Contractor Submittal to Sundt	10	10 30-Sep-21	13-Oct-21				Sub-Cor	ntractor S	Submittalto	Sundt							1	1	1								
SUBM1370	Sundt Submittal Review	5	5 14-Oct-21	20-Oct-21				☐ Sundt	Submitt	tal Review	1							1 1 1	1	1	1							
SUBM1710	Submit to Design Team	21	21 21-Oct-21	18-Nov-21					Submi	it to Design	Team							1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1							1 1 1	
SUBM2540	Rebar Fabrication	30	30 19-Nov-21	06-Jan-22				1 1 1		Reb	oar Fabr	rication				1		1 1	1	1	1			:	1		1	1
SUBM2560	Rebar Delivery	2	2 07-Jan-22	10-Jan-22				1		□ Re	ebar Del	livery						1	1									
	ing Concrete Floor							i 1 1	1		1					1		1	1	1								
SUBM1080	Sub-Contractor Submittal to Sundt	10	10 07-Oct-21	20-Oct-21				Sub-C	Contracto	or Submittal	to Sund	dt						1	1	1								
SUBM1400	Sundt Submittal Review	5	5 21-Oct-21	27-Oct-21				☐ Sund	dt Submi	ittal Review	v							1	1	1								
SUBM1740	Submit to Design Team	21	21 28-Oct-21	29-Nov-21					Sul	bmit to Des	ign Tear	m						1	1	1	1							
DIVISION 04 - I				127 7101 23				1 1 1	1 1 1		1					1		1 1 1	1 1 1	1 1 1	1							
SUBM210	Sub-Contractor Submittal to Sundt	10	10 14-Oct-21	27-Oct-21				Sub-	-Contrac	ctor Submitt	al to Su	ındt						1	1	1								
SUBM390	Sundt Submittal Review	5	5 28-Oct-21	03-Nov-21				į	1	mittal Revie	1							1		1								
SUBM570	Submit to Design Team	21	21 04-Nov-21	06-Dec-21				-	1	Submit to De	1	eam				1		1 1 1	1 1 1	1 1 1	!			1		1 1		
SUBM580	Delivery	2	2 07-Dec-21	08-Dec-21						Delivery								1	1	1								
DIVISION 05 - I	·		2 07-DCC-21	08-Dcc-21				1										1	1	1								
Structural Stee								1 1 1	1		1 1					1		1 1 1	1 1 1	1 1 1				1			1	1
SUBM940	Sub-Contractor Submittal to Sundt	10	10 30-Sep-21	13-Oct-21				Sub-Cor	ntractor S	Submittalto	Sundt							1										
SUBM970	Sundt Submittal Review	5		20-Oct-21					1	tal Review	1							1	1	1	1							
	Submit to Design Team	3				1		_		Design Tear	m					1		1 1 1	1 1 1	1 1 1							1	:
SUBM1660 SUBM2460	Fabrication of Beams & Columns	90	10 21-Oct-21 90 04-Nov-21	03-Nov-21 17-Mar-22					ionnit to	Design real			Fabric	ation of	Reams	& Coli	ımns	1		1								
SUBM2630	Fabrication of Bar Joist	244	244 04-Nov-21	24-Oct-22					!		1	i						i !	i !		Fabricat	ion of Ba	ar Ioist					
								1					■ Ďeliv	/erv				1	1		aoneac	ion of B	30150					
SUBM2490	Delivery	2	2 18-Mar-22	21-Mar-22				1				•	i Den v	Cry				1	1	: : 1	Bar Jois	Deliver	v					
SUBM2640	Bar Joist Delivery	1	1 25-Oct-22	25-Oct-22				: 1 1										1			Dai Jois	Denver	y					
Steel Roof Dec		1.0	10 20 Gar 21	12 0 4 21				Sub-Cor	ntractor S	Submittalto	Sundt					1		1 1 1	1 1 1	1 1 1					1	1 1	1	1
SUBM950	Sub-Contractor Submittal to Sundt	10	10 30-Sep-21	13-Oct-21				- :	1	tal Review	Sunat							1	1	1								
SUBM980	Sundt Submittal Review	5	5 14-Oct-21	20-Oct-21						Design Tear	m.							1	1	1								
SUBM1670	Submit to Design Team	10	10 21-Oct-21	03-Nov-21					ionni to	Design real								1	1	!	Fabricat	ion						:
SUBM2220	Fabrication	244	244 04-Nov-21	24-Oct-22							:	-	- :	- ;	-	:		1	1									
SUBM2450	Delivery		1 25-Oct-22	25-Oct-22				1								į		1	1	i I	Delivery							
Metal Stairs									— C1	Commenter	C-1	4 a 1 4 a C				1		1 1 1	1 1 1	1 1 1					1 1 1	1 1	1	
SUBM960	Sub-Contractor Submittal to Sundt	15	15 04-Nov-21	24-Nov-21						-Contractor	1		ınat			1		1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	!			:			1	
SUBM990	Sundt Submittal Review	5	5 29-Nov-21	03-Dec-21					□ St	undt Submit	1	1	Ta a de					1 1 1	i i i i	1							1	
SUBM1680	Submit to Design Team	21	21 06-Dec-21	06-Jan-22				1		Sub	i	Design T	i					1 1 1	1 1 1	1 1 1	1 1 1			:	1 1 1		! !	:
SUBM2470	Fabrication	30	30 07-Jan-22	17-Feb-22				1 1 1	1		:	Fabrica				1		1	1	1	1			:	1		1	
SUBM2480	Delivery	1	1 18-Feb-22	18-Feb-22				1 1 1	1		I	Delive	ery			1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	1					1 1 1		1	
Metal Studs								; ; 					1	1				1 1 1	1 1 1	1 1 1	1 1 1			:			: : :	
SUBM2650	Sub-Contractor Submittal to Sundt	15	15 30-Sep-21	20-Oct-21			-	1	1	or Submittal		at			:	1		1	1	1							1 1	:
SUBM2660	Sundt Submittal Review	5	5 21-Oct-21	27-Oct-21				•	i	ittal Review	i		:			1		1 1	1 1	1	1				1		1 1 1	1
SUBM2670	Submit to Design Team	10	10 28-Oct-21	10-Nov-21		:			Submit t	to Design Te	eam	!						1 1 1	1 1 1	1 1 1	1 1			:	1 1 1 1 1			
SUBM2680	Fabrication	120	120 11-Nov-21	05-May-22		1				<u></u>	_	_	_		Fabricat	tion :		1	1	1	1		1	1	1	1	!	

Marche 1 10 10 10 10 10 10 10	ta Date - 23-	-Jul-21 Run Date - 28-Jul-21 at 09:2	1			Mexica	an-An	nerica	n Cultu	ural	Cente	r Sch	hedu	ıle													Pag	je 4 o
March Marc		Activity Name	Orig Dur	Rem Start Dur	Finish		Aug	Sep	Oct Nov	/ Dec	: Jan	Feb	Mar	Apr	Mav	_		Aua	Sep	Oct	Nov	Dec	Jan	Feb	Mar		May	Jun
Selection Sele	SUBM2690	Delivery	1	1 06-May-22	06-May-22								-					-	1	1				1				-
Section Sect	VISION 06 - WO	OODS / PLASTICS / COMPOSITES							1 1 1	1							1 1 1	1	1 1 1	1 1	1 1 1				1	1 1 1	1	1 1 1
Marit Mari	ood Blocking/Cu	urbing																		1	1				1	1	!	1
Marcia Charges Teach Marcia Charges Teach	SUBM1090	Sub-Contractor Submittal to Sundt	5	5 28-Oct-21	03-Nov-21	:			📋 Sub	o-Contrac	ctor Submitta	al to Sund	dt	!		1		1	1 1 1	1 1 1	1 1 1			1	1	1 1 1	1	1 1 1
Standard Standard	SUBM1410	Sundt Submittal Review	5	5 04-Nov-21	10-Nov-21				□ Si	Sundt Sub	mittal Revie	ew									1							1
March Marc	SUBM1750	Submit to Design Team	21	21 11-Nov-21	13-Dec-21						Submit to De	esign Tea	am								1						!	1
State State Approx Million Processor State	SUBM2000	Procurement	5	5 14-Dec-21	20-Dec-21						Procureme	nt									1						1	1
Simulation Sim	SUBM2230	Delivery	1	1 21-Dec-21	21-Dec-21					I	Delivery									1	1 1						1 1	1 1 1
Section Sect	rchitectual Millwo	vork		<u> </u>																	1						i !	1
Section Sect	SUBM1350	Submit & Approve Millwork Packages	20	20 30-Sep-21	27-Oct-21			—	Subm	nit & App	prove Millwo	ork Packa	ages								1						1	1
Sub-Contracts Solar Sub-Contracts Solar	SUBM2580	Procure Millwork Packages	60	60 28-Oct-21	26-Jan-22				i	i	+-	Procure N	Millwork	Package	es		1		1	1	1 1 1				1	1	!	1 1 1
State Stat	VISION 07 - THE	ERMAL / MOISTURE PROTECTION																			1				1	1	!	1
SIDMA16 Same Design Turn 2 2 1 16-12 17-20-2 18-70	att Insulation								i 1 1	1 1 1						1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	1 1 1	1 1 1	:		1	1 1 1 1	1 1 1	1	1 1 1
Substant Design Team 7 2 1 14-22 14-22 1 14-22	SUBM50	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21			1 1	-	1	:	ndt	!							1	1				! ! !	1	!	
Substitute Sub	SUBM230	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21					i	1									1	1 1 1						1	I I I
Substitive	SUBM410	Submit to Design Team	21	21 14-Oct-21	11-Nov-21				Si	Submit to	Design Tea	m								1	1						1	
Substitution Subs	SUBM590	Procurement	5	5 12-Nov-21	18-Nov-21					Procure	ment										1						1	1
Substitution Subs	SUBM750	Delivery	1	1 19-Nov-21	19-Nov-21	1			1	Deliver	у										1 1				1	1	1	1 1
Substitute Sub	erriacotta Panel \	Wall System																			1				1	1	1	1
Schmid 1760 Schmid to Design Team and Approval 23 24 14-be-21 1-be-21 1-	SUBM1100	Sub-Contractor Submittal to Sundt	15	15 16-Sep-21	06-Oct-21			1 1	- !		1	ndt									1						1 1	1
SubM2010 Pocurement 30 30 22-love-21 29-love-21 30 15-love-21 30	SUBM1420	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21				i	i	1										1						1	1
Strict S	SUBM1760	Submit to Design Team and Approval	21	21 14-Oct-21	11-Nov-21				S	Submit to	Design Tea	m and Ap	pproval								1						1	1
Supplication Supp	SUBM2010	Procurement	30	30 12-Nov-21	29-Dec-21	1				-	Procurer	ment					!		1	1 1	1 1 1			:	!	1	1	1 1 1
Substitution Subs	SUBM2240	Delivery	1	1 30-Dec-21	30-Dec-21						Delivery	У									1						1	1
SUBM1430 Submit to Design Farm 21 21 07 Opt 21 04 Nov 21 04 Nov 21 05 Nov	ingle Ply Roofing	3							!												1						1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Submit to Design Team 2 2 2 0 0 0 0 0 0 0	SUBM1110	Sub-Contractor Submittal to Sundt	10	10 16-Sep-21	29-Sep-21			1 1	!	1		t									1						1	1
SUBM 2020 Procurement 45 45 65-80-21 13-Jan-22 14-Jan-22 14-Ja				-					- !	:	1 :										1						1	1
SUBM228 Delivery 1 1 1 1 1 1 2 2 1 1		Submit to Design Team	21						Sub	bmit to L	1			i						i	: : :						1 1 1	1
Sheet Metal Flashing A Trim Sub-Contractor Submittal to Sundt Submittal Review 5 5 16-Sep-21 22-Sep-21 23-Sep-21 23-Sep-										!		1	t :								1						i !	1
Sub-Contractor Submittal to Sundt Sub-Contractor Submittal to Sundt Sundt Submittal Review Submittal		*	1	1 14-Jan-22	14-Jan-22						Del	livery									1						1	1
Substitute Sundit Submittal Review S S 23-Sep-21 29-Sep-21 29-Sep-21 Submit to Design Team Submit to Design		<u>, *</u>						_ 5	1.0	G 1	1. 6. 1.										1						1	1
Submit to Design Team 21 21 30-Sep-21 28-Oct-21 28-Oct-21 30-Sep-21 28-Oct-21 30-Sep-21 30-Sep				-				1 1	1		1								1		1						1 1	1
Procurement Sub Ago								: -:	i	i	- :										1				1	1	!	1
SuBM2260 Delivery Delivery		-							1	1	-			i							1						1 1	1
Sub-Contractor Submittal to Sundt Submit to Design Team Sub-Contractor Submittal Review Submit to Design Team Sub-Contractor Submittal Review Submit to Design Team Sub-Contractor Submittal to Sundt Submit to Design Team Sub-Contractor Submittal to Sundt Submit to Design Team Sub-Contractor Submittal to Sundt Submit to Design Team Procurement Submit to Design Team Sub-Contractor Submittal to Sundt Submit to Design Team Sub-Contractor Submittal to Sundt Submit to Design Team Sub-Contractor Submittal to Sundt Submittal Review Submit to Design Team Sub-Contractor Submittal to Sundt Submittal Review Submittal Review									i	ì		1							1	1	1				1	1	1	1
SuBM60 Sub-Contractor Submittal to Sundt Sub-Contractor Submittal to Sundt Sub-Contractor Submittal Review Submittal		Delivery	1	1 05-Nov-21	05-Nov-21				DC	Invery									1	1	1					1	1 1	1
SUBM240 Sundt Submittal Review 5 5 07-Oct-21 13-Oct-21 13-Oct-21 11-Nov-21 SUBM420 Submit to Design Team 21 21 14-Oct-21 11-Nov-21 18-Nov-21 19-Nov-21 1		Cirk Contractor Cirk mittel to Circ dt	5	5 20 San 21	06 Oct 21				Sub-Contrac	ector Sub	mittal to Sur	ndt									1						1	1
Submit to Design Team 21 21 14-Oct-21 11-Nov-21								1 7	-	i	1					1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1	i 1 1	1 1 1	1 1 1	1		1	1 1 1	1 1 1	!	1 1 1
SUBM600 Procurement 5 5 12-Nov-21 18-Nov-21 19-Nov-21 19-Nov-2									!	!	:	m	!				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1				: : :	1 1 1	1 1	1 1 1 1
SUBM760 Delivery									i	i	- :	-					!	1		1	1				1	1	1	1
Sub Sub Contractor Submittal to Sundt 5 5 30-Sep-21 06-Oct-21									i	i	1	1		:				1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1				: : :	1 1 1	1	1 1 1
SUBM70 Sub-Contractor Submittal to Sundt 5 5 30-Sep-21 06-Oct-21 SUBM250 Sundt Submittal Review 5 5 07-Oct-21 13-Oct-21 SUBM430 Submit to Design Team 21 21 14-Oct-21 11-Nov-21 SUBM610 Procurement 5 5 12-Nov-21 18-Nov-21 Procurement SUBM770 Delivery 1 1 19-Nov-21 19-Nov-21		Delivery	1	1 19-1100-21	19-1100-21				•					i							1						1 1	1
SUBM250 Sundt Submittal Review 5 5 07-Oct-21 13-Oct-21 SUBM430 Submit to Design Team 21 21 14-Oct-21 11-Nov-21 SUBM610 Procurement 5 5 12-Nov-21 18-Nov-21 SUBM770 Delivery 1 1 19-Nov-21 19-Nov-21		Sub-Contractor Submittal to Sundt	5	5 30-Sen-21	06-Oct-21				Sub-Contrac	ector Sub	mittal to Sun	ndt						1		1 1 1	1	:			:	1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
SUBM430 Submit to Design Team 21 21 14-Oct-21 11-Nov-21 SUBM610 Procurement 5 5 12-Nov-21 18-Nov-21 SUBM770 Delivery 1 1 19-Nov-21 19-Nov-21								: :						:			1	1 1 1	1	1 1 1	1 1 1			1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1	1 1 1	1
SUBM610 Procurement 5 5 12-Nov-21 18-Nov-21 SUBM770 Delivery 1 1 19-Nov-21 19-Nov-21										i	:	m									1						i i	1
SUBM770 Delivery 1 1 19-Nov-21 19-Nov-21											1 - :	1						1			1						1	1 1 1
									!	:	:																i	
DIVISION 08 - OPENINGS		, , , , , , , , , , , , , , , , , , ,	1	1) 1101-21	17 1107-21				•			1	:	:							1				:	1	1	1

ata Date - 2	23-Jul-21 Run Date - 28-Jul-21 at 09:	21			Mexic	an-A	meric	an C	ultu	ıral Cente	r Sche	dule												P	age 5	5 of
D	Activity Name	Orig Dur	Rem Start Dur	Finish	2021	Jul Au		_	Nov		Feb Ma		May	_	2022 Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	2023 Apr M	ay Ju	lun
SUBM1130	Sub-Contractor Submittal to Sundt	15	15 30-Sep-21	20-Oct-21		7.0	g Cop			ntractor Submittal t		. , , ,	iviay	i ouii	Julia	7.09	СОР	000	1107	1 200	Julia	1 100	IVICI	7.01	ay ou	
SUBM1450	Sundt Submittal Review	5	5 21-Oct-21	27-Oct-21			1		Sundt S	Submittal Review						1	1									
SUBM1790	Submit to Design Team	21	21 28-Oct-21	29-Nov-21			1 1 1		<u> </u>	■ Submit to Desig	n Team	1			1 1 1	1 1 1	1 1 1	1 1 1	1 1 1			1	1 1 1	1	 	:
SUBM2040	Procurement	45	45 30-Nov-21	03-Feb-22			1				Procureme	nt			1	1	1	1						1	!	
SUBM2270	Delivery	1	1 04-Feb-22	04-Feb-22			1				Delivery	1			1		1								1	
Steel Frames							1					1			1		1	1							1	
SUBM1140	Sub-Contractor Submittal to Sundt	15	15 30-Sep-21	20-Oct-21			1		Sub-Cont	ntractor Submittal t	o Sundt	1												1		
SUBM1460	Sundt Submittal Review	5	5 21-Oct-21	27-Oct-21			1		Sundt S	Submittal Review		1			1	1	1	1							1	
SUBM1800	Submit to Design Team	21	21 28-Oct-21	29-Nov-21			1			■ Submit to Desig	gn Team					1	1						1			
SUBM2050	Procurement	15	15 30-Nov-21	20-Dec-21			1			Procurem	ent	1			1		1									
SUBM2280	Delivery	1	1 21-Dec-21	21-Dec-21			1			l Delivery						1		1							1	
Flush Wood Doo	ors						1					1					1						1			
SUBM1150	Sub-Contractor Submittal to Sundt	15	15 30-Sep-21	20-Oct-21			1		Sub-Cont	ntractor Submittal t	o Sundt	1			1		1							1	1	
SUBM1470	Sundt Submittal Review	5	5 21-Oct-21	27-Oct-21			1		Sundt S	Submittal Review		1			1		1	1						1	 	
SUBM1810	Submit to Design Team	21	21 28-Oct-21	29-Nov-21			1 1 1	1	-	■ Submit to Desig	n Team	1 1 1		!	1 1 1	!	1 1 1	1 1 1	1			!	1 1 1	: : : :	; ; ; ;	
SUBM2060	Procurement	45	45 30-Nov-21	03-Feb-22			1				Procureme	nt			1	1	1	1						1	!	
SUBM2290	Delivery	1	1 04-Feb-22	04-Feb-22			1				Delivery	1			1		1									
liding Automat	ic Entrance						1					1			1		1 1 1	1							!	
SUBM1160	Sub-Contractor Submittal to Sundt	15	15 28-Oct-21	17-Nov-21			1		<u> </u>	Sub-Contractor Sub	mittal to Sun	lt					1						1			
SUBM1480	Sundt Submittal Review	5	5 18-Nov-21	24-Nov-21			1			Sundt Submittal	Review				1	1	1						1		1	
SUBM1820	Submit to Design Team	21	21 29-Nov-21	29-Dec-21	:		1 1 1	1	1	Submit	to Design Tea	ım			1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1	1 1 1	1				1	!	! ! !	
SUBM2070	Procurement	60	60 30-Dec-21	25-Mar-22			1				! !	Procu	rement		1	1	1	1					1		1	
SUBM2300	Delivery	1	1 28-Mar-22	28-Mar-22			1 1 1	1 1			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Deliv	ery		1 1 1	1	1 1 1	1 1 1	1				1	1	1	
Blazed Aluminu	m Curtain Wall						1								1	1	1						1			
SUBM1170	Sub-Contractor Submittal to Sundt	15	15 28-Oct-21	17-Nov-21			1 1 1		i s	Sub-Contractor Sub	mittal to Sun	lt			1	1	1 1 1	1 1 1	1				1	1	 	
SUBM1490	Sundt Submittal Review	5	5 18-Nov-21	24-Nov-21			1			Sundt Submittal	Review				1	1	1									
SUBM1830	Submit to Design Team	21	21 29-Nov-21	29-Dec-21			1			Submit	to Design Tea	ım				1	1							i !		
SUBM2590	Procurement	60	60 30-Dec-21	25-Mar-22			1					Procu	rement		1		1						1		1	
SUBM2610	Delivery	1	1 28-Mar-22	28-Mar-22			1					Deliv	ery		1		1									
uilder Hardwa	re						1 1 1	1 1	1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1			1	1	1 1 1	1 1 1	1 1 1				1	1	 	
SUBM1180	Sub-Contractor Submittal to Sundt	15	15 30-Sep-21	20-Oct-21			1		Sub-Cont	ntractor Submittal t	o Sundt				1	1	1	1					1		 	
SUBM1500	Sundt Submittal Review	5	5 21-Oct-21	27-Oct-21	:		1 1 1		Sundt S	Submittal Review	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	:	:		1 1 1	1	1 1 1	1 1 1	1 1 1				1	1 1 1	 	
SUBM1840	Submit to Design Team	21	21 28-Oct-21	29-Nov-21			1			☐ Submit to Desig	n Team				1	1	1	1					1		1	
SUBM2600	Procurement	60	60 30-Nov-21	25-Feb-22			1				Proc	urement			1	1	1							1		
SUBM2620	Delivery	2	2 28-Feb-22	01-Mar-22			1				1 De	livery			1		1	1							1	
Blazing							1 1					1					1									
SUBM1190	Sub-Contractor Submittal to Sundt	10	10 28-Oct-21	10-Nov-21			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	: 1	_	b-Contractor Subm	1 1	:			1		1		1				1	1 1 1	1	
SUBM1510	Sundt Submittal Review	5	5 11-Nov-21	17-Nov-21			: : : :	1		Sundt Submittal Re	eview	1	i	i	1		1	1	1				1	1		
SUBM1850	Submit to Design Team	21	21 18-Nov-21	20-Dec-21			1			Submit to	Design Team	1			1		1 1 1							1 1 1	1	
SUBM2550	Procurement	30	30 21-Dec-21	03-Feb-22			: : :				Procureme	nt			1		1	1						1		
SUBM2570	Delivery	2	2 04-Feb-22	07-Feb-22			1				■ Delivery	1			1		1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1						1 1 1	1 1 1	
VISION 09 - F	INISHES						1					1			1		1	1						1	 	
Portland Cemen	nt Plaster						1					1					1							: 	1	
SUBM1200	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21			1 1 1	1	1	tor Submittal to Su	ndt	1 1 1 1		:	1	!	1		1				: : :	1	1 1 1	
SUBM1520	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21			1 1	:	1	mittal Review	, , , , , , , , , , , , , , , , , , ,	: :			1		1	1				1	1	1		
SUBM1860	Submit to Design Team	21	21 14-Oct-21	11-Nov-21			1		1	ıbmit to Design Tea	am						1							1 1 1		
SUBM2080	Procurement	5	5 12-Nov-21	18-Nov-21			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		□ F	Procurement	. ! ! ! ! !	1			1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1							 	 	
SUBM2310	Delivery	1	1 19-Nov-21	19-Nov-21			1 1 1	1	I I	Delivery	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1			1	!	1 1 1	1 1 1	1			:	1	: 	; ; ;	
	Systems		-			1 1	1	1	1	- 1 L	1				1	1	1	1	1		1	1	1	- 1		

oata Date - 2	23-Jul-21 Run Date - 28-Jul-21 at 09	9:21		N	Mexican-American Cultural Center Schedule
ID	Activity Name		Rem Start Dur	Finish	2021 2022 2023 2023 2023 2021 2021 2022 2023 2023
SUBM1530	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	Sundt Submittal Review
SUBM1870	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team
SUBM2090	Procurement	5	5 12-Nov-21	18-Nov-21	□ Procurement
SUBM2320	Delivery	1	1 19-Nov-21	19-Nov-21	↑ Delivery
Tile	·				
SUBM1220	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21	☐ Sub-Contractor Submittal to Sundt
SUBM1540	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	□ Sundt Submittal Review
SUBM1880	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team
SUBM2100	Procurement	45	45 12-Nov-21	20-Jan-22	Procurement
SUBM2330	Delivery	1	1 21-Jan-22	21-Jan-22	μ Delivery.
Suspended Aco	oustical Ceiling		'		
SUBM1230	Sub-Contractor Submittal to Sundt	5	5 22-Nov-21	30-Nov-21	☐ Sub-Contractor Submittal to Sundt
SUBM1550	Sundt Submittal Review	5	5 01-Dec-21	07-Dec-21	□ Sundt Submittal Review
SUBM1890	Submit to Design Team	21	21 08-Dec-21	10-Jan-22	Submit to Design Team
SUBM2110	Procurement	5	5 11-Jan-22	17-Jan-22	□ Procurement
SUBM2340	Delivery	1	1 18-Jan-22	18-Jan-22	Delivery
oft Sound Aco	ustical Ceiling				
SUBM1240	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21	☐ Sub-Contractor Submittal to Sundt
SUBM1560	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	☐ Sundt Submittal Review
SUBM1900	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team
SUBM2120	Procurement	5	5 12-Nov-21	18-Nov-21	□ Procurement
SUBM2350	Delivery	1	1 19-Nov-21	19-Nov-21	Delivery
Vood Athletic F	<u> </u>				
SUBM1250	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21	Sub-Contractor Submittal to Sundt
SUBM1570	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	□ Sundt Submittal Review
SUBM1910	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team Procurement
SUBM2130	Procurement	60	60 12-Nov-21	10-Feb-22	1 Delivery
SUBM2360	Delivery	1	1 11-Feb-22	11-Feb-22	- I Delivery
Resilient Floorin SUBM1260	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21	☐ Sub-Contractor Submittal to Sundt
SUBM1580	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	□ Sundt Submittal Review
SUBM1920	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team
SUBM2140	Procurement	5	5 12-Nov-21	18-Nov-21	□ Procurement
SUBM2370	Delivery	1	1 19-Nov-21	19-Nov-21	Delivery
arpet Tile			- 1.0, 21		
UBM1270	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21	□ Sub-Contractor Submittal to Sundt
UBM1590	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	□ Sundt Submittal Review
UBM1930	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team
UBM2150	Procurement	5	5 12-Nov-21	18-Nov-21	□ Procurement
JBM2380	Delivery	1	1 19-Nov-21	19-Nov-21	[Delivery
inting					
UBM1280	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21	☐ Sub-Contractor Submittal to Sundt
SUBM1600	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21	☐ Sundt Submittal Review
SUBM1940	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Submit to Design Team
SUBM2160	Procurement	5	5 12-Nov-21	18-Nov-21	□ Procurement
UBM2390	Delivery	1	1 19-Nov-21	19-Nov-21	1 Delivery
/ISION 10 - S	SPECIALTIES				
VISION 11 - E	EQUIPMENT				
VISION 12 - F	FURNISHINGS				
VISION 13 - S	SPECIAL CONSTRUCTION				

<u> Data Date</u> -	- 23-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexican-Amer	ican Cultural	Center So	chedu	ule											Page	e 7 of 1
ity ID	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 Jul Aug Se	p Oct Nov Dec	c Jan Feb	Mar	Apr I	May Ju	2022 un Jul	Aug	Sep	Oct	Nov [Dec J	an Fet) Mar	2023 Apr	May	Jun
DIVISION 14 -	CONVEYING EQUIPMENT				July 7 aug 30	p	5 0011 1 05	i ividi	7 491	inay of		, ag	СОР	001	1101	500 0	101	i wa	7,40	May	- Con
Hydraulic Elev	vator																			1	
SUBM1030	Submit & Approve Elevator Equipment	25	25 27-Sep-21	29-Oct-21		Submit & Ap	prove Elevator Eq	ï			1				1			1		!	
SUBM2520	Procure Elevator Equipment	60	60 01-Nov-21	28-Jan-22			Procu	re Elevato	r Equipmen	ıt											
DIVISION 21 -	FIRE SUPPRESSION										1										
DIVISION 22 -											1			1						; ; ;	
DIVISION 23 -							1				1									1	
	INTEGRATED AUTOMATION						1	1			i ! !		i ! !	1						i 1 1	
DIVISION 26 -		10	10 20 5 21	12.0 . 21		Submit & Approv	rol of Floatripol/Liv	alit Eisetura	, i												
SUBM1020	Submit & Approval of Electrical/Light Fixtures	10	10 30-Sep-21	13-Oct-21		Submit & Approv	Procure Light	- !	1									1		1	
SUBM2510	Procure Light Fixtures & Electrical Equipment	50	50 14-Oct-21	28-Dec-21			Procure Light	rixtules &	Electricari	Equipmen											
	COMMUNICATIONS	20	20 20 5 21	27.0 + 21		Submit & An	prove Low Voltage	& Digital	Integration		1							1		!	
SUBM1340	Submit & Approve Low Voltage & Digital Integration		20 30-Sep-21	27-Oct-21		Submit & Ap	-	; -	& Speciali	i	ment										
SUBM2530	Procure Low Voltage & Specialized Equipment • ELECTRONIC SAFETY / SECURITY	50	50 28-Oct-21	12-Jan-22			Tiocare L	ow voltage	Specian	zea Equip	i							1			
Fire Alarm	ELECTRONIC SAFETY / SECURITY										1										
SUBM1290	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21		☐ Sub-Contractor Sub	mittal to Sundt													1	
SUBM1290 SUBM1610	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21		☐ Sundt Submittal F		1			1										
SUBM1950	Submit to Design Team	21	21 14-Oct-21	11-Nov-21		i i i i	Design Team														
SUBM2170	Procurement	30	30 12-Nov-21	29-Dec-21			Procurement				1										
SUBM2400	Delivery	1	1 30-Dec-21	30-Dec-21			Delivery	1			1									!	
	- EARTHWORK	1	30 Bec 21	30 BCC 21							1			1						; ; ;	
	EXTERIOR IMPROVEMENTS										1									1	
Asphaltic Cond							1				1							1		!	
SUBM170	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21		☐ Sub-Contractor Sub	mittal to Sundt														
SUBM350	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21		☐ Sundt Submittal F	Review	1			1							1		1	
SUBM530	Submit to Design Team	21	21 14-Oct-21	11-Nov-21		Submit to	o Design Team				1										
SUBM710	Procurement	5	5 12-Nov-21	18-Nov-21		☐ Procure	ement	1										1			
SUBM870	Delivery	1	1 19-Nov-21	19-Nov-21		I Deliver	ry														
Concrete Pavi	ing							1			1										
SUBM180	Sub-Contractor Submittal to Sundt	5	5 10-Feb-22	16-Feb-22				Sub-Contr	actor Submi	ittal to Sur	ndt									;	
SUBM360	Sundt Submittal Review	5	5 17-Feb-22	24-Feb-22				Sundt S	ubmittal Re	view	1							1			
SUBM540	Submit to Design Team	21	21 25-Feb-22	25-Mar-22			1		Submit to I	Design Tea	ım		į	į							
SUBM720	Procurement	5	5 28-Mar-22	01-Apr-22					Procurem	ent											
SUBM880	Delivery	1	1 04-Apr-22	04-Apr-22				1	Delivery	,	1		i !	1						; ; ;	
Unit Paving													!		:			1		 	
SUBM190	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21		☐ Sub-Contractor Sub	:				1										
SUBM370	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21		☐ Sundt Submittal F					1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1										
SUBM550	Submit to Design Team	21	21 14-Oct-21	11-Nov-21		Submit to	-				1										
SUBM730	Procurement	5	5 12-Nov-21	18-Nov-21		□ Procure					1 1 1										
SUBM890	Delivery	1	1 19-Nov-21	19-Nov-21		▮ Deliver	ry														
Aggregate Pav						D Cal Carter to C 1	mittalt - C. 14				1 1 1									! !	
SUBM200	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21		Sub-Contractor Sub	1				1		į								
SUBM380	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21		□ Sundt Submittal F	:				1 1 1										
SUBM560	Submit to Design Team	21	21 14-Oct-21	11-Nov-21		Submit to	- :	1			1 1 1									; ; ;	
SUBM740	Procurement	5	5 12-Nov-21	18-Nov-21		☐ Procure		1			1		!	1				1		 	
SUBM900	Delivery	1	1 19-Nov-21	19-Nov-21		Deliver	ıy	1			! !		!	1			!	1		! ! !	
Planting Irrigat			5 20 G 21	06.0.101		Sub-Contractor Sub	mittal to Sundt	! ! !			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		1	1				1		! ! !	
SUBM1320	Sub-Contractor Submittal to Sundt Sundt Submittal Review	5	5 30-Sep-21 5 07-Oct-21	06-Oct-21 13-Oct-21		Sundt Submittal F					i 1			:							

	· 23-Jul-21 Run Date - 28-Jul-21 at 09:	21			Mexicar	n-Ame	erica	n Cul	<u>ltur</u>	al Center S	sched	ule													Pag	e 8
)	Activity Name	Orig Dur	Rem Start Dur	Finish	2021	1 1	0	011	а. Т	D. 1. T.		T T	T		22	• 1	0 T	0.1		D	1 1	e., T.		2023		
SUBM1980	Submit to Design Team	21	21 14-Oct-21	11-Nov-21	Jul	Aug	Sep			Dec Jan Fe	eb Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun
SUBM2200	Procurement	5	5 12-Nov-21	18-Nov-21					□ Pro	ocurement	: : :													1		1 1 1
SUBM2430	Delivery	1	1 19-Nov-21	19-Nov-21					- 1	elivery	1										1	1		1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Furf and Grass	•	-	1 19 1.0, 21	13 110, 21							1				1	: : :		: : :				1	1	1		1 1 1 1
SUBM1310	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21			:	Sub-Con	itracto	r Submittal to Sundt	1				1	1		1						1		1
SUBM1630	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21			l	■ Sundt S	Submi	ttal Review	i : :				1	; ; ;		; ; ;						1		: : :
SUBM1970	Submit to Design Team	21	21 14-Oct-21	11-Nov-21					Subr	nit to Design Team					1									1		1
SUBM2190	Procurement	5	5 12-Nov-21	18-Nov-21				ī	□ Pro	ocurement	1					; ; ;		; ; ;						i ! !		; ! !
SUBM2420	Delivery	1	1 19-Nov-21	19-Nov-21					ı De	elivery					1	1		1						1		
Planting											:				1	! !	1	! !					1	1		
SUBM1300	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21			þ	Sub-Con	itracto	r Submittal to Sundt	!		:		1	1		1					:	1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
SUBM1620	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21			I	■ Sundt S	Submi	ttal Review	1					; ; ;		; ; ;						1 1 1		i 1 1
SUBM1960	Submit to Design Team	21	21 14-Oct-21	11-Nov-21			!		Subr	nit to Design Team	1				1	! ! !	!	! ! !			1	!	!	1 1 1 1		
SUBM2180	Procurement	5	5 12-Nov-21	18-Nov-21					□ Pro	ocurement	i i i					! !	!	! !				!	!	! ! !		1 1 1 1
SUBM2410	Delivery	1	1 19-Nov-21	19-Nov-21				! ! !	ı De	elivery	1				 	! ! !	!	! ! !			1	!	!	1 1 1 1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
IVISION 33 -	UTILITIES								i !		i ! !				1	; ; ;		; ; ;						1		1
Storm Drainag	ge								1						1	1 1 1		1						1 1 1		
SUBM1330	Sub-Contractor Submittal to Sundt	5	5 30-Sep-21	06-Oct-21				Sub-Con	itracto	r Submittal to Sundt	1				1	i 1 1	1	i 1 1						1 1 1		
SUBM1650	Sundt Submittal Review	5	5 07-Oct-21	13-Oct-21			I	_	1	ttal Review					1	1 1 1		1 1 1			:		1	1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
SUBM1990	Submit to Design Team	21	21 14-Oct-21	11-Nov-21					- 1	nit to Design Team	i i i				 	i 1 1	1	i 1 1			1	1		1 1 1		i i i
SUBM2210	Procurement	5	5 12-Nov-21	18-Nov-21				ι	_ ;	ocurement					1	1		1						1		1
SUBM2440	Delivery	1	1 19-Nov-21	19-Nov-21					Į D∈	elivery	i : :					; ;		; ;						i ! !		
IVISION 43 - IVISION 44 - IVISION 45 -	PROCESS HEATING / COOLING / DRYING PROCESS GAS / LIQUID HANDLING / PUR POLLUTION / WASTE CONTROL EQUIPMENT MANUFACTURING EQUIPMENT WATER / WASTEWATER EQUIPMENT	RIFICATION /																								
	ELECTRICAL POWER GENERATION						1	!	1	1	: : :		:		1	! ! !		! ! !			:			1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
ORK PAC				_			1		1		1		:		1	1 1 1	1	: : :			1	1	1	1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	SURANCE										1													1 1 1		
	ion Meetings						1	 			:		:		1	 	1	! ! !					1	1		1 1 1
REINSTALL21		1	1 19-Nov-21	19-Nov-21			1	:	ı Ca	ast In Place Concrete	: : :					1	1	1			1	1	:	! ! !		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
REINSTALL21		1	1 29-Mar-22	29-Mar-22			1	1			: : :	I Aluminu	ım Store	Fronts	1	: : :	1	: : :			1	1 1 1	1 1 1	1		
REINSTALL91		1	1 05-Jul-22	05-Jul-22				!	1 1 1		1				ı Quarr	Floor T	le				1		1	1 1 1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
REINSTALL91	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	1 02-Aug-22	02-Aug-22			1	! ! !	1 1 1		; ; ;		:				ervice Ec	uipmen	t				1	1		
REINSTALL51	* *	1	1 24-Aug-22	24-Aug-22							1					1	Ceramic							1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
KENSTALL		1	1 06-Sep-22	06-Sep-22					1		: : :				 	i	Lighti	i	rols					1		! !
		1	1 15-Sep-22	15-Sep-22					1 1	1	!						- 1	pet Tile						1 1 1		1
REINSTALL11	Carnet Tile	1	1 27-Oct-22	27-Oct-22			1	1	1		1				1	 	- 1	i		In-Place	Insulation	1	1	1 1 1 1		1
REINSTALL11 REINSTALL1	•	1							1		1				1	; ; ;		- ! ! !			l Flashing	i		1		
REINSTALL11 REINSTALL1 REINSTALL41	Foamed In-Place Insulation	1	1 15-Nov-22	15-Nov-22					1		1	: :	:				1	1			·					i
REINSTALL11 REINSTALL1 REINSTALL41 REINSTALL51	Foamed In-Place Insulation Sheet Metal Flashing and Trim	-	1 15-Nov-22	15-Nov-22 16-Nov-22			1		1		:				!	i	1	1	ı M	onolithic	Membran	ne	1 1 1	1		1
REINSTALL11 REINSTALL1 REINSTALL41 REINSTALL51 REINSTALL31	Foamed In-Place Insulation Sheet Metal Flashing and Trim	1		15-Nov-22 16-Nov-22			1	1	1 1 1 1 1		1				! ! ! ! !	, , ,	; ; ; ;	1	į M	onolithic	Membran	ne	1	1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
REINSTALL11 REINSTALL1 REINSTALL41 REINSTALL51 REINSTALL31 ock-Ups	Foamed In-Place Insulation Sheet Metal Flashing and Trim Monolithic Membrane	1	1 15-Nov-22 1 16-Nov-22	16-Nov-22								n	Terracot	tta Pane	System				j M	onolithic	Membran	ne				
REINSTALL11 REINSTALL1 REINSTALL41 REINSTALL51 REINSTALL31	Foamed In-Place Insulation Sheet Metal Flashing and Trim	1	1 15-Nov-22									0	1		System	ng			Į M	onolithic	Membran	ne				

)ata Date - 23-J	Jul-21 Run Date - 28-Jul-21 at 09:21				lexican-American Cultural Cente	r Sched	ule									Pa	age 9
ID	Activity Name	Orig Dur	Rem Start Dur	Finish	2021	I E. I. M.	T T		2022		0	0.1	N. D.	I to I for		2023	y T ,
MOCKUPS71	Planting	2	2 01-Nov-22	02-Nov-22	Jul Aug Sep Oct Nov Dec Jan	Feb Mar	Apr May	Jun	Jul	Aug	Sep		Nov Dec Planting	Jan Feb	Mar	Apr May	4
	Portland Cement Plaster	2	2 23-Nov-22	28-Nov-22							1		Portla	and Cement Plast	er	 	1
	Stone Flooring	2	2 28-Nov-22	29-Nov-22	-								Ston	e Flooring			
	Unit Paving	2	2 28-Nov-22	29-Nov-22									Unit	- ;			
ONSTRUCTION			2 20 1107 22	27 1107 22												1	
											1	1	1			 	1
L PASO MAIN	LIBARY												1			!	
IEW ENTRANCE											1					1	
DEMOLITION					Mala Safa						1 1 1		1				
LIBENTRHY10		3	3 30-Sep-21	04-Oct-21	☐ Make Safe						1	1	1			1	
	Demo as Per Site Plan Demo	15	15 05-Oct-21	25-Oct-21	Demo as Per Site Plan De	mo											
STRUCTURAL		, ,															
	F/R/P Spot Footings	5	5 19-Nov-21	29-Nov-21	F/R/P Spot Foo	tings			1		1	1	1			1	1
LIBENTRHY40	UG MEP	5	5 30-Nov-21	06-Dec-21	□ UG MEP				1			1	:	1		 	1
LIBENTRHY50	F/R/P SOG	5	5 07-Dec-21	13-Dec-21	□ F/R/P SOG	1 1					1			1		1	1
LIBENTRHY60	SOG Cure	7	7 14-Dec-21	20-Dec-21	□ SOG Cur	e i						1	:			 	
LIBENTRHY70	Erect Columns	1	1 22-Mar-22	22-Mar-22	7: :	1	Erect Columns	1	1				1			: ! !	
LIBENTRHY80	Erect Beams	2	2 23-Mar-22	24-Mar-22	7: :		Erect Beams		1			1	:	1		 	1
LIBENTRHY90	Install Metal Decking	3	3 25-Mar-22	29-Mar-22			Install Metal	Decking					1				
LIBENTRHY100	Install New Roof	10	10 30-Mar-22	12-Apr-22			Install Ne	w Roof									
LIBENTRHY110	Install Curtain Wall System	15	15 13-Apr-22	03-May-22			Inst	all Curtai	n Wall Sys	tem	1					1	į
BUILDOUT	·		•								1		1			 	1
LIBENTRHY120	Overhead MEP&F	10	10 04-May-22	17-May-22	-			Overhead	MEP&F				1			1	
LIBENTRHY130		3	3 18-May-22	20-May-22				Frame I	lardlids								
	Overhead Inspection	1	1 23-May-22	23-May-22				Overhe	ad Inspect	ion	1						
	Drywall, Tape and Texture	7	7 24-May-22	02-Jun-22			1.	1	1	and Textur	e		1			 	1
LIBENTRHY160	<u> </u>	3	3 03-Jun-22	07-Jun-22				1	nt Hardlid	:	1		1			1	
LIBENTRHY170		7	7 08-Jun-22	16-Jun-22	-			1	MEP&F T	į į			1			!	
LIBENTRHY180		1	4 17-Jun-22	22-Jun-22				: —	Install Ha	: :	1						
LIBENTRHY190		7						i	Seal Co	i i	1						1
		2	2 23-Jun-22	24-Jun-22	_			1	:	Walk Off N	Mat .		1			1	
	Install Walk Off Mat	2	2 27-Jun-22	28-Jun-22					-	t Deficier	- 1						
	Sundt Deficiency List	/	7 29-Jun-22	08-Jul-22					i	ner/Arch I	1	.4					
	Owner/Arch Punch List	3	3 11-Jul-22	13-Jul-22					:	:	;	1	1			i i i	1
	Complete Punch List	7	7 14-Jul-22	22-Jul-22					"	Complete l	runch Lis	SL	1			1	
SUB-BASEMENT					WI G C FI I A FI . I												
	Make Safe Electrical & Plumbing	5	5 30-Sep-21	06-Oct-21	Make Safe Electrical & Plumb	1 -			1							: ! !	i ! !
	Demo Per Mechanical & Plumbing	7	7 30-Sep-21	08-Oct-21	Demo Per Mechanical & Plum						!	1		1 1 1		1 1 1	1
	Remove (Reuse) Electrical Devices & Low Voltage	5	5 04-Oct-21	08-Oct-21	Remove (Reuse) Electrical De	1	nage		1		1	1				!	1
	Demo Electrical Conduit & Wire	7	7 07-Oct-21	15-Oct-21	☐ Demo Electrical Conduit &	wire			1							; ; ;	i ! !
	Demo Per Architectural	10	10 11-Oct-21	22-Oct-21	Demo Per Architectural	/g g ==	GI.					1	:	1 1 1		1 1 1	1 1 1
SUBBASE60	Structural Demo/ Columns/Saw Cut (Temp Shore)	7	7 18-Oct-21	26-Oct-21	Structural Demo/ Column						!	1		1 1 1		1 1 1	1
SUBBASE70	Install Footing @ Stair & N. Office wall (G-15)	7	7 06-Dec-21	14-Dec-21	☐ Install Foot	1 7		15)	1			1	:	1		1 1 1	
SUBBASE80	Footing Cure w/High Early	20	20 15-Dec-21	03-Jan-22		ng Cure w/High	1 1		1							! ! !	
SUBBASE90	Layout & Frame Walls (Hold Back for S. Steel)	8	8 22-Dec-21	05-Jan-22		ut & Frame Wall	1	r S. Steel)	1 1 1		: ! !					; ; ;	1
SUBBASE100	Install S. Steel Columns and Stair	10	10 04-Jan-22	17-Jan-22		nstall S. Steel Co	lumns and Stair		1		1	1	:	1		1 1 1	!
SUBBASE120	MEP & F Overhead & Wall Rough-in	15	15 13-Jan-22	02-Feb-22	7 -	■ MEP&F Ove	erhe ad & Wall R	ough-in			! ! !	1	1	1 1 1	1 1	1 1 1	
SUBBASE110	In-fill Patch Framing & MEP Rough @ S. Steel	4	4 09-May-22	12-May-22	7		_ I	n-fill Patc	h Framing	& MEPR	ough @	S. Steel					
	MEP & F Inspections	3	3 13-May-22	17-May-22	7			MEP&F	Inspectio	ns		1		1		1	
	One Side Drywall	6	6 18-May-22	25-May-22	1: :			One Si	de Drywal	İ		: : :	1	1		 	1
	In-Wall Inspection	2	2 26-May-22	27-May-22				□ In-Wa	l Inspectio	m	1						

Data Date - 23	3-Jul-21 Run Date - 28-Jul-21 at 09:21				Mex	xican	n-Am	erica	n Cult	ural	Cente	r Sc	hedu	le						Page 10) of 1
ity ID	Activity Name	Orig Dur	Rem Start Dur	Finish	20	021 Jul	Aug	Sep	Oct No	ov De	ec Jan	Feb	Mar	Apr N	Лау	Jun	Jul Aug Sep Oct	Nov	Dec Jan Feb Mar	2023 Apr May Ju	un
SUBBASE160	Insulate & 2nd Side Drywall	7	7 31-May-22	08-Jun-22													ate & 2nd Side Drywall				
SUBBASE170	Frame Hard Lids	7	7 09-Jun-22	17-Jun-22												☐ Fr	ame Hard Lids				
SUBBASE180	Rough-in MEP & F @ Hard Lids	15	15 20-Jun-22	11-Jul-22				!	1	! ! !				1	:		Rough-in MEP & F @ Hard	Lids			
SUBBASE190	Drywall Hard Lids Ceilings	7	7 12-Jul-22	20-Jul-22													Drywall Hard Lids Ceiling	gs			
SUBBASE200	Tape & Texture (Walls & Ceilings)	15	15 21-Jul-22	10-Aug-22													Tape & Texture (Wa	alls & Cei	lings)		
SUBBASE210	Install Alum Frames & Windows	10	10 11-Aug-22	24-Aug-22				1	!	1 1 1				1		1	Install Alum Fra	mes & W	indows		
SUBBASE220	Paint & Caulk	10	10 25-Aug-22	08-Sep-22				1									Paint & Ca	ulk			
SUBBASE230	Install Ceramic Tile @ Restroom	8	8 09-Sep-22	20-Sep-22					1								☐ Install C	eramic T	ile @ Restroom		
SUBBASE240	MEP & F Trim & Finishes	10	10 21-Sep-22	04-Oct-22				1						1			☐ ME	P&FTri	m & Finishes		
SUBBASE250	Install Door and Hardware & Partitions	7	7 21-Sep-22	29-Sep-22													☐ Instal	l Door and	d Hardware & Partitions		
SUBBASE260	Install Flooring & Base	10	10 30-Sep-22	13-Oct-22													☐ Ir	stall Floo	ring & Base		
SUBBASE270	Sundt Deficiency List	7	7 05-Oct-22	13-Oct-22				1 1 1	!	1 1 1				1		1	□ S	undt Defi	ciency List		
SUBBASE280	Owner/Arch Punch List	3	3 14-Oct-22	18-Oct-22				1										Owner/A	rch Punch List		
SUBBASE290	Complete Punch List	7	7 19-Oct-22	27-Oct-22														i	ete Punch List		
BASEMENT	Complete I alien Elst	/	7 17 300 22	27 Oct 22										1							
BASMNT10	Make Safe Electrical & Plumbing	5	5 30-Sep-21	06-Oct-21				Ė	Make Saf	e Electric	cal & Plumbi	ing		1							
BASMNT20	Remove (Reuse) Electrical Devices & Low Voltage	5	5 04-Oct-21	08-Oct-21				1		1	Electrical Dev	1 7	Low Voltas	e :							
BASMNT30	Demo Electrical Conduit & Wire	7	7 06-Oct-21	14-Oct-21				:			Conduit &	1 1		- ;							
BASMNT40	Demo Per Mechanical & Plumbing	7	7 08-Oct-21	18-Oct-21				1	_		hanical & Plu	1		1	-	1		1			
BASMNT50	Demo Per Architectural	10	10 13-Oct-21	26-Oct-21				1	Dem	1											
		10								1	Demo/ Colur	mne/Saw	Cut (Tem	n Shore)							
BASMNT60	Structural Demo/ Columns/Saw Cut (Temp Shore)	1.5	7 27-Oct-21	04-Nov-21				1	51	iructurari		1 1	! !	Columns a	nd Stair	r		1			
BASMNT90	Install S. Steel Columns and Stair	15	15 18-Jan-22	07-Feb-22 11-Feb-22				1	1			1 1	!!!	Framing &		1	n S. Stee'l	1			
	In-fill Patch Framing & MEP Rough @ S. Steel	4	4 08-Feb-22											7	- 1		Frame Walls (Hold Back for S. Sto	-el)			
BASMNT70	Layout & Frame Walls (Hold Back for S. Steel)	8	8 09-May-22	18-May-22					1								P&F Overhead & Wall Rough-in	1			
BASMNT100	MEP & F Overhead & Wall Rough-in	15	15 19-May-22	09-Jun-22				1						1		- :	EP & F Inspections				
BASMNT110	MEP & F Inspections	3	3 10-Jun-22	14-Jun-22												- ;	One Side Drywall				
BASMNT120	One Side Drywall	6	6 15-Jun-22	22-Jun-22				!		[] [:			In-Wall Inspection	1			
BASMNT130	In-Wall Inspection	2	2 23-Jun-22	24-Jun-22					1							- 1	☐ Insulate & 2nd Side Drywall				
BASMNT140	Insulate & 2nd Side Drywall	/	7 27-Jun-22	06-Jul-22												-	Frame Hard Lids & Acoust	ionl Grid			
BASMNT150	Frame Hard Lids & Acoustical Grid	7	7 07-Jul-22	15-Jul-22				!		 				1		1		1			
BASMNT160	Rough-in MEP & F @ Hard Lids	15	15 18-Jul-22	05-Aug-22					1								Rough-in MEP & F @				
BASMNT190	Install Alum Frames & Windows	10	10 25-Jul-22	05-Aug-22													Install Alum Frames &				
BASMNT170	Drywall Hard Lids Ceilings	7	7 08-Aug-22	16-Aug-22					1								☐ Drywall Hard Lids	-			
BASMNT180	Tape & Texture (Walls & Ceilings)	15	15 17-Aug-22	07-Sep-22				1		 		1 1		1		1	Tape & Tex	1			
BASMNT240	Fire Caulk/Inspection and Drop Ceiling Tiles	5	5 08-Sep-22	14-Sep-22														1 -	ion and Drop Ceiling Tiles		
BASMNT200	Paint & Caulk	10	10 15-Sep-22	28-Sep-22													Paint				
BASMNT230	Install Door and Hardware & Partitions	7	7 21-Sep-22	29-Sep-22				1	1					:			1 1 1	1	d Hardware & Partitions		
BASMNT250	Install Flooring & Base	10	10 29-Sep-22	12-Oct-22										1					ring & Base		
BASMNT210	Install Millwork & Ceramic Tile	10	10 13-Oct-22	26-Oct-22														- :	Millwork & Ceramic Tile		
BASMNT220	MEP & F Trim & Finishes	10	10 27-Oct-22	09-Nov-22															EP & F Trim & Finishes		
BASMNT260	Sundt Deficiency List	7	7 01-Nov-22	09-Nov-22				1	1 1	1 1 1				:				i	ndt Deficiency List		
BASMNT270	Owner/Arch Punch List	3	3 10-Nov-22	14-Nov-22										1		1			Owner/Arch Punch List		
BASMNT280	Complete Punch List	7	7 15-Nov-22	23-Nov-22					1										Complete Punch List		
FIRST FLOOR (Ground Level)							1	1	1 1 1				:				1 1 1			1
FFLIB10	Make Safe Electrical & Plumbing	5	5 30-Sep-21	06-Oct-21				Ė	Make Safe	e Electric	cal & Plumbi	ing		:	:	1					
FFLIB20	Remove (Reuse) Electrical Devices & Low Voltage	5	5 07-Oct-21	13-Oct-21				1	□ Remove	(Reuse)	Electrical D	evices &	Low Volta	age		1		1			
FFLIB30	Demo Electrical Conduit & Wire	7	7 07-Oct-21	15-Oct-21				1	□ Demo E	Electrical	Conduit &	Wire		1							
FFLIB40	Demo Per Mechanical & Plumbing	7	7 11-Oct-21	19-Oct-21					Demo	Per Mecl	hanical & Pl	umbing		:				1 1 1			
FFLIB50	Demo Per Architectural	10	10 27-Oct-21	09-Nov-21				1 1 1	I	Demo Pei	r Architectur	ral		:	:	1					
FFLIB60	Structural Demo/ Columns/Saw Cut (Temp Shore)	7	7 03-Nov-21	11-Nov-21				:		Structura	al Demo/ Col	lumns/Sa	w Cut (Te	mp Shore)	:	:					:

<u>Data Date</u> -	- 23-Jul-21 Run Date - 28-Jul-21 at 09:21				Me	xicar	n-Am	erica	n Cu	ltura	al Cen	ter S	Sche	dule												F	age	11 of
ivity ID	Activity Name	Orig Dur	Rem Start Dur	Finish	2	021 Jul	Aug	Sep	Oct	Nov	Dec Ja	ı F	eb Ma	ar Ap	or Ma	ay Jur	2022 n	22 Jul Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	2023 Apr	May	Jun
FFLIB70	Install Footings w/ SOG @ Vestibule	12	12 12-Nov-21	01-Dec-21							Install Footi					-						-					-	
FFLIB80	Footing/SOG Cure Time w/High Early	10	10 02-Dec-21	11-Dec-21							☐ Footing/S	SOG Cu	re Time v	w/High Ea	arly				1		1						; ;	
FFLIB100	Install S. Steel w/ Deck & Stair	15	15 13-Dec-21	05-Jan-22			! ! ! !	1	1	1 1 1	In	stall S.	Steel w/ I	Deck & S	tair				1 1 1		1 1 1				1		1 1 1	1
FFLIB110	Install Exterior Curtian Wall w/ Glass (complete)	10	10 06-Jan-22	19-Jan-22			! ! ! !	1		1 1 1		Instal	l Exterior	· Curtian '	Wa∦w/ (Glass (cor	mplet	te)	1 1 1		1 1 1	-					1 1 1	!
FFLIB90	Layout & Frame Walls	8	8 09-May-22	18-May-22				1					1			Layout	& Fr	rame Walls	1		1						1	
FFLIB120	MEP & F Overhead & Wall Rough-in	15	15 19-May-22	09-Jun-22			i i	1		1			1				MEP	& F Overhead &	Wall Rou	ugh-in	1						i 1 1	
FFLIB130	MEP & F Inspections	3	3 10-Jun-22	14-Jun-22				1					1				MEF	P&F Inspections	3		1						1	
FFLIB140	One Side Drywall	6	6 15-Jun-22	22-Jun-22				1					!				Or	ne Side Drywall	1		1							
FFLIB150	In-Wall Inspection	2	2 23-Jun-22	24-Jun-22			1 1 1 1 1 1	1		1 1 1		!	! ! !				I In	n-Wall Inspection	1 1 1		1 1 1				1	1 1	1 1 1	1
FFLIB160	Insulate & 2nd Side Drywall	7	7 27-Jun-22	06-Jul-22		1							1	:				Insulate & 2nd	Side Dry	ywall	1						1	
FFLIB170	Frame Hard Lids & Acoustical Grid	7	7 18-Jul-22	26-Jul-22														Frame Ha	ard Lids	& Acous	stical Gr	id						
FFLIB180	Rough-in MEP & F @ Hard Lids	15	15 27-Jul-22	16-Aug-22			i i	1		1			1					Ro	ugh-in M	EP&F	(a) Hard	Lids					i ! !	
FFLIB190	Drywall Hard Lids Ceilings	7	7 17-Aug-22	25-Aug-22				1					1					1 1	Drywall I		-	1					1	
FFLIB200	Tape & Texture (Walls & Ceilings)	15	15 26-Aug-22	16-Sep-22														i i	- i		i	T	Ceilings)					
FFLIB210	Install Interior Alum Frames & Windows	10	10 19-Sep-22	30-Sep-22				1		1			1								1	1	rames &	Windows	3		i !	
FFLIB220	Paint & Caulk	10	10 03-Oct-22	14-Oct-22			: : : : : : : : : : : : : : : : : : :	1		1 1 1			1 1 1				1				int & Ca	1					1 1 1	
FFLIB230	Install Millwork & Ceramic Tile	10	10 03-Oct-22	28-Oct-22			: : : : : : : : : : : : : : : : : : :	1					1						1		1	1	rk & Cera	amic Tile	2		1	
FFLIB230 FFLIB240	MEP & F Trim & Finishes	10	10 17-Oct-22 10 31-Oct-22	11-Nov-22															1		1	1	Trim & F	1				
FFLIB250	Install Doors, Hardware, Partitions & Glass Rail		15 07-Nov-22	29-Nov-22				1		1 1 1			1						1 1 1		i	1		i	e Partitio	ons & Glass	Rail	
	<u> </u>	15						1					1						1		1	1		1	1	op Ceiling T	1	
FFLIB260	Fire Caulk/Inspection and Drop Ceiling Tiles	5	5 30-Nov-22	06-Dec-22			: : : : : : : : : : : : : : : : : : :	1					1						1		1	1	Install F	-		op cening i	iic s	
FFLIB270	Install Flooring & Base	10	10 07-Dec-22	20-Dec-22															1		1	1	Sundt D					
FFLIB280	Sundt Deficiency List	7	7 12-Dec-22	20-Dec-22				1	-	1		!	1				1		1 1 1		1 1 1	1			unch List		1	1
FFLIB290	Owner/Arch Punch List	3	3 21-Dec-22	27-Dec-22									1						1		1						1	
FFLIB300	Complete Punch List	7	7 28-Dec-22	06-Jan-23			1 1			1			1						1		1			mpiete P	Punch List			
ARCHIVE ROC								1		1		D	1						1		1 1 1						i !	
ARCHRM10	Erect Beams	1	1 06-Jan-22	06-Jan-22		1					•	rect Be		1.					1		1						1	
ARCHRM20	Install Metal Decking	3	3 07-Jan-22	11-Jan-22							-	1	Aetal Dec	cking							1							
ARCHRM30	F/R/P Deck	5	5 12-Jan-22	18-Jan-22							_	F/R/P							1		1						1	
ARCHRM40	Overhead MEP&F	5	5 19-Jan-22	25-Jan-22				1	-	1 1 1		Ove	rhead M	EP&F			1		1		1 1 1	1			1		1	1
SECOND FLO	OOR W/ Plan B					1							1						1		1						1	
2NDFLIB10	Make Safe Electrical & Plumbing	5	5 07-Oct-21	13-Oct-21				1	1	1	lectrical & P	1 7	1						1		1							
2NDFLIB20	Remove Electrical Devices & Low Voltage	5	5 11-Oct-21	15-Oct-21							ctrical Devic	1		e					1		1						i !	
2NDFLIB30	Demo Electrical Conduit & Wire	7	7 13-Oct-21	21-Oct-21			1 1 1 1 1 1	1	□ De	mo Elec	trical Condu	it & W	ire						1 1 1		1 1 1	-			1		1 1 1	1
2NDFLIB40	Demo Per Mechanical & Plumbing	7	7 15-Oct-21	25-Oct-21					D	emo Per	Mechanical	& Plum	bing						1		1 1 1						1	
2NDFLIB50	Demo Per Architectural	10	10 27-Oct-21	09-Nov-21				1	Ė	Demo	Per Archite	ctural							:		1							
2NDFLIB60	Structural Demo/ Columns/Saw Cut (Temp Shore)	7	7 03-Nov-21	11-Nov-21		:		1		■ Struc	tural Demo/	Column	s/Saw Cu	ıt (Temp	Shore)		1		1		1 1 1				1		1	!
2NDFLIB90	Install S. Steel Columns and Stair	15	15 06-Jan-22	26-Jan-22								Inst	all S. Ste	el Columi	ns and S	tair			1		1						1	
2NDFLIB120	In-fill Patch Framing & MEP Rough @ S. Steel	4	4 27-Jan-22	01-Feb-22								□ In	-fill Patc	h Framing	g & MEl	PRough (@ S. S	Stee1	1		1							
2NDFLIB70	Layout & Frame Walls (Hold Back for S. Steel)	8	8 19-May-22	31-May-22			i i	1		i 1 1		1	1			Lay	yout &	& Frame Walls (H	Iold Back	for S. S	Steel)						i : :	
2NDFLIB80	MEP & F Overhead & Wall Rough-in	15	15 01-Jun-22	21-Jun-22			1 1 1 1	1		1 1			! ! !				□ Ml	EP & F Overhead	l & Wall	Rough-i	'n	-					1	:
2NDFLIB100	MEP & F Inspections	3	3 22-Jun-22	24-Jun-22			! ! ! !	:					1				■ M	ИЕР&F Inspecti	ons		1						1	
2NDFLIB110	One Side Drywall	6	6 27-Jun-22	05-Jul-22				1									Ė	One Side Dryw	all		1							
2NDFLIB130	In-Wall Inspection	2	2 06-Jul-22	07-Jul-22					:	: ! !		1	1	1				In-Wall Inspect	tion		1 1 1	:			1	1 1		
2NDFLIB140	Insulate & 2nd Side Drywall	7	7 08-Jul-22	18-Jul-22						1								Insulate & 2	2nd Side	Drywall	1					1 1	1	
2NDFLIB150	Frame Hard Lids & Acoustical Grid	7	7 27-Jul-22	04-Aug-22				1	1	1		1	1 1 1 1	:				Frame	Hard Li	ds & Ac	oustical	Grid				1 1	1	1
2NDFLIB160	Rough-in MEP & F @ Hard Lids	15	15 05-Aug-22	25-Aug-22				1	1	1			:								1		s			1 1	1	
2NDFLIB170	Drywall Hard Lids Ceilings	7	7 26-Aug-22	06-Sep-22		1				! !		1	1	1	1	1		1. 1.	□ Drywa		1	1		:	1 1			:
2NDFLIB170 2NDFLIB180	Tape & Texture (Walls & Ceilings)	15	15 19-Sep-22	07-Oct-22					1	1 1 1			:					1 1	- 1		1		ılls & Cei	lings)		1 1 1	1	
2NDFLIB190	Install Alum Frames & Windows	10	19 19-Scp-22 10 10-Oct-22	21-Oct-22				1	1	1 1 1		1	1	:	:	:		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			1	1	mes & W		1	1 1	1	:
2NDFLIB190 2NDFLIB200	Paint & Caulk	10	10 10-Oct-22 10 17-Oct-22	28-Oct-22								i	:	;		i	:				1	Caulk					1	

<u>ata Date</u> - 23	3-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexicar	n-Ame	ricar	ո Cultu	ural C	enter	r Sch	nedu	le						Pa	ge 12
D	Activity Name	Orig Dur	Rem Start Dur	Finish	2021										2022	7			2023	
2NDFLIB210	Install Millwork & Ceramic Tile	10	10 31-Oct-22	11-Nov-22	Jul	Aug	Sep (Oct Nov	Dec	Jan	Feb	Mar	Apr	May	Jun Jul Aug	Sep Oct		c Jan Feb Mar illwork & Ceramic Tile	Apr Ma	ay Jun
2NDFLIB220	MEP & F Trim & Finishes	10	10 14-Nov-22	29-Nov-22					1								ME	P & F Trim & Finishes		1
2NDFLIB230	Install Door and Hardware & Partitions	7	7 21-Nov-22	01-Dec-22			1	1	1			1					1	tall Door and Hardware & Pa	titions	1
NDFLIB240	Fire Caulk/Inspection and Drop Ceiling Tiles	5	5 02-Dec-22	08-Dec-22							!	1					i i	ire Caulk/Inspection and Dro	i i	s
NDFLIB250	Install Flooring & Base	10	10 09-Dec-22	22-Dec-22			1		1			1		1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	: :	☐ Install Flooring & Base		1
NDFLIB260	Sundt Deficiency List	7	7 14-Dec-22	22-Dec-22			1		1			1						■ Sundt Deficiency List		1
NDFLIB270	Owner/Arch Punch List	3	3 27-Dec-22	29-Dec-22					1									Owner/Arch Punch List		1
NDFLIB280	Complete Punch List	7	7 09-Jan-23	17-Jan-23					1			1						Complete Punch L	ist	
OOF			, , , , , , , , , , , , , , , , , , , ,						1										i i i i i i i i i i i i i i i i i i i	
OOFLIB10	Structural Demo @ Openings	5	5 12-Nov-21	18-Nov-21			1		Structural	Demo @	Openings									
OOFLIB20	Demo Roofing (Walkway)	5	5 19-Nov-21	29-Nov-21					Demo	Roofing (V	Valkway)) :								1
OOFLIB30	Install S. Steel & Decking Walkway& Vestibule	6	6 27-Jan-22	03-Feb-22			1		1 1 1		Install S	S. Steel &	& Deckin	g Walkw	ay& Vestibule	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1
OOFLIB40	Install Curtian Wall @ Walkway w/ ponywalls	20	20 04-Feb-22	04-Mar-22			!	1	1		1			• :	alkway w/ ponywalls				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1
OOFLIB50	Install New Roofing @ Walkway & Vestibule	10	10 07-Mar-22	18-Mar-22			1		1		- ;	- 1	i	- ;	@ Walkway & Vestibu	e				1 1 1 1
	E II Construction						1	1	1		1	1		1					1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1
tework							1		1 1		1	1								1
emolition								1	1		!	1	1						1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1
DEMOSITE10	Protect Trees/Monument to Remain	2	2 30-Sep-21	01-Oct-21			j P	Protect Trees/	/Monumen	nt to Remai	in									
DEMOSITE20	Make Safe Ready Work	2	2 04-Oct-21	05-Oct-21			0	Make Safe I	Ready Wo	rk	1	1				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 I I I I I I I I I I I I I I I I I I I		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1
DEMOSITE30	Remove Trees/Monuments to be Relocated	3	3 06-Oct-21	08-Oct-21				Remove Tre	ees/Monur	ments to be	e Relocate	ed								
DEMOSITE40	Site Demoliton	15	15 11-Oct-21	29-Oct-21				Site I	Demoliton											
DEMOSITE50	Skin Demolition	10	10 01-Nov-21	12-Nov-21					Skin Demol			1								
nderground Utili		10	10 01 1.07 21	12 1.0, 21																
UG1000	Ex/Install/Backfill Storm Water Line 1 (EMH-1 to)	5	5 22-Nov-21	30-Nov-21			1		Ex/Ins	stall/Backfi	ill Storm	Water L	ine 1 (EN	IH-1 to I	MH-1)					
JG1010	Ex/Install/Backfill Storm Water Line 1 (MH-1)	10	10 01-Dec-21	14-Dec-21					Ex	x/Install/Ba	ekfill \$to	orm Wat	er Line 1	(MH-1)						
JG1020	Ex/Install/Backfill Storm Water Line 1 (MH-1 to M	10	10 15-Dec-21	30-Dec-21			1	1		Ex/Insta	ll/Backfi	ill Storm	Water Li	ne 1 (M	H-1 to MH-2)				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1
JG1030	Ex/Install/Backfill Storm Water Line 1 (MH-2)	10	10 03-Jan-22	14-Jan-22			1		1	Ex/I	Install/Ba	ckfill \$t	orm Wate	er Line 1	(MH-2)					1
UG1040	Ex/Install/Backfill Storm Water Lateral Line 2	10	10 17-Jan-22	28-Jan-22			1	1	i 1 1		Ex/Instal	ll/Backfi	ill Storm V	Water La	iteral Line 2				i i i i i i i i i i i i i i i i i i i	1 1 1
JG1050	Ex/Install/Backfill Dimensional Control French Dra	5	5 31-Jan-22	04-Feb-22					1		Ex/Inst	tall/Back	cfill Dime	ensional	Control French Drains t	Lateral line 2				1
JG1060	Ex/Install/Backfill Storm Water Line 2 New Inlets	7	7 07-Feb-22	15-Feb-22					1		<u> Ex/l</u>	Install/B	ackfill St	orm Wat	ter Line 2 New Inlets					i ! !
JG1070	Ex/Install/Backfill New Sanitary Sewer Tap	5	5 16-Feb-22	23-Feb-22					1		E	x/Install	/Backfill	New Sai	nitary Sewer Tap					1
JG1080	Ex/Install/Backfill Domestic Water Line to new Co	7	7 24-Feb-22	04-Mar-22							÷	Ex/Inst	tall/Backt	ill Dome	estic Water Line to new	Connection Point	t			1
JG1090	Ex/Install/Backfill New Electrical Secondary	7	7 07-Mar-22	15-Mar-22		1 1		1	1		ı	Ex/l	Install/Ba	ckfill Ne	ew Electrical Secondar	7			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
JG1100	EP Electric to Install Primary Electrical to new Tran	25	25 16-Mar-22	19-Apr-22				1	1				EP	Electric	to Install Primary Elect	rical to new Trans	sformer Location	ı	. ! ! ! ! !	
JG1110	Ex/Install/Backfill New Gas line Tap	7	7 20-Apr-22	28-Apr-22			!				1	1		Ex/Instal	l/Backfill New Gas line	Тар			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1
JG1120	EP Electric Re Install Transformer	2	2 29-Apr-22	02-May-22			1	: : :	1		1	:	Ė	EP Elec	tri c Re Install Transfor	ner				! ! !
JG1130	EP Electric Service Release	5	5 03-May-22	09-May-22		1 1	1	1	1		!		=	EPEl	ectric Service Release				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1
JG1140	Permanent Power	5	5 10-May-22	16-May-22					1			1		□ Pen	manent Power					1
imensional Con	itrol						!	1			:	:							1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1
DIMC1000	Rough Grade	10	10 16-Mar-22	29-Mar-22			!	: : :	1		:		Rough G	rade					1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
DIMC1010	Ex/F/R/P RW #1	10	10 30-Mar-22	12-Apr-22			1 1 1	1	1		1		Ex/F		1 1					1
DIMC1020	Ex/F/R/P RW #2	10	10 13-Apr-22	26-Apr-22					1			1	E	x/F/R/P	RW#2				. I I I I I I I	
DIMC1030	Ex/F/R/P RW #3	10	10 27-Apr-22	10-May-22				1	1			ĺ		Ex/F /	R/P RW #3					1
DIMC1040	Ex/F/R/P RW #4	10	10 11-May-22	24-May-22			1	1	1		: : :	:		E	x/F/R/P RW #4				. I I I I I	1 1 1 1
DIMC1050	Ex/F/R/P RW #5	10	10 25-May-22	08-Jun-22			1	: 	1		:	:	:	Ė	\blacksquare Ex/F/R/PRW#5				1 1 1 1 1 1	! !
DIMC1060	Backfill/Fine Grade all Retaining Walls	10	10 09-Jun-22	22-Jun-22				1	1						Backfill/Fine G	ade all Retaining	Walls		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
DIMC1070	F/R/P New Pavement	7	7 23-Jun-22	01-Jul-22				1	1						☐ F/R/P New P	vement			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
DIMC1080	F/R/PNew Sidewalk	7	7 05-Jul-22	13-Jul-22			1	: 	1 1 1		:	:	:	:	☐ F/R/PNev	v Sidewalk			1 1 1 1 1 1	! !
DIMC1090	F/R/P New Stairs	7	7 14-Jul-22	22-Jul-22				1	1			:				lew Stairs			1 1	
DIMC1100	Irrigation at Museum Entry	10	10 25-Jul-22	05-Aug-22					1		!				Irri	gation at Museum	Entry		1 1	1

<u> Data Date</u> -	23-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexic	an-An	neric	an C	ultur	al Ce	enter	Sch	hedu	ıle												Pag	e 13 (
y ID	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 Ju	I Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	2022 Jun		Aug	Sep	Oct	Nov	Dec	Jan Fe	b Mar	2023 Apr		Jun
DIMC1110	Irrigation at Dimensional Control	10	10 08-Aug-22	19-Aug-22	00	i //ug	ССР	OCI	1407	DCC	oun	1 00	iviai	7 (p)	iviay	ouii					sional Co		i i	.b Iviai	, , pi	iviay	Journ
DIMC1120	Install Pots at Museum Entry	10	10 22-Aug-22	02-Sep-22								1							Install F	Pots at N	Museum E	ntry					
DIMC1130	Install Pots at Dimensional Control	12	12 06-Sep-22	21-Sep-22		1 1 1	!		 		1 1 1	1 1 1		:	1	!	1 1 1	1 1 1	In	stall Pot	s at Dime	nsional	Control	1	1	1 1 1	1 1
DIMC1140	Install Ground Cover at Museum Entry	15	15 22-Sep-22	12-Oct-22		1					1	1				1	1			Inst	all Ground	d Cover	at Museum E	ntry		1	
DIMC1150	Install Ground Cover at Dimensional Control	15	15 13-Oct-22	02-Nov-22		:			1										1		Install	Ground (Cover at Dim	ensional Co	ntrol		
DIMC1160	Plant/Trees at Museum Entry	10	10 03-Nov-22	16-Nov-22							1	1					1		1		Pla	nt/Trees	at Museum	Entry	:		
DIMC1170	Plant/Trees at Dimensional Control	10	10 17-Nov-22	02-Dec-22		1	1		1		1	1					1	1	1			Plant/	Γrees at Dime	ensional Cor	ntrol	1	1
DIMC1180	Install Site Furnishings	7	7 05-Dec-22	13-Dec-22			!				1	1					1		1			Inst	all Site Furni	shings		1	
DIMC1190	Install Pavers	15	15 14-Dec-22	06-Jan-23		1					1	1				1			1				☐ Install Par	vers		1	
Exhibit & Com	munity Galleries					1	1				1	1					1	1	1					1		1	1
Demoltion						1	1				1	1					1		1					1	1	1	1
EXGAL10	Make Ready Work	5	5 07-Oct-21	13-Oct-21		1	1	☐ Ma	ke Ready	Work	1	1				1	1	1	1					1		1	1
EXGAL20	Remove Plumbing/Electrical Fixtures	3	3 14-Oct-21	18-Oct-21			1	□ R	emove Plu	umbing/E	lectrical	Fixtures	3		1		1	!	1 1 1						1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
EXGAL30	Remove Suspended Ceiling/Hard Lids/Partitions	15	15 19-Oct-21	08-Nov-21			1		Remo	ove Suspe	ended Ce	iling/Hai	rd Lids	Partition	s		1		1				1 1 1	1			; ; ;
EXGAL40	Sawcut and Remove Sidewalk for new SOG	5	5 09-Nov-21	15-Nov-21					□ Sav	weut and	Remove	Sidewalk	k for ne	w SOG		!	!		1				1 1 1				1
EXGAL50	Sawcut and Remove slab for New Sewer	7	7 09-Nov-21	17-Nov-21					☐ Sa	wcut and	Remove	slab for	New Se	wer		1							1 1 1	1		1	
EXGAL60	Sawcut and Remove Slab for new Elevator	5	5 16-Nov-21	22-Nov-21		1	1			awcut and	d Remove	e Slab fo	or new E	levator	1	1	! ! !	1 1 1	1 1 1					1 1	1	1 1 1	1 1
EXGAL70	Remove Existing Stairs	1	1 23-Nov-21	23-Nov-21					I R	Remove E	existing S	tairs					1		1							1	
EXGAL80	Sawcut for New Stair Foundation	3	3 24-Nov-21	30-Nov-21						Sawcut	for New S	Stair Fou	undation	i													
Structural			,	,		1 1 1			1		1 1 1	1			1	!	1 1 1	1 1 1	1 1 1					1 1 1	1	1 1 1	1 1
EXGAL140	F/R/P Screen Wall Continous Footing	7	7 22-Nov-21	02-Dec-21						F/R/PS	creen Wa	ıll Conțir	nous Foo	oting													
EXGAL100	Install Elevator Sump Pump Plumbing/Electrical	7	7 23-Nov-21	03-Dec-21		1	1			Install I	Elevator S	Sump Pu	ımp Plun	nbing/Ek	ectrical	1	 	1 1 1	1					1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1
EXGAL110	F/R/P Stair Foundation	5	5 01-Dec-21	07-Dec-21					þ	■ F/R/P	Stair Fou	ındation	ı														
EXGAL150	F/R/P Storage SOG	7	7 03-Dec-21	13-Dec-21		1	1		[F/R/	P Storage	SOG				i ! !	1	1	1					1	1	1	1
EXGAL120	F/R/P New Elevator Pit	5	5 06-Dec-21	10-Dec-21		1	1				P New Ele	evator Pi	it				1	1	1					1	1	1	1
EXGAL130	Frame New Elevator Shaft	15	15 13-Dec-21	05-Jan-22		1	1		1		Frame		;			i !	1 1 1	i 1 1	i 1 1					1	1	1 1 1	1
EXGAL180	Erect Screen Wall Structure	10	10 14-Dec-21	29-Dec-21							Erect Scr	reen Wal	ll Structi	ıre			1		 								
EXGAL170	Erect Storage Structure	5	5 14-Dec-21	20-Dec-21		1	1		1		ect Storag	1	i		1	1	1	1 1 1	1 1 1					1 1	1	1 1 1	1 1
EXGAL200	Set Screen Wall Panels	10	10 30-Dec-21	13-Jan-22		1				-	Set S	- 1	- 1	1				1	1								
EXGAL160	Install Stairs	3	3 22-Feb-22	24-Feb-22		1	1 1 1		1		1 1 1		Install St	airs	1	1	1	1 1 1	 				1	1	1 1	1 1 1	1 1
EXGAL460	Install Elevator	20	20 07-Oct-22	03-Nov-22							1	1					1		1		□ Install	Elevator			:	1	
Interior Build O	ut					:	1		1									1	1					:	1		
EXGAL90	UG Plumbing/Pour Back Slab	7	7 18-Nov-21	30-Nov-21						UG Plun	nbing/Pou	ur Back S	Slab				1		1								
EXGAL190	Layout Walls	2	2 19-May-22	20-May-22					1							ayout Walls	i										
EXGAL210	Install Metal Stud Walls	10	10 23-May-22	06-Jun-22					1		1	1				☐ Install N	1	1	- 1								-
EXGAL220	Overhead Mechanical	15	15 07-Jun-22	27-Jun-22		1	1		1		1	1				O	i	i	ncal				1	1	1	1	1
EXGAL230	Inwall Electrical	15	15 07-Jun-22	27-Jun-22		:	1		1		1	1				In	1	1	.4 1/20	A 1			1 1 1	1	1	1	1 1 1 1
EXGAL250	Overhead Electrical/Fire Alarm	10	10 28-Jun-22	12-Jul-22		1	1		1		1	1				i	i	i	ctrical/Fi	ıre Aları	m		1	1		1	; ; ;
EXGAL240	Inwall Plumbing	5	5 28-Jun-22	05-Jul-22			1		1 1 1		1	1				1	Inwall I	- 1						:	:	1	: : :
EXGAL260	One Side Drywall	7	7 06-Jul-22	14-Jul-22		:						:				;	□ One	- 1	1					:			i
EXGAL280	Fire Sprinkler	10	10 13-Jul-22	26-Jul-22		1					1	1					□ F	- 1	1					1		1	
EXGAL270	Inwall Inspection	2	2 15-Jul-22	18-Jul-22												1	1	all Inspe	1	J. D	11		1 1 1				
EXGAL290	Insulate & 2nd Side Drywall	7	7 19-Jul-22	27-Jul-22		1					1	1				1		1	2nd Sic	-	all		1	1		1	1
EXGAL300	Overhead Plumbing	12	12 27-Jul-22	11-Aug-22		:	1		!		1	1			:	1	- 1	:	head Plui	_	Woll-)		1 1 1	1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
EXGAL310	Tape and Texture (Walls)	15	15 28-Jul-22	17-Aug-22		:					1	:				:			e and Te			J: 10		: :			
EXGAL320	Frame Hard Lids and Acoustical Grid	10	10 12-Aug-22	25-Aug-22							1	!				1		į.			and Acou						
EXGAL330	MEP&F Hardlid/Acoustical Ceiling Inspection	2	2 26-Aug-22	29-Aug-22							1					1		- 1	1		1		ng Inspectior	l ;			
EXGAL340	Drywall Hard Lid Ceilings	10	10 30-Aug-22	13-Sep-22		:					1	1				1		:	7		d Lid Cei	-		1	1	1	1
EXGAL350	Tape and Texture(Ceilings)	10	10 14-Sep-22	27-Sep-22	:		1		1		1	:	:	:		1	-	1		rape an	d Texture	(Ceiling	gs) :		1	1	1

<mark>0ata Date</mark> - 23	3-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexi	can-A	meri	ican	Cult	ural	Cente	er Sc	hedu	ıle				Page 14	4
D	Activity Name	Orig Dur	Rem Start Dur	Finish	2021	Jul Au	g Se	p Oci	t Nov	v Dec	c Jan	Feb	Mar	Apr	May	2022 Jun Jul Aug	Sep Oct Nov Dec Jan Feb Mar	2023 Apr May Ju	Jun
EXGAL390	Install Millwork	7	7 07-Oct-22	17-Oct-22		Jul Au	9 36	p CC	i NOV	v Dec	Jan	1 60	Iviai	Apr	iviay	Juli Juli Aug	Install Millwork	Api Iviay 30	Juli
EXGAL370	Mechanical Trim	5	5 07-Oct-22	13-Oct-22									! ! !						
EXGAL400	Install Doors and Hardware	7	7 07-Oct-22	17-Oct-22									; ; ;				Install Doors and Hardware		
EXGAL380	Install Specialties	5	5 07-Oct-22	13-Oct-22									! !				☐ Install Specialties		
EXGAL420	Seal Concrete	5	5 14-Oct-22	20-Oct-22									! ! !				☐ Seal Concrete		
EXGAL430	Electrical/Fire Trim	10	10 14-Oct-22	27-Oct-22									! ! !				Electrical/Fire Trim		
EXGAL410	Install LVT	3	3 18-Oct-22	20-Oct-22	1		! ! !	1	1	1			! ! !	! ! ! !			□ Install LVT		
EXGAL440	Install Suspended Ceiling Tiles	10	10 21-Oct-22	03-Nov-22									 				Install Suspended Ceiling Tiles		
EXGAL450	Plumbing Trim	5	5 28-Oct-22	03-Nov-22									: : :				Plumbing Trim		
EXGAL470	Fire Sprinkler Trim	5	5 04-Nov-22	10-Nov-22	1 1		1	1	1	1			1 1 1				Fire Sprinkler Trim		
EXGAL480	Final Coat of Paint	7	7 11-Nov-22	21-Nov-22									! ! !				Final Coat of Paint		
EXGAL490	Sundt Deficiency List	5	5 22-Nov-22	30-Nov-22									! ! !				Sundt Deficiency List		
EXGAL500	Construction Clean	3	3 01-Dec-22	05-Dec-22			! ! !	1	1	1 1 1			: : :				☐ Construction Clean		
EXGAL500 EXGAL510	Owner/Arch Punch List	3	3 06-Dec-22	03-Dec-22 08-Dec-22			!	1	1	1 1 1			: : :				Owner/Arch Punch List		
EXGAL510 EXGAL520	Complete Punch List	5	5 09-Dec-22	15-Dec-22						i !			; ; ;				Complete Punch List		
EXGAL520 EXGAL530	Final Clean	3	3 16-Dec-22	20-Dec-22			!	!					1 1 1				☐ Final Clean		
ommercial Grad		J	3 10-Dcc-22	20-DCC-22									! ! !	! ! ! !					
CK1000	Make Ready Work	2	2 07-Oct-21	08-Oct-21				πN	Лake Rea	ndv Work			! !						
CK1000	Underground Utility Tie in & Rough	20	20 18-Nov-21	17-Dec-21			1	" "		- 1	Undergro	und Utilit	v Tie in a	Rough					
	Layout & Install Stud Walls	20		06-Jun-22						-	Chacigio	and other		~ rrough	_	Layout & Install Stud	Walls		
CK1010	<u> </u>	10	10 23-May-22										: : :		_	Rough In	Walls		
CK1020	Rough In	15	15 07-Jun-22	27-Jun-22		1		1	1 1	1			! ! !			Drywall	Tana & Rad		
CK1060	Drywall Tape & Bed	15	15 28-Jun-22	19-Jul-22						1			! !			Eliywan F			
CK1030	Finishes	20	20 20-Jul-22	16-Aug-22									, ! !				Installation of Kitchen Equipment		
CK3520	Installation of Kitchen Equipment	15	15 17-Aug-22	07-Sep-22			1	1	1	1			1 1 1 1				Trim Out		
CK1040	Trim Out	10	10 17-Aug-22	30-Aug-22									! ! !				☐ Prepunch & Clean		
CK1050	Prepunch & Clean	5	5 08-Sep-22	14-Sep-22									, ! !				<u> Першен & Скан</u>		
iditorium, Green emoltion	en Rooms						1	1		1			1 1 1 1						
AUDI60	Make Ready Work	5	5 07-Oct-21	13-Oct-21			1		Make Re	eady Worl	·k		! ! !						
AUDI70	Remove Plumbing/Electrical Fixtures	10		27-Oct-21					Rem	ove Plum	bing/Elect	rical Fixt	ures						
AUDI30	Sawcut for New Stair Foundation	3	3 14-Oct-21	18-Oct-21					Sawcut	for New	Stair Four	dation	! ! !						
AUDI80	Remove Suspended Ceiling/Hard Lids/Partitions	15		17-Nov-21				-	1	1	e Suspende	1 1	/Hard Li	ds/Partiti	ions				
AUDI20	Remove Existing Stairs	1	1 09-Nov-21	09-Nov-21	1				:	:	Existing Sta	1 7	î : :						
tructural	Remove Existing States		1 05 1107 21	05 1107 21									! ! !						
AUDI40	F/R/P Stair Foundation	5	5 10-Nov-21	16-Nov-21			1	1 1		F/R/P St	tair Found	ation	! ! !					1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
AUDI50	Install Stairs	5		23-Nov-21						Install	Stairs		! ! !						
terior Build Out			3 17 1107 21	23 1107 21									: :						
AUDI90	Layout Walls	2	2 07-Jun-22	08-Jun-22									1 1 1			Layout Walls			
AUDI100	Install Metal Stud Walls	10	10 09-Jun-22	22-Jun-22									: : :			Install Metal Stu	d Walls		
AUDI110	Overhead Mechanical(Auditorium)	15	15 23-Jun-22	14-Jul-22			1	: : :	1	1 1 1		1 1	: : :				Mechanical(Auditorium)		
AUDI120	Overhead Mechanical Overhead Mechanical	15	15 15-Jul-22	04-Aug-22	1 1	1		1	1				: : :				rhead Mechanical		
AUDI130	Overhead Electrical(Auditorium)	15	15 15-Jul-22	04-Aug-22 04-Aug-22			!	1	1	1			! !			i i i	rhead Electrical(Auditorium)		
AUDI150	Overhead Electrical/Fire Alarm	10	10 05-Aug-22	18-Aug-22						i 1 1			: : :				Overhead Electrical/Fire Alarm		
AUDI130 AUDI140	OH MEP&F Inspection(Auditorium)		2 05-Aug-22	08-Aug-22	_	:	!	!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!					: :			i i i	I MEP&F inspection(Auditorium)		
	<u> </u>	2		_		:	1	1	1	1		1 1	: : :			1 1 1	Frame Hard Lids(Auditorium)		
AUDI160	Frame Hard Lids(Auditorium)	15	15 09-Aug-22	29-Aug-22									! !				Fire Sprinkler		
AUDI170	Fire Sprinkler	10	10 19-Aug-22	01-Sep-22			1	: : :	: ! !	1 1 1		1 1	: : :			1 1 1	Inwall Electrical		
AUDI180	Inwall Electrical	15	15 19-Aug-22	09-Sep-22		:	!	!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!					: :			_	inwall Electrical Drywall Hard Lids(Auditorium)		
AUDI190	Drywall Hard Lids(Auditorium)	10	10 30-Aug-22	13-Sep-22	1	:	1	1	1	1		1 1	: : :						
	<u> </u>						!	1	1	1			! !	. !					
AUDI200 AUDI210	Overhead Plumbing Inwall Plumbing	12	12 02-Sep-22 10 12-Sep-22	20-Sep-22 23-Sep-22	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	:	1	1 1 1 1 1 1	! ! ! ! ! !				; ; ; ; ; ; ;				Overhead Plumbing Inwall Plumbing		

<u>.a Date</u> - 23	3-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexica	ın-Amer	ican Cultu	ral Cente	er Schedule				Page 15 o
	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 Jul	Aug Se	ep Oct Nov	Dec Jan	Feb Mar Apr		2022 Jul Aug Sep Oct	Nov Dec Jan F	2023 Feb Mar Apr May Jun
AUDI260	Tape/Bed/Paint Hardlids(Auditorium)	20	20 14-Sep-22	11-Oct-22	i oui	Aug	D 001 1101	Dec our	1 cu iviai 7 pi	Iviay our		pe/Bed/Paint Hardlids(Auditor	
AUDI220	Frame Hard Lids and Acoustical Grid(Green Rooms)		10 21-Sep-22	04-Oct-22				1 1 1			Fram	e Hard Lids and Acoustical Gr	id(Green Rooms)
AUDI240	` '	10	10 26-Sep-22	07-Oct-22								Side Drywall	
AUDI230	MEP&F Hardlid/Acoustical Ceiling Inspection	2	2 05-Oct-22	06-Oct-22							i i i	P&F Hardlid/Acoustical Ceilin	g Inspection
AUDI270		10	10 07-Oct-22	20-Oct-22								Drywall Hard Lid Ceilings	5 110 1
AUDI270 AUDI250	Inwall Inspection	2	2 10-Oct-22	20-Oct-22 11-Oct-22						1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		vall Inspection	
	-		12 12-Oct-22	27-Oct-22								Insulate & 2nd Side Drywall	
AUDI290	,	12										MEP&F Trim(Auditorium)	
AUDI280	, ,	10	10 12-Oct-22	25-Oct-22							i i i i		Δ
AUDI300	1 (0 /	10	10 21-Oct-22	03-Nov-22								Tape and Texture (Ceilings	2
AUDI310	Install LVT(Auditorium)	7	7 26-Oct-22	03-Nov-22								Install LVT(Auditorium)	• • • • • • • • • • • • • • • • • • • •
AUDI320	1 ,	15	15 28-Oct-22	17-Nov-22								Tape and Texture (Wall	
AUDI330	1st and 2nd Coat of Paint(Walls and Ceilings)	7	7 18-Nov-22	30-Nov-22				1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			f Paint(Walls and Ceilings)
AUDI410		10	10 01-Dec-22	14-Dec-22				1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Install Millwork	
AUDI340	Mechanical Trim	5	5 01-Dec-22	07-Dec-22				1		1		Mechanical Trim	
AUDI350	Install Doors and Hardware	7	7 01-Dec-22	09-Dec-22		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1				1 1 1 1 1		☐ Install Doors and	
AUDI370	Install Ceramic Tile(Restrooms)	12	12 01-Dec-22	16-Dec-22						! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! !		Install Ceramic	
AUDI360	Install Ceramic Tile(Cooking Classroom)	10	10 01-Dec-22	14-Dec-22						i i i i i i i i i i i i i i i i i i i			Tile(Cooking Classroom)
AUDI380	Electrical/Fire Trim	10	10 08-Dec-22	21-Dec-22				1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Electrical/Fir	re Trim
AUDI420	Install LVT(Green Rooms)	3	3 15-Dec-22	19-Dec-22				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		1		☐ Install LVT(G	reen Rooms)
AUDI390	Install Specialties	5	5 19-Dec-22	27-Dec-22						1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		☐ Install Spec	ialties
AUDI450	-	10	10 20-Dec-22	05-Jan-23						i i i i i i i i i i i i i i i i i i i		Install Sv	spended Ceiling Tiles
AUDI400	Plumbing Trim	5	5 22-Dec-22	30-Dec-22				1 1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		☐ Plumbing T	t t t t t
AUDI430	Fire Sprinkler Trim	5	5 03-Jan-23	09-Jan-23				1		1		☐ Fire Spr	
AUDI440	Seal Concrete	5	5 10-Jan-23	16-Jan-23						1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		□ Seal (i i i i
AUDI460	Final Coat of Paint	7	7 17-Jan-23	25-Jan-23						: : : : : : :			nal Coat of Paint
AUDI470	Sundt Deficiency List	5	5 26-Jan-23	01-Feb-23						i i i i i i i i i i i i i i i i i i i			Sundt Deficiency List
AUDI480	Construction Clean	3	3 02-Feb-23	01-Feb-23 06-Feb-23				1		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		1 1 1	Construction Clean
AUDI480 AUDI490		3						1 1 1 1 1 1		1			Owner/Arch Punch List
	Owner/Arch Punch List		3 07-Feb-23	09-Feb-23						! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! !			Complete Punch List
AUDI500	Complete Punch List	5	5 10-Feb-23	16-Feb-23						! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! !		1 1 1	Final Clean
AUDI510	Final Clean	3	3 17-Feb-23	22-Feb-23						i I I I I I			Final Clean
ack Box/Lobby										i I I I I I I I			
emoltion							3.5.1 c Door			1 1			
BBOX10	Make Ready Work	5	5 07-Oct-21	13-Oct-21			☐ Make Read	7		1			
BBOX20	Remove Roof Structure	7	7 14-Oct-21	22-Oct-21				Roof Structure		! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! ! !			
BBOX30	Remove Concrete Structure	7	7 25-Oct-21	02-Nov-21			Remo	ove Concrete Struc	eture	i i i i i i i i i i i i i i i i i i i			
tructural								1					
BBOX40	Drill/R/P Piers	10	10 07-Feb-22	18-Feb-22					Drill/R/P Piers				
BBOX50	Ex/F/R/P Continous Footing	5	5 22-Feb-22	28-Feb-22					□ Ex/F/R/P Cor				
BBOX60	UG Electrical	5	5 01-Mar-22	07-Mar-22				1	☐ UG Electri	ical			
BBOX70	Fine Grade	3	3 08-Mar-22	10-Mar-22					☐ Fine Grad	le			
BBOX80	F/R/P SOG	7	7 11-Mar-22	21-Mar-22					☐ F/R/P S	SOG			
BBOX90	Cure SOG	7	7 22-Mar-22	28-Mar-22					Cure	SOG			
BBOX100	Erect Columns	7	7 29-Mar-22	06-Apr-22					□ Er	rect Columns			
BBOX110	Erect Beams/Tube Steel	7	7 07-Apr-22	15-Apr-22						Erect Beams/Tube	e Steel		
BBOX150		20	20 18-Apr-22	13-May-22				1 1 1		Exterior S			
BBOX280		30	30 16-May-22	27-Jun-22						- :	■ Exterior Skin(Terra Cotta/Metal P	Panels)	
BBOX120	Erect Joists	5	5 26-Oct-22	01-Nov-22								Erect Joists	
BBOX130	Install Metal Decking	7	7 02-Nov-22	10-Nov-22								Install Metal Decking	
					1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1	1				New Roof	
BBOX170	New Kooi	15	15 11-Nov-22	05-Dec-22		1	1	1	i i i i			110 11 1001	

<u>ta Date</u> - 2:	3-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexican-A	meric	an Cu	ıltur	al Cente	er Sche	edule	9						Page 16 d
	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 Jul Au	ıg Sep	Oct	Nov	Dec Jan	Feb M	1ar A	Apr	2022 May Jun .	ul Aug Sep	Oct	Nov Dec	Jan Feb Mar	2023 Apr May Jun
BBOX370	Install Exterior Aluminun Curtain Wall/Store Front S	20	20 28-Jun-22	26-Jul-22				-								ırtain Wall/Store		
BBOX460	Install Interior Aluminun Store Front Systems	15	15 27-Jul-22	16-Aug-22		1 1 1		1 1 1						Install In	terior Alumin	un Store Front S	ystems	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
BBOX140	Layout Walls	2	2 11-Nov-22	14-Nov-22		1		1								Layout Wal	ls	
BBOX160	Install Metal Stud Walls	7	7 15-Nov-22	23-Nov-22		1		1								Install M	etal Stud Walls	
BBOX210	Overhead Mechanical	10	10 28-Nov-22	09-Dec-22		1		1			1				i i	Ove	rhead Mechanical	
BBOX220	Overhead Electrical/Fire Alarm	15	15 28-Nov-22	16-Dec-22		1		1						1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	<u> </u>	verhead Electrical/Fire Ala	rm
BBOX190	Fire Sprinkler	10	10 28-Nov-22	09-Dec-22		1		1								Fire	Sprinkler	
BBOX180	Inwall Electrical	7	7 28-Nov-22	06-Dec-22		1 1 1		1 1 1		1 1				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	inwa!	ll Electrical	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
BBOX200	One Side Drywall	7	7 07-Dec-22	15-Dec-22		1		1								☐ Or	e Side Drywall	
BBOX230	Overhead Plumbing	5	5 12-Dec-22	16-Dec-22		1						i				□ O ₁	verhead Plumbing	
BBOX240	Inwall Inspection	2	2 16-Dec-22	19-Dec-22		1 1 1		1 1 1				-			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	□ Ir	nwall Inspection	
BBOX270	Frame Hard Lids and Acoustical Grid	10	10 19-Dec-22	04-Jan-23		1		1									Frame Hard Lids and A	Acoustical Grid
BBOX250	Frame Soffit @ Lobby	7	7 19-Dec-22	29-Dec-22		1		1				1			1 1		Frame Soffit @ Lobby	
BBOX260	Insulate & 2nd Side Drywall	7	7 20-Dec-22	30-Dec-22		1 1 1		1			!						Insulate & 2nd Side Dry	wall
BBOX300	Electrical In-Soffit	7	7 30-Dec-22	10-Jan-23		!		1			!	:					Electrical In-Soffit	
BBOX320	Tape and Texture (Walls)	10	10 03-Jan-23	16-Jan-23		: : :		1				1					Tape and Texture (V	Walls)
BBOX290	MEP&F Hardlid/Acoustical Ceiling Inspection	2	2 05-Jan-23	06-Jan-23		1 1 1		1				1			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	MEP&F Hardlid/Acou	i i
BBOX310	Drywall Hard Lid Ceilings	5	5 09-Jan-23	13-Jan-23		1		1								1	☐ Drywall Hard Lid Co	
BBOX330	Drywall Soffit	7	7 11-Jan-23	19-Jan-23		1		1									Drywall Soffit	
BBOX340	Tape and Texture(Ceilings)	7	7 16-Jan-23	24-Jan-23		1 1 1		1							i i i i i i i i i i i i i i i i i i i	i ! !	Tape and Texture	(Ceilings)
BBOX360	Tape/Bed/Paint Soffit	10	10 20-Jan-23	02-Feb-23		1		1								1	Tape/Bed/Pair	7.1
BBOX350	1st and 2nd Coat of Paint(Walls and Ceilings)	7	7 25-Jan-23	02-Feb-23				1									1 1	oat of Paint(Walls and C
BBOX380	Mechanical Trim	5	5 03-Feb-23	09-Feb-23		1		1							i i i i i i i i i i i i i i i i i i i	i ! !	☐ Mechanical	1 1
BBOX420	Install Doors and Hardware	7	7 03-Feb-23	13-Feb-23		1		1								1	☐ Install Door	1
BBOX390	Install Specialties	5	5 03-Feb-23	09-Feb-23		1						i				:	☐ Install Speci	!
BBOX400	Soffit Trim	5	5 03-Feb-23	09-Feb-23		1 1 1		1 1 1						1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	Soffit Trim	1 1
BBOX450	Electrical/Fire Trim	10	10 10-Feb-23	24-Feb-23		!											Electrica	al/Fire Trim
BBOX440	Install Grid For Clouds @ Lobby	7	7 10-Feb-23	21-Feb-23		1		1							1 1	1		id For Clouds @ Lobby
BBOX490	Seal Concrete	5	5 14-Feb-23	21-Feb-23		1										1	☐ Seal Cor	
BBOX410	Install Millwork	7	7 21-Feb-23	01-Mar-23													☐ Install	1 1
BBOX520	Install Wood Flooring	12	12 21-Feb-23	08-Mar-23		1 1 1		1							1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1		ll Wood Flooring
BBOX510	Install Electrical/Mechanical for Clouds @ Lobby	10	10 22-Feb-23	07-Mar-23		1		1							1 1 1 1 1 1		1 1	l Electrical/Mechanical
BBOX480	Plumbing Trim	5	5 27-Feb-23	07-Mar-23													□ Plumb	1 1
	<u> </u>			06-Mar-23		1 1 1		1							1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	1 7	l Carpet Tile
BBOX430 BBOX500	Install Carpet Tile	5	3 02-Mar-23					1				1					1 1	Sprinkler Trim
	Fire Sprinkler Trim		5 06-Mar-23	10-Mar-23				1				1						nstall Suspended Ceiling
BBOX470	Install Clouds @ Lobby:	10	10 07-Mar-23	20-Mar-23		1 1 1		1			1					1	1 1	istall Clouds @ Lobby
BBOX540	Install Clouds @ Lobby	10	10 08-Mar-23	21-Mar-23		!		1			!	:				!	1 1	Final Coat of Paint
BBOX530	Final Coat of Paint	7	7 21-Mar-23	29-Mar-23				1				1					i i	Electrical/Mechanical
BBOX550	Electrical/Mechanical Trim at Clouds	/	7 22-Mar-23	30-Mar-23		1 1										1 1 1	1 1	Sundt Deficiency Lis
BBOX560	Sundt Deficiency List	3	3 31-Mar-23	04-Apr-23		!		1			1	:			1 1	! ! !		Construction Clean
BBOX570	Construction Clean	3	3 05-Apr-23	07-Apr-23				1				1						Owner/Arch Punch
BBOX580	Owner/Arch Punch List	3	3 10-Apr-23	12-Apr-23		1 1 1										1 1 1		1 1
BBOX590	Complete Punch List	5	5 13-Apr-23	19-Apr-23		!		1				:			1 1	1		Complete Punch
BBOX600	Final Clean	3	3 20-Apr-23	24-Apr-23		: : :												Final Clean
• •	Admin & Classrooms 2nd floor					1 1 1		1			:					: : : : : : : : : : : : : : : : : : : :		
emoltion						!		aler P	.d., 337d			1				!		
STUDIO10	Make Ready Work	5	5 14-Oct-21	20-Oct-21			1	1	dy Work	4.5 - 1.75					1 1			
STUDIO20	Remove Plumbing/Electrical Fixtures	7	7 21-Oct-21	29-Oct-21		: : : :	i i	i	e Plumbing/Elec	i i		/D				: : :		
STUDIO30	Remove Suspended Ceiling/Hard Lids/Partitions	15	15 01-Nov-21	19-Nov-21		1	: [R	emove Suspend	ed Ceiling/Ha	ard Lids/l	Partitio	ns ;	1 1		:		

Data Date -	- 23-Jul-21 Run Date - 28-Jul-21 at 09:21				Mexican-American Cultural Center Schedule	Page 1	17 of '
ty ID	Activity Name	Orig Dur	Rem Start Dur	Finish	2021 2022 2022 2022 2022 2022 2022 2022	pr May	Jun
Interior Build (Out						
STUDIO40	Layout Walls	2	2 22-Nov-21	23-Nov-21	1 Layout Walls		
STUDIO50	Install Metal Studs	7	7 24-Nov-21	06-Dec-21	Install Metal Studs		
STUDIO60	Overhead Mechanical	20	20 07-Dec-21	06-Jan-22	Overhead Mechanical		
STUDIO120	Inwall Electrical/Fire	15	15 07-Dec-21	29-Dec-21	Inwall Electrical/Fire		:
STUDIO140	Inwall Plumbing	10	10 30-Dec-21	13-Jan-22	Inwall Plumbing		
STUDIO70	Overhead Electrical/Fire	20	20 07-Jan-22	03-Feb-22	Overhead Electrical/Fire		
STUDIO80	Overhead Plumbing	20	20 07-Jan-22	03-Feb-22	Overhead Plumbing		
STUDIO100	Fire Sprinkler	10	10 04-Feb-22	17-Feb-22	Fire Sprinkler		
STUDIO90	Frame Hard Lids	7	7 04-Feb-22	14-Feb-22	Frame Hard Lids		
STUDIO110	OH MEP&F Inspection	2	2 18-Feb-22	22-Feb-22	□ OH MEP&F Inspection		
STUDIO150	Inwall Inspection	2	2 23-Feb-22	24-Feb-22	1 Inwall Inspection		
STUDIO160	One Side Drywall	7	7 25-Feb-22	07-Mar-22	☐ One Side Drywall		
STUDIO180	Insulate and 2nd Side Drywall	10	10 08-Mar-22	21-Mar-22	☐ Insulate and 2nd Side Drywall		
STUDIO190	Tape and Bed(Walls)	7	7 22-Mar-22	30-Mar-22	☐ Tape and Bed(Walls)		
STUDIO200	Drywall Hard Lids	10	10 22-Mar-22	04-Apr-22	Drywall Hard Lids		
STUDIO220	Tape and Bed(Hard Lids)	7	7 05-Apr-22	13-Apr-22	☐ Tape and Bed(Hard Lids)		
STUDIO230	1st and 2nd coat paint walls	10	10 14-Apr-22	27-Apr-22	□ 1st and 2nd coat paint walls		
STUDIO250	Pait(Hard Lids)	7	7 14-Apr-22	22-Apr-22	Pait(Hard Lids)		
STUDIO270	MEP&F Trim(Hard Lids)	10	10 25-Apr-22	06-May-22	MEP&F Trim(Hard Lids)		
STUDIO260	Install Store Front Systems	10	10 28-Apr-22	11-May-22	Install Store Front Systems		!
STUDIO240	Install Suspended Ceiling Grid	7	7 28-Apr-22	06-May-22	☐ Install Suspended Ceiling Grid		
STUDIO290	Install Millwork	7	7 12-May-22	20-May-22	☐ Iḥstall Millwork		
STUDIO300	Mechanical Tri m	7	7 23-May-22	01-Jun-22	☐ Mechanical Trim		
STUDIO310	Electrical/Fire Trim	10	10 02-Jun-22	15-Jun-22	Electrical/Fire Trim		
STUDIO320	Plumbing Trim	7	7 16-Jun-22	24-Jun-22	Plumbing Trim		1
STUDIO340	Install Carpet Tile	5	5 27-Jun-22	01-Jul-22	☐ Install Carpet Tile		
STUDIO350		5	5 27-Jun-22	01-Jul-22	☐ Install Doors and Hardware		
STUDIO360	Install LVT	3	3 05-Jul-22	07-Jul-22			
STUDIO380	Install Ceramic Tile	10	10 08-Jul-22	21-Jul-22	Install Ceramic Tile		
STUDIO400	Install Specialties	10	10 22-Jul-22	04-Aug-22	Install Specialties		!
STUDIO410	Install Suspended Ceiling Tile	5	5 05-Aug-22	11-Aug-22	☐ Install Suspended Ceiling Tile		
STUDIO420	Seal Concrete	3	3 12-Aug-22	16-Aug-22	□ Seal Concrete		
STUDIO430	Final Coat Paint	7	7 17-Aug-22	25-Aug-22	Final Coat Paint		
STUDIO440	Sundt Deficiency List	5	5 26-Aug-22	01-Sep-22	☐ Sundt Deficiency List		
STUDIO450	Construction Clean	3	3 02-Sep-22	07-Sep-22	□ Construction Clean		:
STUDIO460	Owner/Arch Punch List	3	3 08-Sep-22	12-Sep-22	Owner/Arch Punch List		
STUDIO470	Complete Punch List	5	5 13-Sep-22	19-Sep-22	☐ Complete Punch List		
STUDIO480	Final Clean	3	3 20-Sep-22	22-Sep-22	0 Final Clean		
Third Floor Fo			1	1			:
Demoltion				<u> </u>			
3RDFLR20	Make Ready Work	3	3 21-Oct-21	25-Oct-21	☐ Make Ready Work		
3RDFLR30	Remove Solar Panels	7	7 26-Oct-21	03-Nov-21	Remove Solar Panels		
3RDFLR40	Remove Equipment/Misc Items	5	5 04-Nov-21	10-Nov-21	☐ Remove Equipment/Misc Items		
3RDFLR50	Remove Existing TPO	10	10 11-Nov-21	24-Nov-21	Remove Existing TPO		1
Structural							:
3RDFLR60	Sawcut and Remove deck for new stair openings/ele	5	5 29-Nov-21	03-Dec-21	☐ Sawcut and Remove deck for new stair openings/elevator		
3RDFLR70	CMU West Stair Well	7	7 09-Dec-21	17-Dec-21	☐ CMU West Stair Well		
3RDFLR80	CMU East Stair Well	7	7 20-Dec-21	30-Dec-21	CMU East Stair Well		
3RDFLR90	CMU Elevator Shaft	7	7 03-Jan-22	11-Jan-22	CMU Elevator Shaft		

Data Date - 2	23-Jul-21 Run Date - 28-Jul-21 at 09:21				Mex	xicaı	n-Am	erica	n Cı	ultur	al Ce	ente	r Scl	hedu	ıle											Page	e 18 o
y ID	Activity Name	Orig Dur	Rem Start Dur	Finish	20	021 Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	022 Jul	Aug	Sep	Oct 1	Nov	Dec Jan	Feb M	2023 lar Apr	May	Jun
3RDFLR130	Infill Existing Deck Openings	7	7 23-Sep-22	03-Oct-22									1			,			19				ck Openings			,	1
3RDFLR140	Erect Columns	5	5 04-Oct-22	10-Oct-22		1		1		i ! !				1				1			■ Erect C	Columns			1		i ! !
3RDFLR150	Erect Beams(Built Up Roof)	10	10 11-Oct-22	24-Oct-22				1		1				1							Ere	ect Bear	ns(Built Up Ro	of)	1		1
3RDFLR160	Install Metal Decking(Built Up Roof)	5	5 25-Oct-22	31-Oct-22										1				1			□ I	nstall M	etal Decking(B	uilt Up Roof)		1
3RDFLR100	Erect Joists for Stairwells/Elevator Shaft	3	3 26-Oct-22	28-Oct-22		1		1		i ! !				1				1			0 E	rect Jois	ts for Stairwell	s/Elevator Sl	naft		i ! !
3RDFLR110	Install Metal Decking for Stairwells/Elevator Shaft	5	5 31-Oct-22	04-Nov-22						1											•	Install N	1etal Decking	or Stairwells	/Elevator Sh	aft	
3RDFLR170	F/R/PRoof Deck(Built Up Roof)	5	5 01-Nov-22	07-Nov-22				1		1				1								F/R/P	Roof Deck(Bui	It Up Roof)			
3RDFLR190	Exterior Walls Food Rooms	3	3 08-Nov-22	10-Nov-22										1							0	Exteri	or Walls Food I	Cooms	1		1
3RDFLR180	Exterior Walls Restrooms	2	2 08-Nov-22	09-Nov-22						1				1							0	Exteri	or Walls Restro	oms	1		
3RDFLR200	Erect Joists for Restrooms	1	1 10-Nov-22	10-Nov-22				1	1	1 1 1				1				1 1 1	 			Erect	Joists for Restr	ooms	1 1 1	I I I	1 1 1
3RDFLR240	FOAM F/R/P Food Room Deck	5	5 11-Nov-22	17-Nov-22										1								■ FOA	AM F/R/P Food	Room Deck			1
3RDFLR210	Install Metal Decking Restrooms	3	3 11-Nov-22	15-Nov-22										1								■ Insta	ll Metal Decki	ng Restroom	3		
3RDFLR260	Erect Beams(Roof)	4	4 18-Nov-22	23-Nov-22		1			1	1 1 1			1 1 1 1 1 1	1				1 1 1			1	□ Er	ect Beams(Roo	of)	1	1 1	1 1 1
3RDFLR280	Install Metal Decking(Roof)	4	4 28-Nov-22	01-Dec-22						1												ė	Install Metal D	ecking(Roof)		
3RDFLR310	Install Sheathing Food Area/Restrooms	7	7 02-Dec-22	12-Dec-22		:			:	1				1		1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1		1	=	☐ Install Sheat	hing Food A	rea/Restroor	ns	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
3RDFLR400	Install EIFS	15	15 13-Dec-22	05-Jan-23		1			1	1 1 1			! ! ! !	1				1			1		Insta	I EIFS	1	1	! ! !
3RDFLR780	Install Exterior MEP&F Trim	10	10 06-Jan-23	19-Jan-23										1				1					I	nstall Exterio	or MEP&F T	rim	
Roof						1		1	1	1 1 1			i i	1				1	i 		i ! !				i i i	1	1
3RDFLR120	Install TPO for Stairwells/Elevetor Shaft	7	7 07-Nov-22	15-Nov-22																	-	■ Insta	ll TPO for Stai	wells/Elevet	or Shaft		
3RDFLR230	Install Insulation for Built Up Roof	7	7 08-Nov-22	16-Nov-22						1				1								Insta	ıll Insulation fo	Built Up Ro	oof		
3RDFLR250	Install TPO Restrooms	10	10 16-Nov-22	01-Dec-22		1	1 1		1	1 1 1			! ! ! !	1			1	1 1 1			1 1 1		Install TPO Re	strooms	1	1 1 1	1 1 1
3RDFLR770	Paint Exposed Structure at all Shafts	10	10 16-Nov-22	01-Dec-22						1				1				1					Paint Exposed	Structure at	all Shafts		
3RDFLR290	Install Membrane for Built Up Roof	10	10 17-Nov-22	02-Dec-22				1		1 1 1								1	1		1		Install Membra	ne for Built	Up Roof		
3RDFLR340	Install TPO for Roof	10	10 02-Dec-22	15-Dec-22						1				1									☐ Install TPC	for Roof			1
3RDFLR760	Reinstall Solar Panels	20	20 02-Dec-22	03-Jan-23						1												=	Reins	tall Solar Par	nels		
3RDFLR370	Install Built up Roof Paver System	15	15 09-Dec-22	03-Jan-23				1	1	1 1 1			1 1 1 1 1 1	1				1 1 1			1 1 1		Instal	l Built up Ro	of Paver Sys	tem	1
3RDFLR380	SET MEP Equipment on Roof	3	3 16-Dec-22	20-Dec-22						!											1		■ SET MEI	Equipment	on Roof		
3RDFLR460	Install Railing Built Up Roof	10	10 04-Jan-23	17-Jan-23						: : :				1									II I	nstall Railing	Built Up Ro	oof	
Build Out Food (!	1				1				1			1				1	1	1
3RDFLR300	Layout Walls	1	1 02-Dec-22	02-Dec-22						1				1				1				1	Layout Walls				1
3RDFLR320	Install Metal Studs	3	3 05-Dec-22	07-Dec-22		1		1		i 1 1				1				1	1		i : :	0	Install Metal	Studs	i ! !	1	1
3RDFLR350	Overhead MEP&F	10	10 08-Dec-22	21-Dec-22				1		1				1							1		Overhead	MEP&F			
3RDFLR430	Inwall MEP&F	10	10 22-Dec-22	09-Jan-23										1									Inw	all MEP&F			1
3RDFLR440	One Side Drywall	3	3 10-Jan-23	12-Jan-23		1			1	1 1 1			1 1 1 1 1 1	1 1 1		1	1	1 1 1			1		[] On	e Side Drywa	all	1 1 1	1 1 1
3RDFLR470	MEP&F Inspection	1	1 13-Jan-23	13-Jan-23				1	1	1 1 1				1		:		1	1		1 1 1		1 M	EP&F Inspec	tion	1	1
3RDFLR480	Frame Hard Lids	4	4 16-Jan-23	19-Jan-23						1				1		:	:	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1		1	:	₀ I	rame Hard 1	Lids	1	1
3RDFLR500	Insulate and 2nd Side Drywall	3	3 20-Jan-23	24-Jan-23				1		1 1 1								1				1		Insulate and	2nd Side D	rywall	
3RDFLR510	Tape and Texture	7	7 25-Jan-23	02-Feb-23						1								: : : :						Tape and	Texture		
3RDFLR530	1st and 2nd coat of Paint	4	4 03-Feb-23	08-Feb-23				; ; ;		1 1 1								1	1			1		□ 1st and	2nd coat of	Paint	1
3RDFLR550	MEP&F Trim	7	7 09-Feb-23	17-Feb-23				1	1	1 1 1			: : : : : : : : : : : : : : : : : : :	1		:	:	:	1		1 1 1	:		☐ MEP	&F Trim	1	1
3RDFLR580	Install Millwork	7	7 21-Feb-23	01-Mar-23		1		1	:	1				:		1	:	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	: ! !			:		☐ Ir	stall Millwo	rk	1
3RDFLR600	Install Flooring(Quarry Tile)	7	7 02-Mar-23	10-Mar-23						1 1 1								1				1			Install Floor	ing(Quar	ry Tile)
3RDFLR610	Install Doors and Hardware	2	2 13-Mar-23	14-Mar-23				1	1	1 1 1				1		:		1	1		!			1	Install Doo	ors and Ha	ardware
3RDFLR650	Install Specialties	3	3 15-Mar-23	17-Mar-23		:			:	: : :				1		: : :	:	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1		! ! !	:			Install Sp	ecialties	1
3RDFLR670	Install Kitchen Equipment	5	5 20-Mar-23	24-Mar-23				1	1	1				:				1				:		1 1	☐ Install I	Kitchen E	quipme
3RDFLR690	Final Coat of Paint	3	3 27-Mar-23	29-Mar-23		:		1	1	1 1 1				1		:		1	1		1				Final	1	7 -
3RDFLR700	Sundt Deficiency List	1	1 30-Mar-23	30-Mar-23		:		:	1	! ! !				1		! !	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1	1		! ! !				i	Deficier	i
3RDFLR710	Construction Clean	1	1 31-Mar-23	31-Mar-23				1	1	1				1		:	:	1	!		1	:		1 1	!	truction C	17
3RDFLR730	Owner/Arch Punch List	3	3 03-Apr-23	05-Apr-23				1	1	1 1 1				1				! !						1 1	:	ner/Arch I	- 1
3RDFLR740	Complete Punch List	5	5 06-Apr-23	12-Apr-23		:		:		: ! !			: :						1	: :					1	omplete I	1

D	Activity Name	Oria F	Rem Start	Finish	2021			ո Cult				J-			2022	2								2023		
		Orig F Dur	Dur		Jul	Aug	Sep	Oct No	/ Dec	Jan	Feb	Mar	Apr	May		Jul	Aug	Sep	Oct	Nov	Dec	Jan Fe	eb Mar	Apr N	/lay .	Jun
3RDFLR750	Final Clean	3	3 13-Apr-23	17-Apr-23								1						1						☐ Final	Clean	
Build Out Restroo	ms						1	1	1			1						i ! !	1 1 1 1			1				
3RDFLR220	Layout Walls	1	1 05-Dec-22	05-Dec-22			1		1			1						!	1 1		• ,	out Walls				
3RDFLR10	Install Metal Studs	1	1 08-Dec-22	08-Dec-22								1						! !			· · ·	all Metal \$tud				
3RDFLR270	Overhead MEP&F	7	7 09-Dec-22	19-Dec-22			1	1	1 1 1 1			1				1		1	1 1 1 1 1 1			Overhead MEI			1	
3RDFLR330	Inwall MEP&F	7	7 20-Dec-22	30-Dec-22			1		1			1				-		1	1 1 1 1 1 1			Inwall MEP	i			
3RDFLR360	One Side Drywall	3	3 03-Jan-23	05-Jan-23								1						1	, , 1 1 1 1			■ One Side	1			
3RDFLR390	MEP&F Inspection	1	1 06-Jan-23	06-Jan-23			1	! ! !	1 1 1			1 1	1		1 1 1	1 1 1		1 1 1	1 1 1 1 1 1			MEP&F	- 1		1	
3RDFLR410	Frame Hard Lids	2	2 09-Jan-23	10-Jan-23					1			1						1	1 1			Frame H				
3RDFLR420	Insulate and 2nd Side Drywall	3	3 11-Jan-23	13-Jan-23			:		1			1				į			i i			_ :	and 2nd Si	1 1		
3RDFLR450	Tape and Texture	4	4 16-Jan-23	19-Jan-23			1	!	1 1 1			1 1				1		1	1 1 1 1 1 1				and Texture	1 1	1	
3RDFLR490	1st and 2nd coat of Paint	4	4 20-Jan-23	25-Jan-23				1	1			1	1		1 1 1 1	1		1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1				and 2nd coa	1 1	1	
3RDFLR520	MEP&F Trim	7	7 26-Jan-23	03-Feb-23			: ! !	i 1 1	1 1 1 1			1	1		1 1 1	; ;		1 1 1	i i				4EP&F Trir	i i	1	
3RDFLR540	Install Millwork	7	7 06-Feb-23	14-Feb-23					1			1											Install Mi	llwork		
3RDFLR560	Install Ceramic Tile	7	7 15-Feb-23	24-Feb-23			1	1	1			1						i ! !	1 1 1 1			1		Ceramic Tile	1	
3RDFLR570	Install Doors and Hardware	2	2 27-Feb-23	28-Feb-23			1	1	1			1			1			1	1 1 1 1 1 1			1	1	Doors and H	1	;
3RDFLR590	Install Specialties	7	7 01-Mar-23	09-Mar-23								1						1				1	Inst	all Specialtie	s	
3RDFLR620	Final Coat of Paint	3	3 10-Mar-23	14-Mar-23			1	1	1			1						i ! !	i i			1		nal Coat of P	- 1	
3RDFLR630	Sundt Deficiency List	1	1 15-Mar-23	15-Mar-23			1		1			1										1	S	undt Deficier	icy List	
3RDFLR640	Construction Clean	1	1 16-Mar-23	16-Mar-23								1				į			, , , , , , , , , , , , , , , , , , ,			1		Construction C	- :	
3RDFLR660	Owner/Arch Punch List	3	3 17-Mar-23	21-Mar-23			1	!	1 1 1			1 1		1		1		1 1 1	1 1 1 1 1 1			1 1 1	i	Owner/Arch	i	
3RDFLR680	Complete Punch List	5	5 22-Mar-23	28-Mar-23					1			1						1	1 1			1		Complete l	Punch Li	ist
3RDFLR720	Final Clean	3	3 29-Mar-23	31-Mar-23			1	i ! !	1 1 1			1			1	i !		i 1 1	i i			1	1	Final Clea	n	
ART UP / CC	OMMISSIONING						1	!	1			1	1		1	1		1	1 1			1	1			
JC1000	Mechanical & Electrical Equipment Startup & PE	15	15 18-Jan-23	07-Feb-23			1	1	1			1				1		i ! !	i i				Mechanical	& Electrical	Equipm	ient S
JC1010	HVAC Commissioning/LEED Air Turns	25	25 08-Feb-23	15-Mar-23			1	1	1			1							1 1				H	VAC Commi	ssioning	∮LEF
JC1030	Climatize Building	10	10 08-Feb-23	17-Feb-23					1			1			1								□ Climatiz	e Building		
JC1020	Building Commissioning Complete	0	0	15-Mar-23			1 1 1	1 1 1	1 1 1		1 1 1	1 1	1		1 1 1	1 1 1		1 1 1	1 1 1 1 1 1			1 1 1	♦ B	uilding Comr	nissionii	ng Co
JNCH LIST												1			1			1	1 1			1				
L1080	Sitework Punch	5	5 09-Jan-23	13-Jan-23			1		i i i			1			1 1 1	1		i ! !	i i			☐ Sitewor	rk Punch			
1000	Libary Punch	5	5 18-Jan-23	24-Jan-23			1		1			1						1	1 1 1 1 1 1			□ Liba	ary Punch			
1010	MACC Punch	5	5 25-Apr-23	01-May-23				: : :	1			: : :	:	:	1 1 1							1 1 1		■ N	1ACC P	unch
.1060	WEATHER ALLOWANCE	32	32 02-May-23	15-Jun-23			!					1	1		1	1		1	1 1 1 1 1 1			1		_		_ V
1020	Substantial Completion	0	0	15-Jun-23			1	1	1			1	1		1 1 1 1			! !	, I			1 1 1	1		1	♦ S
.1030	Owner Fixtures, Furnishings, Art Work and Trim	20	20 16-Jun-23	14-Jul-23			!		i i i			:	:		1			1 1 1				1			1	
.1070	Punchlist Corrections	20	20 16-Jun-23	14-Jul-23			!	!	1			1 1 1	:	:	1	!		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	! ! ! ! ! !			1 1 1	1		1	
L1040	Final Walk-Through	1	1 17-Jul-23	17-Jul-23					1			1	1		1 1 1	1						1				
1050	Final Completion of Project	0	0	17-Jul-23			1	1	1 1 1			1	1		1 1 1			1 1 1	i i			1	1		1	



	GN DEVELOPMENT PAG	E TURN REVIEW COMMENTS		 	ļ	
				estimator:	RAB	
Drawings/Page Index/ Sheet #	Page Title / Label / Sheet Label	Subject	Comment Author	Comments	STATUS: C= Concur O= Owner's Directive R= Retired NC = Needs Clarification	Resolved in 1009 (NC/No/Y commen
	1	Constructability Issue	Rudy Barba	27 4 1 16 Audio Visual. para.1.2B Reads this scope to be shown on "T-series" drawings, there are no such drawings, reference correct drawings.		01 -
	1	Text Box	jvriccillo	PLEASE INSERT CITY OF EL PASO UGC PORTION OF CONTRACT AS FRONT END DOCUMENTS - JR		01 -
	2	Callout	Christine.Skaglund	01 5639 appears in the TOC but the section is not included in this book		01 -
	3	Callout	SPerez	Specifications for 10 10 50 Marker Boards		01 -
	4	Text Box	rabarba	E3-4L		01 -
	8	Text Box	jvriccillo	insert "or other owner approved format similar in nature."		01 -
	8	Text Box	jvriccillo	insert "or other owner approved schedule similar in nature."		01 -
	8	Text Box	jvriccillo	this sentence is not applicable to alternative cost plus delivery methods.		01 -
				in the CMAR format this needs to read the owner, or duplicate language from the Owner's Unified		01 -
	9	Cloud+	jvriccillo	General Conditions to avoid a conflict		01 -
	9	Text Box	jvriccillo	insert "or other owner approved format similar in nature."		01 -
	10	Text Box	jvriccillo	insert "or other owner approved format similar in nature."		01 -
	11	Cloud+	jvriccillo	Should we not just publish the City UGC as part of the front of this specifications to avoid conflicts:	,	01 -
	CO.OM_CIVIL GENERAL NOTES	RFI	Rudy Barba	Will City coordinate with on site art museum, to verify operations do not effect any art puces?		01 -
	C1.0M_CIVIL DEMOLITION PLAN	Length Measurement	Rudy Barba	79'-4 1/2"		01 -
	12	Cloud+	jvriccillo	This looks like an allowance line item (no action required by A/E- discussion only		01 -
	C2.0M_ENLARGED GRADING PLAN	Length Measurement	Rudy Barba	73'-5 1/2"		01 -
	14	Text Box	jvriccillo	insert "as indicated in the drawings"		01 -
	15	Cloud+	jvriccillo	unless indicated otherwise.		01 -
	16	Text Box	jvriccillo	as indicated on the drawings or as specified.		01 -
	16	Text Box	jvriccillo	or		01 -
	16	Cloud+	jvriccillo	This would need to be an allowance item.		01 -
	17	Cloud+		Do we mean floor surfaces? this could potentially create thousands of items otherwise or will be ignored.		01 -
			jvriccillo			01 -
	17 A100.1L_SUB-	Cloud+	jvriccillo	We can create an allowance for this as a team, but this is not an enforceable item in a contract.		
	BASEMENT -EXISTING DEMO PLAN	Contractor	Parker	CONTRACTOR TO REMOVE MILLWORK SHELVES 009 CONTRACTOR TO REMOVE CABINET(S) 011 CONTRACTOR TO REMOVE WINDOW 015 CONTRACTOR TO REMOVE DOOR(S)		01 -
	A100.1L_SUB- BASEMENT -EXISTING DEMO PLAN	02 40 00 - Demolition & Structural Moving	eespalin	Demolition contract must provide a plan to include engineered shoring drawings before concrete floor removal can start.		01 -
		02 40 00 - Demolition & Structural		Demolition contract must provide a plan to include engineered shoring drawings before concrete		01 -
	EXISTING DEMO PLAN	Moving	eespalin	floor removal can start.		
	19	Text Box	jvriccillo	Not applicable in this contract		01 -
	A100.7L_ENLARGED DEMO STAIR PLAN &	02 40 00 - Demolition & Structural				01 -
	DETAILS	Moving	eespalin	Include all selective demolition for staircase Per Detail 1, 2, 3, and 4 / A100.7L		
	A100L_SITE PLAN NEW	08 40 00 - Entrances, Storefronts, & Curtain Walls	jrheuberger	Library entrance		01 -
	A100L_SITE PLAN NEW	04 00 00 - Masonry	jrheuberger	Rock wall at library		01 -
	A100.8M_DEMO ELEVATIONS - EXTERIORELEVATIONS	RFI	SPerez	Reference keynote 926 and 928. Kiosk and bench need to be removed for construction. Please confirm if items are to be protected and turned over to the owner.		01 -
	A102M ELOOP DLAN		31 6162	Tomas are to be protected and turned over to the owner.		

01 -

A103M_FLOOR PLAN -

LEVEL 1

Area Measurement

jrheuberger

1,619.51 sf

	A103M_FLOOR PLAN -					
	LEVEL 1	Area Measurement	Rudy Barba	5,168.47 sf		01 -
	A104M_FLOOR PLAN - LEVEL 2	Constructability Issue	jrheuberger	P9, P10 are not on the finish schedule		01 -
	A106M_ROOF PLAN -					
	NEW TPO BELOW			,		01 -
	PAVERS A110M ROOF PLAN -	Area Measurement	Rudy Barba	7.492 sf		
	THIRD LEVEL NEW			In regards to General Note No. 2, this is a Hard Bid Requirement. Please remove or edit to be align		01 -
	ROOFS	Constructability Issue	SPerez	with CMAR contract.		01-
	A301L BUILDING	, , , , , , , , , , , , , , , , , , , ,				
	SECTIONS -CURTAIN			02/A301L calls for Walk Off Mat as specified. Please provide specifications for the recessed mat.		01 -
	WALL ENTRANCE	RFI	SPerez	(Please reference 01/A404L as well)		
	A403L_ENLARGED	08 40 00 - Entrances, Storefronts, &				01 -
	WALKWAY	Curtain Walls	jrheuberger	Spandrel Glass		
	A403L ENLARGED	08 40 00 - Entrances, Storefronts, &				01
	WALKWAY	Curtain Walls	jrheuberger	Transverse Walkway		01 -
	A202M EXTERIOR	curtain waiis	jineaberger	Transverse warkway		
	ELEVATIONS	Length Measurement	jrheuberger	29'-11 3/4"		01 -
	A202M_EXTERIOR					2.
	ELEVATIONS	Length Measurement	jrheuberger	4'-0"		01 -
	A204M_EXTERIOR					01 -
	ELEVATIONS	Length Measurement	Rudy Barba	13'-7 3/4"		01-
	A204M_EXTERIOR			201 44 0 (41)		01 -
	ELEVATIONS	Length Measurement	Rudy Barba	43'-11 3/4"		
	M100L_LEGEND, NOTES SCHEDULES AND					
	DETAILS	Constructability Issue	Rudy Barba	Detail 4/M1000 - change flex duct max length to match General Note 12 sheet M100L to equal 5'.		01 -
	M201L BASEMENT	Constructability Issue	Ruuy barba	Detail 4/M1000 - change nex duct max length to match deneral Note 12 sneet M100L to equal 5.		
	DEMOLITION			All HVAC sheets coordinate Keyed Notes so as each note always has the same scope of work, add		01 -
	MECHANICAL PLAN	Constructability Issue	Rudy Barba	note ID numbers as needed.		01 -
	A523M INTERIOR	constructus.iicy issue	nady barba	index is manifers as needed.		
	CONSTRUCTION					01 -
	DETAILS	10 14 00 - Signage	SPerez	interior steel lettering by Signage		01
	S101M_QUALITY					
	ASSURANCE	31 00 00 - Earthwork	jrheuberger	Overex and engineered fill to limits required by structure and geotech report		01 -
	S600M_FOUNDATION					01 -
	DETAILS	Length Measurement	Rudy Barba	3'-3/4"		01-
	E1.0M_SITE PLAN					
	NEW.MACC Clevland	0.11		Coordinate all convenience outlets and underground conduit with tree planting plans: L4.01M &		01 -
	Square E1.0M SITE PLAN	Callout	Christine.Skaglund	L4.02M		
	NEW.MACC Clevland					01 -
	Square	Callout	Christine.Skaglund	Coordinate this Z1 pole with the tree planting plan: L4.01M		01 -
	E1.0M_SITE PLAN					
	NEW.MACC Clevland					01 -
	Square	Callout	Christine.Skaglund	Provide power to relocated city kiosk.		
	E1.0M_SITE PLAN					
	NEW.MACC Clevland					01 -
	Square	Text Box	Christine.Skaglund	Refer to L5.00M for light pole layout in this location		
	462	C-llt		07 4229 2.3.B Please provide details of Horizontal and vertical support profiles. Or call out the		01 -
	192	Callout	nehermesch	manufacturer's product and model number.		
				07 4229-6 2.3.B Terracotta wall panel attachment. Conflicts with drawings and manufacturer details Configuration is "J - ALUM Girt" per Dtl 2/A500M and not Zee or Hat channel Member		04
	192	Cloud+	nehermesch	Depth - is not indicated on drawings. Please provide.		01 -
	393	Constructability Issue	SPerez	Please confirm Food Service Equipment is Contractor Furnish Contractor Install.		01 -
	555	and a state of the	J. CICE	21 0000 para. 2.A - O & W, plus all specs noting site fire hydrants and underground work do Not		
	439	Constructability Issue	Rudy Barba	apply to this project, there is no UG Fire Piping.		01 -
40				C0.0 18.44.090 WARRANTY - Not applicable to this project, there should only be a single building		
10	C0.0	Cloud+	Rudy Barba	permit.	С	02 No
16	C4.0	Test Box	Rudy Barba	Sheet C4.0, detail 4 - Where are the concrete flumes to be located and what lengths, please detail?	NC	02 No
	5.00		•			
38		Callout	Daniela Quesada CID	We're keeping the limestone cladding that's here, right?	С	02 No

44	A103	Cloud+	oytrueba	No interior elevation for loading dock receiving cabinets. Provide type of cabinets and details.	С	02 No
47		Callout	jrheuberger	Need to add cricket in front of elevator shaft	С	02 No
85	S101	Text Box	Rudy Barba	Sheet S101 - There no reference to drilled concrete pier foundations for new structures as noted in the Geotechnical report (20' to 48' VLF), please confirm requirements	С	02 No
96	\$402	Callout	Rudy Barba	Sheet S402 Rooftop 3rd level floor framing - No details are found for the stub column heights and top and bottom tie in details; what are the requirements, please detail?	С	02 No
42	A100.9 - DEMO PLAN - ROOF	Cloud+	oytrueba	New roof plan does not show solar panels relocation plan/details, What type of solar panels? For new connections DETAILS NEEDED?	NC	02 No
43	A103 - FLOOR PLAN - LEVEL 1	Cloud+	oytrueba	No interior elevation for leading dock receiving cabinets. Provide type of cabinets and details.	NC	02 No
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A122 - Locate new door opening, door not shown on door schedule	NC	02 No
49	A122 - DIMENSION PLAN -LEVEL 1	Cloud+	Daniela Quesada CID	high large window shown in Missouri elevation? not shown in plans	NC	02 No
57	A145 - FURNITURE PLAN -LEVEL 1	Text Box	Daniela Quesada CID	Can we get the update furniture count? All the new/refurbished furniture, as well the built-in furniture that is already being included in the cost?	NC	02 No
57	A145 - FURNITURE PLAN -LEVEL 1	Cloud+	oytrueba	Furniture is not included, please provide details and specs if needed to include.	NC	02 No
58	A146 - FURNITURE PLAN -LEVEL 2	Text Box	Daniela Quesada CID	Can we get the update furniture count? All the new/refurbished furniture, as well the built-in furniture that is already being included in the cost?	NC	02 No
98	A601 - SCHEDULES	Cloud+	oytrueba	missing Door marks 225, 241, 246, 247?	NC	02 No
9	C0.0 - CIVIL GENERAL NOTES	Cloud+	RAB	(Comment not resolved from DD Set) C0.0 18.44.090 WARRANTY - Not applicable to this project, there should only be a single building permit.	С	02 No
9	CO.0 - CIVIL GENERAL NOTES	Callout	RAB	(Comment not resolved from DD Set) Sheet CO.0, NOTE - As designed all existing Sundt Construction is not the Designer of record and cannot be held liable for existing construction or new design elements. Sundt will be liable for constructing and elements not to design.	С	02 No
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Constructability Issue	HAlvarado	Confirm if bike racks are surface mounted or cast in concrete as relocation may not be possible.	NC	02 No
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Cloud+	oytrueba	Sheet C1.1, Exisitgn Storm Manhole #1 - After our 30-Sept. site visit & discussion w/Sergio Castillo there does not seem to be an existing manhole. Are we to assume adding a new manhole.	NC	02 No
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Callout	oytrueba	Sheet .1 EXISTING 12" DRAIN PIPE - As shown here and subsequent sheets and as noted on Sheet C1.0 this line is to be partially demolished and left capped at the north section left in place. Where is water to flow? What is required at the south end of the removed section?	с	02 No
12	C2.0 - SHEET TITLE ENLARGED GRADING PLAN	Text Box	jmrivera	can this be less than 4.9% to give more tolerance? also, please verify to not exceed 5% throughout	NC	02 No
13	C3.0 - SHEET TITLE ENLARGED DRAINAGE PLAN	Text Box	jmrivera	what do ADA requirements call out for level landings on areas with continous 5%?	NC	02 No
14	C3.1 - SHEET TITLE STORM WATER LINE 1 PLAN VIEW & PROFILE	Callout	oytrueba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - There does not seem to be an existing manhole, please clarify the required scope of work.	NC	02 No
15	C4.0 - SHEET TITLE DETAILS	Text Box	RAB	Sheet C4.0, detail 4 - Where are the concrete flumes to be located and what lengths, please detail?	С	02 No
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Text Box	jtstrub	FA Notes C - Delete Note - What constitutes Equal Performance need more description.	NC	02 No
157	ED1.2 - SHEET TITLE DEMOLITION 2ND FLR.	Callout	ladams	E3.2 does not show the new solar panel locations	NC	02 No
157	ED1.2 - SHEET TITLE DEMOLITION 2ND FLR.	Callout	ladams	Relocation will require new feeders. What size? Where are they fed from?	NC	02 No
159	ESDI .0 - SHEET TITLESITE PLAN NEW.MACC DEMOLITION	26.100 - Electrical	jtstrub	Fixture type 11 - change designate to adjust fixture elevation to match final ground elevation.	NC	02 No

THE INTERIOR Comment Description Description Part Descriptio		ESDI .0 - SHEET					
8 GENATION 1 25 125 125 125 125 125 125 125 125 125 1	159		26.100 - Electrical	jtstrub		NC	02 No
## Second Force* Into Issa. Improved Into Issa. Improved Into Issa. Into					them: Flovide an address.		
Second Floric Control Text for Laboratory Text fo	8		Text Box	imrivera	please verify location/quantity of fire extinguishers	NC	02 No
Provide control displane for National Provides control displane for National Provides Control displane for National Provides Control Services in National Services (Services)							
Page							
Pico 21.100 - Fire Protection nehermesch Designation 1.00 New antiquisare devolution 1.00 New Activity 1.00 New	120	111202	TEXT BOX	iddains	·	.,,	52.110
132 P100 Text 80x Pudy 8 arba show all new domestic power, water all cast animary severe profile riles, pleases confirm and show ever to building. It she same true for Natural Gas and fire Sprinkler lines, pleases confirm and show ever to building. It she same true for Natural Gas and fire Sprinkler lines, pleases confirm and show ever to building. It she same true for Natural Gas and fire Sprinkler lines, pleases confirm and show ever to building. It she same true for Natural Gas and fire Sprinkler lines, pleases confirm and show expenditure to building. It shows the state informationfrom the Water District for estimating purposes." 122 P100 72.100 - Plumbing rehermench 123 P202 Callout Idadams Need water and drains to all handlers in gallery area. Conditions. 123 P202 Callout Idadams Need water and drains to all handlers in gallery area. Conditions of the indeen in fur or Ca 2 No. 123 P202 Clouds Idadams Need water and drains to all handlers in gallery area. Conditions of MECH NC 22 No. 124 P202 Clouds Idadams Need water and drains to all handlers in gallery area. Conditions of the first of the set draining and provide size. NC 02 No. 125 P202 Clouds Idadams Need water and drains to all handlers in gallery area. Conditions of the set draining and provide size. NC 02 No. 125 P202 Clouds Idadams Need water to sink. Verify piping thown is draining and provide size. NC 02 No. 126 P202 No. SHEET TITLE 127 SINULTURAN NOTES 128 STRUCTURAN NOTES 129 STRUCTURAN NOTES 120 SINULTURAN NOTES 121 SINULTURAN NOTES 121 SINULTURAN NOTES 122 No. SHEET TITLE 123 SINULTURAN NOTES 124 SINULTURAN NOTES 125 SINULTURAN NOTES 126 SINULTURAN NOTES 127 SINULTURAN NOTES 127 SINULTURAN NOTES 128 SINULTURAN NOTES 129 SINULTURAN NOTES 120 SINULTURAN NOTES 120 SINULTURAN NOTES 121 SINULTURAN NOTES 122 SINULTURAN NOTES 123 SINULTURAN NOTES 124 SINULTURAN NOTES 125 SINULTURAN NOTES 126 SINULTURAN NOTES 127 SINULTURAN	132	P100	21.100 - Fire Protection	nehermesch	information is given. 1. What type of system is the existing Fire Sprinkler System? 2. Do we anticipate relocating any of the mains or branch lines? Common reasons for this include: Ceiling height changes and conflicts with added or changed ductwork. 3. Will the final feeds to spine heads be replaced or remain in use? 2. How is Fire Water being supplied to the addition? By branching off of the existing mains? If so, please provide the location of the tap, the size, and please confirm the expected flow rate of Fire Water Supply to the addition is achievable from the existing system. 3. Will the Fire Sprinkler System remain active throughout construction? Is the area to be renovated under a separate zone that can be monitored separately? If not, any work on the active lines must be done in coordination with the Local Fire Department, during which the Fire Alarm will need to be placed in test mode and monitored at all times and put back into full	NC	02 No
PEase provide details for Roof Drain and Overflow Plasse provide details for Roof Drain and Overflow Drain including, Size, Material, and Overflow Plasse provide details for Roof Drain and Overflow Drain including, Size, Material, and Overflow Oral mixed of Drain and Overflow Drain including, Size, Material, and Overflow Oral mixed oral for these drains to be hidden in furrous Outs near the columns. Pease are not of Drain and Overflow Drain including, Size, Material, and Overflow Outs near the columns. No. 02 No. 22 No. 235 P202 Cloud* ladams Need water and drains to all humidifiers in gallery area. Coord quantities and locations w/ MECH NC. 9 ST00 - STEET TITLE RFI Rody Barba Sheet S100 Notes Stream with McCupps with the referenced details are not specified, please No. 02 No. 20 No. 300 - STEET TITLE DS 100 - Steel Rudy Barba Sheet S100 Notes STEEL JOSTS Consider removing "by a member of SI" for the Erector only, as No. 9 ST00 - STEET TITLE DS 100 - Steel Rudy Barba ST00 - STEEL JOSTS Consider removing "by a member of SI" for the Erector only, as No. 9 ST00 - STEEL TITLE DS 100 - Steel Rudy Barba ST00 - STEEL JOSTS Consider removing "by a member of SI" for the Erector only, as No. 100 - Steel S100 Notes "STEEL JOSTS Consider removing "by a member of SI" for the Erector only, as No. 9 ST00 - STEEL TITLE DS 100 - Steel Rudy Barba ST00 - STEEL TITLE ST00 - STEEL TITLE Construct fielding best in a very small plats by only and plate plate story small plats by only and plate plate plate story small plats by only and plate	132	P100	Text Box	Rudy Barba	show all new domestic power, water and sanitary sewer points of demarcation within the existing building. Is the same true for Natural Gas and Fire Sprinkler lines, please confirm and show new to existing points of connection?	NC	02 No
Piese provide details for Roof Drain and Overflow Drain Including, Size, Material, and Overflow Drain Including, Size, Materials, and Overflow Drain Including, Size, Materials, and Overflow Drain Including, Size, Materials, and Overflow Drain Including, Size, Materials of the Size of the Size of the Columns, out the Columns. No. C. 20 No. C. 22 No	132	P100	21.100 - Fire Protection	nehermesch		NC	02 No
135 P202 Callout ladams Need water to sink. Verify piping shown is drainage and provide size. NC 02 No 135 P202 Cloud* ladams Verify kitchen plumbing requirements. Need gas for cookline, floor drains, etc. NC 02 No 28 No 29 S100 - SHEET TITLE RFI Rudy Barba Sheet S100 Note 10 - on AES requires Mockups yet the referenced details are not specified, please coordinate and provide details. NC 02 No 28 No 28 No 28 No 29 STRUCTURAL NOTES STRUCTURAL NO	132	P100	22.100 - Plumbing	nehermesch	Please provide details for Roof Drain and Overflow Drain including, Size, Material, and Overflow Drain wall outlet dimensions. The Architectural Drawings call for these drains to be hidden in furr	NC	02 No
135 P202 Cloud+ Isdams Verify kitchen plumbing requirements. Need gas for cookline, floor drains, etc. NC 02 No				ladams	- 1		
STRUCTURAL NOTES SHORT STRUCTURAL NOTES STRUCT							
STRUCTURAL NOTES SIDO_SHEET TITLE STRUCTURAL NOTES STRUCTURAL DISABANCE STRUCTURAL DI	135		Cloud+	ladams		NC	02 No
STRUCTURAL NOTES 99 STRUCTURAL NOTES 100 SHEET TITLE 100 SIDO - SHEET TITLE 101 SIDO - SHEET TITLE 102 STRUCTURAL NOTES 103 SHEET TITLE 104 STRUCTURAL NOTES 105 SHEET TITLE 105 SHEET TITLE 105 SHEET TITLE 106 SIDO - SHEET TITLE 107 SHEET TITLE 107 SHEET TITLE 108 SHEET SHEET TITLE 109 SHEET TITLE 100 SIDO - SHEET TITLE 100 SIDO - SHEET TITLE 100 SIDO - SHEET TITLE 101 SIDO - SHEET TITLE 102 SHEET TITLE 103 SHEET TITLE 104 SHEET TITLE 105 SHEET TITLE 105 SHEET TITLE 106 SHEET TITLE 107 SHEET TITLE 108 SHEET SHEET TITLE 109 SHEET TITLE 109 SHEET TITLE 100 SHEET SHEET SHEET SHEET SHEET SHEET SHEET SHEET SHEET SHOP SHEET SHE	99		RFI	Rudy Barba	coordinate and provide details.	NC	02 No
SIDO - SHEET TITLE OS.100 - Steel Rudy Barba Sheet SIDO Notes "STEEL JOST GIRDERS" Consider removing "by a member of SI" for the Erector only, as this is a very small joist job.	99		05.100 - Steel	Rudy Barba		NC	02 No
SIDO - SHEET TITLE O1.000 - General Conditions nehermesch Please provide Geotech Report as referenced on S100. R O2 No	99		05.100 - Steel	Rudy Barba	Sheet S100 Notes "STEEL JOIST GIRDERS" Consider removing "by a member of SJI" for the Erector	NC	02 No
Side Sheet Title OS.100 - Steel Rudy Barba Sheet S101 Structural Inspections - per contract fielding testing is by the owner, please note as Such herein. NC O2 No	99	S100 - SHEET TITLE	01.000 - General Conditions	nehermesch		R	02 No
S102 - SHEET TITLE STRUCTURAL DETAILS S103 - SHEET TITLE STRUCTURAL DETAILS S104 - SHEET TITLE STRUCTURAL DETAILS Text Box Rudy Barba Sheet S104 Detail 1 - Structural Diagrams: this plan view has no reference sections or notes, please define scopes of work. NC 02 No	100	S101 - SHEET TITLE	05.100 - Steel	Rudy Barba		NC	02 No
S102 - SHEET TITLE STRUCTURAL DETAILS S104 - SHEET TITLE STRUCTURAL DETAILS S104 - SHEET TITLE STRUCTURAL DETAILS S104 - SHEET TITLE STRUCTURAL DIAGRAMS Text Box Rudy Barba Sheet S104 Detail 1 - Structural Diagrams: this plan view has no reference sections or notes, please define scopes of work. NC O2 No	101	S102 - SHEET TITLE	Callout	Rudy Barba	Detail 3/S102: Reference Sheet S100 Foundation Note 10 Vapor barrier placement	NC	02 No
SIRUCTURAL STRUCTURAL DIAGRAMS STRUCTURAL DIAGRAMS SOURCE TITLE STRUCTURAL DIAGRAMS SOURCE TITLE STRUCTURAL DIAGRAMS SOURCE TITLE FOUNDATION DEMOLITION PLAN DEMOLITION PLAN SOURCE TITLE FOUNDATION DEMOLITION PLAN SOURCE TITLE SOURCE TITLE SOURCE TITLE FOUNDATION DEMOLITION PLAN SOURCE TITLE SOURCE TITLE SOURCE TITLE FOUNDATION DEMOLITION PLAN SOURCE TITLE SOURCE TITLE FOUNDATION DEMOLITION PLAN SOURCE TITLE FOUNDATION Callout Rudy Barba Sheet S200 Does not Note or Detail the required structural demolition for new structural personal detail the required structural demolition for new structural foundations, please clearly define and detail this scope of work. 104 FOUNDATION Cloud+ Rudy Barba Sheet S200 Does not Note or Detail the required structural demolition for new structural foundations, please clearly define and detail this scope of work. 105 S200 - SHEET TITLE FOUNDATION Callout Rudy Barba S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Include only Note #1. NC DEMOLITION PLAN Please identify, key note, and detail all required demolition scopes of work. 106 DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Include only Note #1. NC DEMOLITION PLAN Please identify, key note, and detail all required demolition scopes of work. 107 NO DEMOLITION PLAN Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION Callout Rudy Barba DEMOLITION PLAN S300 - SHEET TITLE FOUNDATION CALL PLAN SANGER SANGER STRUCTURAL PLAN SANGER SANGER STRUCTURAL PLAN SANGER	101	S102 - SHEET TITLE)3.000 - Structural Concrete (Turnkey	nehermesch	Detail 6/S102 - Should this say "BOT. OF FTG. EL" in lieu of "FIN. FLR. EL" at the bottom of the	NC	02 No
STRUCTURAL DIAGRAMS STRUCTURAL DIAGRAMS S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION CAllout Rudy Barba Callout Rudy Barba Callout Rudy Barba Coordinate the grid lines with Structural drawings gridlings do not match between disciplines NC O2 No O							
FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION Cloud+ Rudy Barba S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION Callout Rudy Barba S200 - Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Include only Note #1. Please identify, key note, and detail all required demolition scopes of work. NC O2 No DEMOLITION PLAN NC O2 No Please identify in boid lines the specific wall boundaries, currently nolly a content specific wall boundaries, point and be deat in the wall boundaries, currently nolly a content specific wall boundaries, point and boun	103	STRUCTURAL DIAGRAMS	Text Box	Rudy Barba		NC	02 No
S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE Constructability Issue HAlvarado Coordinate the grid lines with Structural drawings gridlines do not match between disciplines NC Q2 No Q2 N	104	FOUNDATION	Cloud+	oytrueba		NC	02 No
S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN Callout Rudy Barba Sheet S200 Does not Note or Detail the required structural demolition for new structural foundations, please clearly define and detail this scope of work. NC 02 No DEMOLITION PLAN S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN Callout Rudy Barba S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Include only Note #1 Please identify, key note, and detail all required demolition scopes of work. NC 02 No DEMOLITION PLAN S300 - SHEET TITLE Constructability Issue HAlvarado Coordinate the grid lines with Structural drawings gridlings do not match between disciplines. NC 02 No	104	S200 - SHEET TITLE FOUNDATION	Callout	Rudy Barba	demo at the West and East existing stairwells. Please identify, note, and detail the required	NC	02 No
104 FOUNDATION Callout Rudy Barba S200-Foundation, \$201-2nd Floor, & \$203-Roof Structural Demolition Plans: Include only Note #1. NC 02 No DEMOLITION PLAN S300 - SHEET TITLE Constructability Issue HAlvardo Coordinate the grid lines with Structural drawings gridlings do not match between disciplines. NC 02 No	104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	Rudy Barba	Sheet S200 Does not Note or Detail the required structural demolition for new structural	NC	02 No
107 I Constructability Issue I HAlvarado I Coordinate the grid lines with Structural drawings gridlines do not match between disciplines I NC I D2 No.	104	FOUNDATION	Callout	Rudy Barba		NC	02 No
	107	S300 - SHEET TITLE FOUNDATION PLAN	Constructability Issue	HAlvarado	Coordinate the grid lines with Structural drawings gridlines do not match between disciplines.	NC	02 No

107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Provide details for drill piers on existing walls.	NC	02 No
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	Rudy Barba	Sheet S300 PLAN NOTES "WX" - The referenced wall schedule does not seem to be included.	NC	02 No
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Details are not showing foundation details for the stairs, please clarify	NC	02 No
115	S600 - SHEET TITLE FOUNDATION DETAILS	Text Box	Rudy Barba	Structural Sheets S600, S601, S700, S701, S800, & S801 Section Details: are not referenced to the plan drawings, please coordinate.	NC	02 No
116	S700 - SHEET TITLE TYPICAL FRAMING DETAILS	Cloud+	Rudy Barba	Sheet S700, Detail 7 Composite Beam Construction: Please define the locaiton where this detail is to be applied?	NC	02 No
20	SHEET L1.00 - SHEET TITLE OVERALL SITE PLAN	Cloud+	oytrueba	Revised notes A/B	С	02 No
23	SHEET L2.01 - SHEET TITLE HARDSCAPE DETAILS	Text Box	jmrivera		С	02 No
23	SHEET L2.01 - SHEET TITLE HARDSCAPE DETAILS	Image	jmrivera		С	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Callout	Daniela Quesada CID	for MACC logo, please match the font and style from the branding established by the City	NC	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	I beam detail 5/L2.10 sign letters height changed from 1' to 2'	С	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	Revised note/detail light to be mounted not with channel	С	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	1/L2.10 Complete new detail	С	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	Sign Revised and reduced (Less letters)	С	02 No
34	SHEET L4.02 - SHEET TITLE PLANTING PLAN	Text Box	Daniela Quesada CID	Coordinate the landscape plan as needed with EPE to keep the 10' easement needed for re- routing of switch.	NC	02 No
cifications 50%	CD					02 No
1		Text Box	Rudy Barba	All Spec Sections: - coordinate proper CSI numbering system and order e.g., 01 26 00 or 01 2600 - consistently number each page of each section e.g., 1 of 12	NC	02 No
1		Cloud+	oytrueba	Revise title on TOC for Steel Roof decking vs Steel Floor decking on TOC	NC	02 No
2		Cloud+	oytrueba	097200 dry erase wall covering missing in TOC and package, please confirm deleted scope?	NC	02 No
16		Highlight	Rudy Barba	Spec 01 1200 3.1.B.: Beginning of restoration Work means acceptance of existing conditions.	NC	02 No
20		Callout	Rudy Barba	01 3000 - 1.2.B. insert, "design of" after Verify.	NC	02 No
28		Highlight	Rudy Barba	Spec 01 5100 - 1.3 TEMPORARY ELECTRICITY A. Refer to General Conditions of the Contract; paragraph 5.20 OBLIGATION FO TEMPORARY ELECTRICAL POWER. Please note there is no such paragraph in the Contract. Should this read "7.03 Services, Materials, and Equipment"?	NC	02 No
29		Highlight	Rudy Barba	Spec 01 5100 - 1.9 FACSIMILE SERVICE A. Provide, maintain and pay for facsimile service Fax machines and service are obsolete, please strike this reqruiement.	NC	02 No
29		Text Box	Rudy Barba		NC	02 No
30		Highlight	Rudy Barba	Spec 01 5550 - 1.3 ACCESS ROADS A. Construct and maintain temporary roads accessing public thoroughfares to serve construction area. This requiremnt is not apllicable to this site, please strike.	NC	02 No
54		Highlight	Rudy Barba	SECTION 03 100 - Correct Spec title to read 03 10 00	NC	02 No
60		31.100 - Earthwork	Rudy Barba	Geotech by LOI 5.6 SOG - 18" compacted select fill 5.10 Deep Foundation piers = 20' min to 45' 5.11 Seismic - class C 4.4 Soil Stratigraphy & 5.12 Select Fill - Stratum A top 15' to 41.5' are acceptable soil.	NC	02 No
		Callout	Rudy Barba	Spec 31 05 13 - 3.1.B. There may not be room to stockpile topsoil on site thus may be more efficient to load, haul off site and replace. Please add to have this option.	NC	02 No
60						02 No
73	C	3.210 - Concrete Reinforcing Materia	Rudy Barba	03 30 01 - 2.3.: Please add a paragraph for standard "black steel" milled reinforcing.	NC	UZ NO
		03.210 - Concrete Reinforcing Materia 03.000 - Structural Concrete (Turnke)		03 30 01 - 2.3.: Please add a paragraph for standard "black steel" milled reinforcing. Spec 03 30 01 - 2.6 Requirements to not fully match the noted requirements on Structural Drawing Sheet \$100, "CONCRETE", please coordinate.	NC NC	02 No

91	Ι ,	07.100 - Waterproofing & Joint Sealan	Rudy Barba	03 30 01 - 3.12 Please add this scope of work to SECTION 07 90 00 JOINT SEALERS and reference	NC	02 No
95		03.300 - Concrete Place & Finish	Rudy Barba	it in this the concrete spec. 03 30 01 - 3.14.E.1.: Please specify requirements for Floor "Flatness" (FF FL). Note Spec 09 64 30 WOOD ATHLETIC FLOORING 1.1 A. Wood Athletic Flooring. 1.2 RELATED WORK A. Section 03 300C - Cast-In-Place Concrete, for concrete and concrete finishing. 4. Floor Flatness and Floor Levelness	NC	02 No
96		Highlight	Rudy Barba	(FF and FL) numbers are not recognized. 0316329 - Correct page number for Spec 31 63 29 in lieu of "0316329'	NC	02 No
97		Cloud+	Rudy Barba	Spec 31 63 29 - 2.1.B. references 03 30 00, yet there is not noted section coordinate with Spec 03 30 01.	NC	02 No
102		Highlight	Rudy Barba	SECTION 03 200 - Correct Spec title to read 03 20 00	NC	02 No
131		Cloud+	Rudy Barba	Spec 06 41 00 - 1.4. A. reference Spec sections not included in the documents, please coordinate.	NC	02 No
133		Cloud+	Rudy Barba	Spec 05 41 00 - 2.4.D. references Solid Surface Spec 12 36 60 not included in this manual, please coordinate.	NC	02 No
136		Text Box	Rudy Barba	Hydrotech - paver system for Roof Top Flooring data sheets with various styles and color options, are included between Spec Sections 06 41 00 and 07 21 30. Please add a spec section with specific requirements, selections, and other listed manufacturers.	NC	02 No
152		Cloud+	Rudy Barba	Spec 07 42 29.00 - 1.2.A.2. & .3. Reference SS and Alum. support members, please coordinate drawings to match this requirement.	NC	02 No
154		07.400 - Metal Panels	nehermesch	Spec Section 07 42 29.00 1.7.D: Terracotta Wall System: Please provide Mockup Drawings. The mockup is not detailed nor shown in the Drawings as suggested by the specifications. This is a very important feature and installation variances between contract drawings and Manufacturer requirements must be worked out in a detailed mockup. Please add mockup details sheet for all mockups including the terra cotta exterior envelope to the contract drawings.	NC	02 No
154		Highlight	nehermesch	Mockups: Build mockups as detailed and shown in the Contract Documents to verify selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for fabrication and installation. 1. If mockup is not detailed and shown in the Contract Documents, construct a terracotta cladding installation area not less than 10 feet by 10 feet in area on a wall provided. a. Include typical installation components, attachment to building structure, and installation techniques. 2. Build mockup of typical terracotta panel rainscreen wall system, including, supports, attachments, and accessories. 3. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing. 4. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.	NC	02 No
157		Highlight	nehermesch	TERRACOTTA WALL PANEL ATTACHMENT COMPONENTS A. General: All metal supporting members shall be fabricated from 304 Stainless Steel or 6063 T6 Aluminum for resistance to corrosion. B. Horizontal Support Profile: 1. Material: 304 Stainless Steel or 6063 T6 Aluminum 2 Thickness: As required for structural performance of the terracotta panel rainscreen wall system, 0.050 minimum. 3. Finish: Manufacturer's standard. 4. Configuration: Zee or Hat Channel shape 5. Member Depth: As indicated on Drawings 6. Member Vertical Spacing: As required for structural performance of the terracotta panel rainscreen wall system.	NC	02 No
157		07.400 - Metal Panels	nehermesch	Spec Section 07 42 29.00 2.3.B: Terracotta Wall System: Dtl 2/A500 and this spec section conflicts with Manufacturer Recommendations. The 'J' Girt Horizontal Support Profile recommended by Terreal is not mentioned. More details are needed regarding exact sizing, configuration, and fastening requirements for the Horizontal Support Profile. The Manufacturer recommend profile is considered a 'J' Girt and has 3 screws at each connection point. Note 5 calls for Configuration to be a 'Zee' or 'Hat' Channel for the Horizontal support (behind the vertical 'Hat' channel) and vertical spacing is not provided. Recommend going with the Manufacturer's recommendations to ensure a proper substructure.	NC	02 No
163		07.500 - Roofing	Rudy Barba	Spec 07 53 00 - 1.06 requires a 20 year warranty, assume for new roof areas. Assume warranties on patching for new work on the existing roofing be included in the project 1 year warranty, please specify.	NC	02 No
169		Cloud+	Rudy Barba	Spec 07 53 00 - 3.03.A.1. requirements for metal deck are specified in the Single Ply Roofing section, please move to spec 05 31 30 and refer herein.	NC	02 No
172		Cloud+	Rudy Barba	Spec 07 53 00 - 13. delete reference to 22 ga. for steel decking and note reference Spec Sec 05 31 30.	NC	02 No
177		Cloud+	Rudy Barba	Spec 07 53 00 - 3.09.A.11. Electrical conduit drilling requirements, please move to Div 26 and reference herein.	NC	02 No
199		08.100 - Doors, Frames & Hardware	Rudy Barba	Spec 08 21 101.11.A. Wood Doors, the specified warranty is for the "Life of Installation" change to a set period of time.	NC	02 No
200		Cloud+	Rudy Barba	Spec 08 21 10 - 3.2.E. references 08 11 50, which is not included in this manual, please coordinate.	NC	02 No
	1	ı		1		

204	Cloud+	Rudy Barba	Spec 08 22 90 1.09.d. Automatic Entrances - Specify the required warranty perioc	NC	02 No
207	Cloud+	Rudy Barba	Spec 08 22 902.07.2. Finalize selection of fastener material for Automatic Entrances	NC	02 No
243	Cloud+	oytrueba	Empty spec section 09 0000 Color Schedule, please revise/delete or match with Finish schedule on drawings (A600) and with Spec section 09 9000 Painting schedule 3.06 and 3.07	NC	02 No
264	03.000 - Structural Concrete (Tur	nkey Rudy Barba	Spec 09 64 30 - 1.2.A.16. "Section 03 3000 Cast-In-Place Concrete" Requires Concrete specifications that are not coordinate with Div 03. Please move all concrete specifications to Div 03 and reverence in Div 09 to Div 03. to eliminate conflicts.	NC	02 No
275	Cloud+	oytrueba	Spec section 096850 is calling for Interface manufacture and Finish schedule calls for different manufacturer (tarkett, avant galvanized pewter 10X36), please revise and confirm the correct product.	NC	02 No
279	Cloud+	oytrueba	Concrete stain is not in the finish schedule or drawings, please revise or delete concrete stain specs in spec 09 9000	NC	02 No
282	Cloud+	oytrueba	Revise Exterior surfaces schedule to match finish schedule on drawings A600	NC	02 No
283	Cloud+	oytrueba	Revise Interior surfaces schedule to match finish schedule on drawings A600	NC	02 No
284	Cloud+	oytrueba	Concrete floors (Painted or stained) not in finish schedule on drawings, please revise or delete.	NC	02 No
286	10.140 - Signage & Directorio	s Rudy Barba	Spec 10 44 203.03.A Correct Metal Letters Schedule for this project.	NC	02 No
287	Callout	Rudy Barba	Spec 10 16 00.2.01A. and .2.05.B Metal Toilet Compartments: require Baked Enamel and Stainless Steel partitions. What is the required partition finish?	NC	02 No
290	Text Box	Rudy Barba	Spec 10 22 00 Folding Partition: Not found in the drawings is any reference to a folding partition, remove this spec.	NC	02 No
299	10.440 - Fire Extinguishers & Cal	inet: Rudy Barba	Spec 10 52 20.2.03.AC. Fire Extinguisher Accessories: Which accessories are required and applicable to this project?	NC	02 No
300	10.440 - Fire Extinguishers & Cal	inet: Rudy Barba	Spec 10 52 20.3.03.A. Fire Extinguisher Schedule: requires 27 total. 1st floor Plan Sheet G122 shows 13 each, verify the quantities for the 2nd floor and new rooftop areas.	NC	02 No
304	Cloud+	oytrueba	N/A??	NC	02 No
309	Text Box	Rudy Barba	Spec 14 24 00 - 2.01.A.: Elevator manufactures add "or equal" language to this paragraph.	NC	02 No
319	21.100 - Fire Protection	nehermesch	Spec Section 21 0000 1.4F: Spec calls for "Preliminary flow test information shall be obtained from the Water District for estimating purposes." Please provide flow test information in order to estimate the design requirements of the additional fire sprinkler piping in the addition.	NC	02 No
319	Highlight	nehermesch	Preliminary flow test information shall be obtained from the Water District for estimating purposes.	NC	02 No
320	Text Box	Rudy Barba	Spec 21 00 00 Fire Sprinkler System - 2.B.: There are no site utility plans showing the location of new fire lines or the point of demarcation to the existing City waterline, please define and detail this scope of work.	NC	02 No
325	Text Box	Rudy Barba	Spec 21 00 00 Fire Sprinkler System: Reads as if for a completely new building not a remodel and addition project. Will use of the existing fire protection system be included and defined by this designer as allowed to be reused, extended please confirm?	NC	02 No
326	Text Box	Rudy Barba	Division 22 Plumbing Specifications, are written for a new building installation, please add requirements for how the existing systems are to be dealt with.	NC	02 No
327	Text Box	Rudy Barba	Spec 22 00 00 - 2.4.D.: Requires site sanitary lines No site sanitary lines are found on the drawings, please confirm there are none.	NC	02 No
328	Text Box	Rudy Barba	Spec 22 00 00 - 2.7.A.: Requires gas distribution system as indicated on the drawings No gas distribution system is found on the drawings, please confirm there is no gas distribution reqruied for this project?	NC	02 No
329	Text Box	Rudy Barba	Spec 22 00 00 - 2.9.A.: Requires site domestic water lines No site water lines are found on the drawings, please confirm there are none.	NC	02 No
334	Cloud+	Rudy Barba	Spec 22 05 00 - 2.1.A. requires payment of tax, this is a tax exempt project.	NC	02 No
334	Cloud+	Rudy Barba	Spec 22 05 00 - 2.1.A. requires the "Mechanical contractor to include all work per code" weather designed or shown. Please add prior to this statement the mechanical bidder will inform CMAR of any code required missing scopes of work prior to submitting a bid.	NC	02 No
342	Text Box	Rudy Barba	Spec 22 05 00 - Part 3 - Execution - requirements are for HVAC systems not plumbing, please correct.	NC	02 No
347	Text Box	Rudy Barba	Division 23 HVAC Specifications, are written for a new building installation, please add requirements for how the existing systems are to be dealt with.	NC	02 No
358	Cloud+	Rudy Barba	Spec 23 05 00 - 2.1.A. requires payment of tax, this is a tax exempt project.	NC	02 No
371	Pen	Rudy Barba)	NC	02 No
371	23.100 - Mechanical	Rudy Barba	Spec 23 05 93 test and Balance seems to allow with the certified supervisor to be able to accomplish the TAB requirements. 3.2. Guarantee requires the NEBB firm guarantee TAB work to be done per NEBB. Is an independent NEBB firm hired by the mechanical subcontractor acceptable, please confirm and specify?	NC	02 No
375	Text Box	Rudy Barba	Spec 23 09 00 Building Automation System para. 1.1.A. lists only one approved bidder, modify to to included other qualified bidders.	NC	02 No
472	Text Box	eespalin	Missing City of El Paso Technology Design and Construction Standards	NC	02 No

	A103 - FLOOR PLAN -		ı		ı	
43	LEVEL 1	Constructability Issue	HAlvarado	Coordinate the grid lines with Structural drawings gridlines do not match between disciplines.	NC	02 No
82	A600	Cloud+	oytrueba	verify vinyl base with all floor finishes (The information for all restrooms and green rooms don't have base finishes, pleae confirm.)	С	03 NC
10	C0.0	Cloud+	Rudy Barba	Sheet CO.0 NOTE, ADA T.A.S. walk requirements - "newly designed" in lieu of "existing and proposed"	NC	03 NC
11	C1.0	Text Box	Rudy Barba	Sheet C1.0 Note 32 - Isn't the electrical transformer/gear to be relocated by EP Electric?	С	03 NC
12	C1.1	Text Box	Rudy Barba	All Civil, Landscape, and Structural Drawings - Coordinate all to show matching details and	С	03 NC
12	C1.1	Cloud+	Rudy Barba	requirements. Sheet C1.1, Project area - As the site is very tight some or all of this area may be needed to properly complete the construction. Will this be possible?	NC	03 NC
15	C3.1	Cloud+	Rudy Barba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - All new work in the existing right-of-way (walk & street) will require close coordination with all existing utilities, their locations and the providers.	с	03 NC
44	A104 - FLOOR PLAN - LEVEL 2	Text Box	Daniela Quesada CID	In Room 406 (artist in residence studio) please include the removable dance bar wall hardware	NC	03 NC
9	C0.0 - CIVIL GENERAL NOTES	Cloud+	RAB	Sheet CO.0 NOTE, ADA T.A.S. walk requirements - "newly designed" in lieu of "existing and proposed"	С	03 NC
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Constructability Issue	HAlvarado	Existing condition indicates a sloped concrete ramp, relocation of these drains maybe required.	С	03 NC
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Text Box	oytrueba	All Civil, Landscape, and Structural Drawings - Coordinate all to show matching details and requirements.	NC	03 NC
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Constructability Issue	HAlvarado	Existing condition indicates a sloped concrete ramp, relocation of these drains maybe required.	С	03 NC
14	C3.1 - SHEET TITLE STORM WATER LINE 1 PLAN VIEW & PROFILE	Cloud+	oytrueba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - All new work in the existing right-of-way (walk & street) will require close coordination with with all existing utilities, their locations and the providers.	NC	03 NC
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	26.100 - Electrical	jtstrub	General Notes / Note O. Add Whips are to be no longer then 6' in length. Additionally, if code allows utilizing MC Cable might be a cost savings to the project.	NC	03 NC
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Internal Discussion Item	jtstrub	Add General Note J to architectural drawings.	NC	03 NC
152	E5.0 - SHEET TITLE ELECTRICAL RISER DIAGRAM	26.100 - Electrical	nehermesch	E5.0 New Riser Diagram: Does the existing MSB have capacity to feed additional panels on 3rd floor per the New Electrical Riser Diagram?	NC	03 NC
152	E5.0 - SHEET TITLE ELECTRICAL RISER DIAGRAM	Text Box	ladams	Is there a coordination study? Panel schedules do not include an AIC rating. Will any existing breakers need to be replaced or settings changed?	NC	03 NC
155	ED1.0 - SHEET TITLE DEMOLITION 1ST FLR.	RFI	jtstrub	Note 10 - Contractor to relocate to new elevator machine room. Coordinate with manufacturer to ensure circuit continuity. — This is asking for an electrical change order and would be best if Electrical Engineer & Architect coordinate with elevator consultant.	NC	03 NC
19	L0.00 - SHEET TITLECOVER SHEET	Constructability Issue	HAlvarado	Notes 2 and 3 will require coordination with Landscape architect and notification if required (48 Hours), prior to work commencing.	NC	03 NC
36	L5.00 - SHEET TITLESITEFURNISHINGS	Callout	Daniela Quesada CID	Have these outdoor furniture elements been discussed with MCAD? where are they stored?	NC	03 NC
126	M102	Cloud+	ladams	Coord w/ ELEC. Verify Wattstopper sensors have aux contacts for DDC connection.	NC	03 NC
129	M202	Callout	ladams	Shouldn't there be stainless steel ductwork downstream of humidifiers?	NC	03 NC
131	M204	Cloud+	ladams	Exhaust must be a minimum of 10' from MUA intake	NC	03 NC
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	RAB	Sheet L2.10 detail 5, I Beam - Welding beam to column tops without consideration of thermal expansion may be detrimental. Coordinate structural drawings to take precedence over landscape drawings.	NC	03 NC
3	SECTIONS	Cloud+	oytrueba	Spec title shows "(OFCI). Please confirm. (there is no note in the drawings). 11 4100 Residential Appliances was provided but not in TOC.	с	04 Yes
12	C1.1	Callout	Rudy Barba	Sheet C1.1 New Stairs Plan View - The referenced Concrete Flume detail does not seem to fit the stair detail, please explain.	R	04 Yes
1	Cover	Callout	Rudy Barba	L0.00 (Index): Sheet A500 is not yet listed in the Index.	R	04 Yes
1	Cover	Callout	Rudy Barba	L0.00 (Index): Sheet S600 is not yet listed in the Index.	R	04 Yes
1	Cover	Text Box	Rudy Barba	L0.00 (Index): Plumbing sheets P100 thru P401 are not yet incorporated in this set.	R	04 Yes
1	Cover	Text Box	Rudy Barba	L0.00 (Index): Landscape sheets L3.00 thru L3.11 are not yet incorporated in this set.	R	04 Yes

		T	1	10.00 (Index). All Floatrical Cheet Dage Deal-marks are incorrectly set places regarder and remarks		Г
1	Cover	Text Box	Rudy Barba	L0.00 (Index): All Electrical Sheet Page Bookmarks are incorrectly set, please reorder and remove unused.	R	04 Yes
2	G100	Callout	Alondra	Contractor needs to comply with COVID 19 Regulations	R	04 Yes
2	G100	Callout	Kelton Matthews	Possible Schedule Impact Coordination with owner required	R	04 Yes
2	G100	Callout	Kelton Matthews	Will a walk through be coordinated prior to bidding:	R	04 Yes
2	G100	Callout	Kelton Matthews	to include pricing in GC	R	04 Yes
2	G100	Callout	Kelton Matthews	if after hours work might be required for noisy activities	R	04 Yes
2	G100	Callout	Kelton Matthews	Is there an additional cost for badging and what are the requirements?	R	04 Yes
2	G100	Text Box	Rudy Barba	Correct all electronic sheet labels and indexing.	R	04 Yes
				G100 (Notes): There are many Design Bid Build (DBB) "Gotcha" notes that are not applicable to a		
2	G100	Text Box	Rudy Barba	Construction Manager At Risk (CMAR) contract vehicle and many notes that may be contrary to	R	04 Yes
-	0100	TEXT BOX	Rudy Barba	this CMAR contract, as noted in the Phase 1 Library review; please edit to fit a cooperative		04 163
				contract approach!		
10	C0.0	Cloud+	Rudy Barba	CO.O GENERAL NOTES - Clauses stated In the CMAR Contract agreement should not also be in the	R	04 Yes
			,	drawings, there may be a conflict, unless all language is an exact match.		
10	C0.0	Cloud+	Rudy Barba	CO.O GENERAL DEMO NOTES - City of El Paso in lieu of DOT	R	04 Yes
				CO.0, NOTE - As designed all existing Sundt Construction is not the Designer of record and		
10	C0.0	Callout	Rudy Barba	cannot be held liable for existing construction or new design elements. Sundt will be liable for	NC	04 Yes
				constructing and elements not to design.		
				Sheet C1.0 Remove existing 36" storm line - If not in conflict with new 30" concrete drilled piers, is		
				it possible to abandoned 36" storm pipe in place and fill pipe with a lean cement flowable fill? To		
11	C1.0	Cloud+	Rudy Barba	excavate, shore/shotcrete the building side of the excavation, remove the pipe and re-compact	NC	04 Yes
				will increase the cost and construction duration of the project. +/-21 at Entry & 31 ' at south		
				building line.		
11	C1.0	Cloud+	Rudy Barba	C1.0 New storage room areas - What is the extent of the exterior demolishing required in	R	04 Yes
11	C1.0	Cloud+	Rudy Barba	preparation of the new storage rooms, please denote?	ĸ	04 Yes
				C1.0 NOTE 28/J - the three flag poles are noted to be relocated to the "Company E" monument		
11	C1 0	Calland	Decele Deceles			04 V
11	C1.0	Callout	Rudy Barba	location, yet the General Note outside of the work area reads, "EVERYTHING OUTSIDE THE LIMITS	R	04 Yes
				OF CONSTRUCTION (LOC) TO REMAIN (PROTECTED IN PLACE OR IMPROVEMENTS BY OTHERS).		
				Chart Cd 4 Frithing Charm Marchala Hd After and 20 Court aite visit 0 discussion of Carrie Cartilla		
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1, Existing Storm Manhole #1 - After our 30-Sept. site visit & discussion w/Sergio Castillo	NC	04 Yes
				there does not seem to be an existing manhole. Are we to assume adding a new manhole.		
42	C1.1	Claude	Decide Decides	Sheet C1.1 EXISTING CROSSWALK - Are the removal or repainting of the existing Franklin Ave.		04.4
12	C1.1	Cloud+	Rudy Barba	public street markings to be included in this contract?	R	04 Yes
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1 N EW CROSSWALK - Are the new Franklin Ave. public street markings to be included in	R	04 Yes
12	C1.1	Cloud+	Rudy Barba	this contract?	N.	04 res
				C1.1 EXISTING 12" DRAIN PIPE - As shown here and subsequent sheets and as noted on Sheet		
12	C1.1	Callout	Rudy Barba	C1.0 this line is to be partially demolished and left capped at the north section left in place.	С	04 Yes
	C1.1	Canoat	nady barba	Where is water to flow? What is required at the south end of the removed section?		04 163
				where is water to now: what is required at the south end of the removed section:		
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1 reference 2/C4.1 - 2nd reference arrow does not seem to make sense, please explain.	R	04 Yes
	C1.1	cioda:	riddy barba			04 163
12	C1.1	Callout	Rudy Barba	Sheet C1.1 Drainage Piping for Site Walls - Designate locations of drain lines and points of	С	04 Yes
	51.1	Canout	, Dui bu	connection to the new storm drain system.		0.103
15	C3.1	Callout	Rudy Barba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - There does not seem to be an existing manhole,	С	04 Yes
			· ·	please clarify the required scope of work.		
20	L1.00	Cloud+	Daniela Quesada CID	these 2 hatches are very similar	R	04 Yes
22	L2.00	Callout	Rudy Barba	Sheet L2.00, detail 12, Landscape Boulders - Not found in the drawings is a the referenced	NC	04 Yes
25	12.04	Callent	Daniela O	Hardscape plan to know locations, size, and quantity of boulders	Г	04 %
25	L2.01	Callout	Daniela Quesada CID	Is this spelled out or abbreviated to MACC? # of letters make a difference	R	04 Yes
25	L2.01	Cloud+	Rudy Barba	Sheet L2.10 detail 5, I Beam - Very expensive detail to rout beam, it may be better to have the	R	04 Yes
27	L3.01	Cloud+	Dudy Darle	lighting design to included a hidden fixture detail.	R	04 Yes
35	C4.10	Cloud+	Rudy Barba Rudy Barba	All irrigation and landscape sheets - Correct scale to 1:20 in lieu of 1"=1/8" Sheet L4.10 detail 5 Splash Block - Salt River? Change to locally available cobble	R R	04 Yes
35 36	L5.00	Cloud+ Cloud+	Rudy Barba Rudy Barba	Sheet L5.00 - Site Furnishing - No specifications or manufacturers are noted:	R	04 Yes
		Ciouu+	nuuy Bdi Dd	Sheet L3.00 - Site Furnishing - No specifications of manufacturers are noted:		U4 Tes
36	L5.00	Callout	Daniela Quesada CID	Have these outdoor furniture elements been discussed with MCAD? where are they stored?	R	04 Yes
37		Callout	Kelton Matthews		R	04 Yes
38		Cloud+	Daniela Quesada CID	Note to salvage the donor bricks in the pavement?	R	04 Yes
38		Callout	Kelton Matthews	Pedestrian Access?	R R	04 Yes
38		Callout	Kelton Matthews	Pedestrian Access?	R	04 Yes
				Electrical Side Demolition Plan indicates work in this area. Construction Limits need to be		
38		Callout	Kelton Matthews	coordinated.	R	04 Yes
39	C100.3	Cloud+	Rudy Barba	Sheet A100.3 Existing Transformer to be relocated, By others, EPE.	R	04 Yes
40	C100.5	Callout	Kelton Matthews	Is demolition required to the floor?	R	04 Yes
	L	Canout	KCITOH Matthews	is demonstron required to the moor:		04 163

40	C100.4	Cloud+	Rudy Barba	Sheet A100.4 - reference section location?	R	04 Yes
40	C100.4	Text Box	Rudy Barba	A100.4 Existing Theater - What are the required demolition scopes of work within the theater?	R	04 Yes
43	A103.9	Cloud+	oytrueba	New roof plan does not show solar panels relocation plan/details What type of solar panels? For new connections?	NC	04 Yes
44	A103	Cloud+	Daniela Quesada CID	the glazing goes through to the projection and control room? We can't move this to the back wall?	R	04 Yes
44	A103	Callout	Kelton Matthews	Coordinate Millwork w/ existing column.	R	04 Yes
44	A103	Callout	Kelton Matthews	Is access required through this wall?	R	04 Yes
44	A103	Callout	Kelton Matthews		R	04 Yes
44	A103	Callout	Kelton Matthews	Concrete Patching Could be required for columns.	С	04 Yes
44	A103	Callout	Kelton Matthews	Need Plumbing & gas service in this area.	С	04 Yes
44	A103	Callout	Kelton Matthews	Air requirements not shown in plumbing.	C	04 Yes
44	A103	Callout	Kelton Matthews	Is outlet required shown behind steel cabinet.	NC	04 Yes
44	A103	Callout	Kelton Matthews	Table saw power requirements?	R	04 Yes
44	A103	Cloud+	oytrueba	provide type of countertop	C	04 Yes
44	A103	Cloud+	Rudy Barba	Sheet A103, Existing roof drain tie into new storm line, Civil and Plumbing drawings do not show the new points of connections.	С	04 Yes
45		Cloud+	oytrueba	Provide window dimensions for new sunshades.	С	04 Yes
45		Cloud+	oytrueba	Provide elevation for sun Shade	C	04 Yes
				Sheet A104 General Notes, 2 4 reference incomplete schedules for: Partitions (not included),		
45	C104 General Notes, 2	Cloud+	Rudy Barba	Doors (not completed), Toilet Accessory (not included).	R	04 Yes
45	C104, Key Notes, Window Shades - 164	Cloud+	Rudy Barba	Sheet A104, Key Notes, Window Shades - 164 manual window sun shades and 165 motorized window sun shades - are the blinds only required on the noted 2nd floor windows, please confirm?	R	04 Yes
46		Cloud+	Daniela Quesada CID	What does this hatch mean?	R	04 Yes
46		Text Box	Daniela Quesada CID	Can we include the hatch legend here as well?	R	04 Yes
46		Cloud+	oytrueba	IS THIS HATCH REPRESENTS THE PEDESTAL PAVERS AREA?	R	04 Yes
46		Cloud+	Rudy Barba	Sheet A105 Rooftop Egress - What is the construction of the roof top egress, exterior exposed walkway or enclosed and air conditioned?	С	04 Yes
46		Cloud+	Rudy Barba	Sheet A105 New rooftop egress and existing HVAC unit - will the new construction be in conflict with maintenance clearance for the existing HVAC unit?	С	04 Yes
46	C105 New 3	Callout	Rudy Barba	Sheet A105 New 3rd level elevator shaft wall does not align with the new 1st and 2nd floor new shaft walls.	R	04 Yes
47		Text Box	Daniela Quesada CID		R	04 Yes
47		Text Box	oytrueba	Solar panels relocation?	R	04 Yes
47		Cloud+	Rudy Barba	Sheet A110 Roof pedestal pavers - No roof paver specifications have been given.	С	04 Yes
47		Cloud+	Rudy Barba	Sheet A110 Existing Roof - at all areas of new construction to patch only may be impractical and will require complete new roofing.	R	04 Yes
52		Cloud+	oytrueba	Please delete or clarify if is included?	R	04 Yes
52		Cloud+	oytrueba	Verify/ Add sealed concrete hatch	R	04 Yes
52		Cloud+	oytrueba	verify finish?	R	04 Yes
52		Cloud+	oytrueba	provide Elevator flooring finish	С	04 Yes
52		Cloud+	oytrueba	confirm sealed concrete stairs finish?		04 Yes
52	C142 General Note 2	Callout	Rudy Barba	Sheet A142 General Note 2 Equipment Schedule sheets A-132 & A-133 are not yet included.	R	04 Yes
52	C142 Wood Floor finish - is the Black Box flooring to be the specified Spec SECTION 09	Cloud+	Rudy Barba	Sheet A142 Wood Floor finish - is the Black Box flooring to be the specified Spec SECTION 09 6430 WOOD ATHLETIC FLOORING?	R	04 Yes
52	C142 - Wood Sports Flooring - note 1	Callout	Rudy Barba	Sheet A142 - Wood Sports Flooring - note 1 5/8" plus transition strip will be required at all Black Box room openings.	R	04 Yes
53		Callout	Daniela Quesada CID	vinyl instead of ceramic tile?	R	04 Yes
53		Cloud+	oytrueba	Existing restrooms get new floors? please verify hatch, currently is asking for vinyl.	R	04 Yes
53	C143 Wood Floor finish - is the 2	Cloud+	Rudy Barba	Sheet A143 Wood Floor finish - is the 2nd floor Dance/Acting Studio flooring to be the specified Spec SECTION 09 6430 WOOD ATHLETIC FLOORING?	R	04 Yes
53	C143 - Wood Sports Flooring - note 1	Callout	Rudy Barba	Sheet A143 - Wood Sports Flooring - note 1 5/8" plus transition strip will be required.	R	04 Yes
54	A144	Cloud+	Daniela Quesada CID	hatch pattern?	R	04 Yes
54	A144	Cloud+	oytrueba	verify/ add hatch with sealed concrete	R	04 Yes
54	A144	Cloud+	oytrueba	verify /add hatch for quarry tile	R	04 Yes
54	A144	Cloud+	oytrueba	Verify/add hatch for sealed concrete or pedestal pavers	R	04 Yes
54	A144	Cloud+	oytrueba	verify/add finish floor sealed concrete?	R	04 Yes
54	A144	Cloud+	oytrueba	verify sealed concrete finish floor?	R	04 Yes

	•					
54	A144	Cloud+	oytrueba	schedule is referencing Room ID 404 for Existing Women's restroom not Stairs, please verify finish	R	04 Yes
54	A144	Claudi		floor sealed concrete?		04 Yes
54	A144	Cloud+	oytrueba	Please provide Room ID number and finishes for this corridor	R	U4 Yes
56	C160.2	Callout	Rudy Barba	Sheet A160.2 RCP Circles & Arcs - On all the existing RCP, what are the drafted circles and arcs representing, please clarify?	R	04 Yes
57	A163	Cloud+	Daniela Quesada CID	what is this lattice?	С	04 Yes
58	A164	Cloud+	Daniela Quesada CID		C	04 Yes
58	A164	Cloud+	Daniela Quesada CID	What are these: light includes: are these linear wood panels: What is this box?	C	04 Yes
				It appears a wall needs to be added at the new elevator. I do not believe you can run duct through	<u> </u>	
58	A164	Callout	jrheuberger	a elevator shaft	R	04 Yes
59	A169	Text Box	Daniela Quesada CID		R	04 Yes
59	A169	Callout	Daniela Quesada CID	finishes?	R	04 Yes
60	A200	Cloud	Daniela Quesada CID	THISTES!	R	04 Yes
60	A200	Callout	Daniela Quesada CID	what happens here? material selection?	R	04 Yes
60	A200	Cloud	Daniela Quesada CID	, , , , , , , , , , , , , , , , , , ,	R	04 Yes
60	A200	Cloud	Daniela Quesada CID		R	04 Yes
60	A200	Cloud	Daniela Quesada CID		R	04 Yes
60	A200	Callout	Daniela Quesada CID	planters here are being removed?	R	04 Yes
60	A200	Cloud+	Daniela Quesada CID		R	04 Yes
					_	
60	A200	Text Box	Rudy Barba	Sheet A200, Terracotta Rain Screen - Specifications are not yet included in the project manual.	R	04 Yes
C0	4300	Call	Dudy Darks	Sheet A200 Keyed Notes1, 161 & Elevation 2 - Digital LED Screen - As there are no specs or	NC	04.4
60	A200	Callout	Rudy Barba	mounting details is the complete system to be by others, (OFOI), please confirm?	NC	04 Yes
60	A200	Cloud+	oytrueba	height dimension and Levels are not the same? Please verify	R	04 Yes
60	A200	Cloud+	oytrueba	Verify Height and Levels on exterior elevations.	R	04 Yes
60	A200	Cloud	oytrueba		R	04 Yes
64	A213	Cloud+	oytrueba	Provide type of countertop?	R	04 Yes
66	A320	Cloud+	Rudy Barba	Sheet A320, detail 3 - What is detail for the new wall construction at backed filled earth and	R	04 Yes
00	A320	Cloud	Rudy Barba	landscape?		04 163
66	A320	Cloud+	Rudy Barba	Sheet A320 detail 4 - coordinate detailing of storefront and SOG/foundation	R	04 Yes
67	A321	Cloud+	Rudy Barba	Sheet A321 detail 1 - New parapet wall detail - what is the construction scope of work for the new	R	04 Yes
			-	parapet wall and railing fastening, please detail?		
68	A322	Cloud+	Daniela Quesada CID	this opening in the screen wall will remain? what about debris getting in?	R	04 Yes
68	A322	Callout	Rudy Barba	Sheet A322 detail 3 New Screen Wall - What are the details and locations for the new screen wall	R	04 Yes
			,	support tie ins to the existing structure?		
69	A400	Cloud+	oytrueba	E2?	<u> </u>	04 Yes
69	A400	Cloud+	oytrueba	Level 14?	R	04 Yes
70 70	A401 A401	Cloud+ Cloud+	oytrueba oytrueba	Level 14?	R R	04 Yes 04 Yes
71	A401 A402			Provide height elevation/ Level; scaling is 10', please confirm?	R	04 Yes
72	A402 A403	Cloud+ Length Measurement	oytrueba oytrueba	E2? 11'-1/4"	R	04 Yes
72	A403 A403	Cloud+	oytrueba	Confirm or provide height elevation/ Parapet Level	R	04 Yes
74	A405	Cloud+	oytrueba	E2? 8" CMU?	R	04 Yes
74	A405	Length Measurement	oytrueba	11'-10 1/4"	R	04 Yes
74	A405	Cloud+	oytrueba	Provide Height/ Level	R	04 Yes
74	A405	Cloud+	oytrueba	not complete	R	04 Yes
75	A407	Cloud+	Daniela Quesada CID	This will be a prep area, not a cafe area	R	04 Yes
75	A407	Cloud+	oytrueba	Revise notes	R	04 Yes
75	A407	Cloud+	oytrueba	Keynotes are referencing something else Not Appliances/ Equipment	R	04 Yes
75	A407	Cloud	oytrueba		R	04 Yes
76	A408	Cloud+	oytrueba	mark in elevations	R	04 Yes
80	A504	Cloud+	oytrueba	Complete	R	04 Yes
82	A600	Cloud+	oytrueba	Verify vinyl base on all floor finishes.	R	04 Yes
82	A600	Cloud	outrusha	Provide information for hardwood flooring. Specs are calling for a wood athletic flooring, please	R	04 Yes
		Cloud+	oytrueba	confirm.		
82	A600	Cloud+	oytrueba	Provide sealed concrete spec.	R	04 Yes
82	A600	Cloud+	oytrueba	Please clarify if F7 is Travertine per schedule or pedestal pavers per keynotes in finish plans	R	04 Yes
82	A600	Cloud+	oytrueba	Only vinyl base thru all materials?	R	04 Yes
83	A601	Cloud	Daniela Quesada CID		R	04 Yes
83	A601	Callout	Daniela Quesada CID	Aren't these a little short for the gallery doors?	R	04 Yes
89	S200	Callout	jrheuberger	Need to coordinate what is happening at the new elevator shaft, looks like a pit will need to be	R	04 Yes
				added.		
92	S300	Callout	jrheuberger	Confirm foundation type, Geotech report states to match existing which are drilled piers	С	04 Yes
92	S300	Cloud+	Rudy Barba	Sheet S300 New Entry Trellis and Gateway - what are the requirements for foundations, structure,	R	04 Yes
			,	trellis, finishes , etc.?		

						-
92	S300	Cloud+	Rudy Barba	Sheet S300 and all foundation drawings, continuous foundations - What are the required	R	04 Yes
32	1111		-	foundation details and schedules?	.,	
96	S402	Callout	jrheuberger	Should there be deck on the third floor framing?	R	04 Yes
98	\$500	Cloud+	Rudy Barba	Sheet S500 - Are the East, South, and West walls of the new Black Box construction missing steel	R	04 Yes
402	5004	Calland	tale and a second	beams, columns, and footings, please detail?	ь .	04.4
102	S801	Callout	jrheuberger	This does not match the architectural elevations	R	04 Yes
103 114	S900 E2.0	Callout Cloud	jrheuberger	Are we putting a new foundation under the existing stairs?	R R	04 Yes 04 Yes
			Daniela Quesada CID	Manak traduction along the solve dute		
114 114	E2.0 E2.0	Cloud+ Cloud+	Daniela Quesada CID Daniela Quesada CID	J1 not included in schedule E not included in schedule	R R	04 Yes 04 Yes
114	E2.0	Cloud+	Daniela Quesada CID			04 Yes
115	E2.1	Cloud+	Daniela Quesada CID	Lighting plan? lighting plan?	R R	04 Yes
115	E2.1	Text Box	Daniela Quesada CID	0 - 01	R	04 Yes
115	E2.1	Text Box	Daniela Quesada CID	ů ů ů	R	04 Yes
116	E2.1		Daniela Quesada CID		R	04 Yes
117	E3.3	Text Box Callout	Kelton Matthews	Table saw power requirements?	R	04 Yes
117	E3.3	Callout	Kelton Matthews	Is outlet required shown behind steel cabinet.	R	04 Yes
117	E3.3	Arrow	Kelton Matthews	is outlet required shown behind steer cabinet.	R	04 Yes
117	E3.3	Callout	Kelton Matthews	Power requirements for sump sink?	R R	04 Yes
118	E3.1	Cloud+	Daniela Quesada CID	Artist in residence and hands-on studios left out	R	04 Yes
120	E4.1	Text Box	Daniela Quesada CID		R	04 Yes
4	E4.1	Callout	Kelton Matthews	What are the Piping requirements for air compressor	R	04 Yes
4		Callout		Team: Please review the Specifications. The session will be open until Monday 12-Oct-2020 close		04 165
1		Text Box	Rudy Barba	of business.	R	04 Yes
2		Cloud+	oytrueba	Provide Masonry Spec	С	04 Yes
		Cloud+	Oytrueba	Provide Masonily Spec	·	04 res
3		Cloud+	oytrueba	Please provide clarification on the motorized roller shades. There are details missing on	С	04 Yes
3		Cloud+	Oyti deba	specification regarding Fabrics, the type of motor, the mounting detail, j-box locations, etc.	C	04 res
3		Claud	outrus ho	OR 4220 Automotic Sliding Entrances provided in package and missing in TOC	С	OA Voc
3		Cloud+	oytrueba	08 4229 Automatic Sliding Entrances provided in package and missing in TOC. 102600 SS Corner Guards 10 44 20 Metal Dimensional Letters 10 2200 - Folding Partitions 10 9000	·	04 Yes
3		Claude		9		04.4
3		Cloud+	oytrueba	Exterior Aluminum Screens spec sections are included in the package and missing here in the table	R	04 Yes
3		Cloud+		of content. Please confirm these scopes and revise TOC. Different title in spec: 09 5200 Softsound Suspended Ceiling	С	04 Yes
3		Cloud+	oytrueba			04 Yes
3			oytrueba	Provide Conveying Systems Spec 09 72 00 Dry Erase Wallcovering is included in the package and missing in the TOC.	R C	04 Yes
3		Cloud+ Text Box	oytrueba Rudy Barba	TOC Div 9 - is missing SECTION 09 6430 WOOD ATHLETIC FLOORING	R	04 Yes
3		Text Box	Rudy Barba	TOC DIV 9 - IS MISSING SECTION 109 6430 WOOD AT HEETIC FLOORING TOC DIV 10 is missing SECTION 10900 ALUMINUM DECORATIVE SCREENS	R	04 Yes
4		Cloud+	oytrueba	Earthwork and Landscape Specs are missing	R	04 Yes
4		Cloud+	oytrueba	Div. Structural specifications "03100 - 03123" Not Provided. Revise Spec section number	R	04 Yes
5		Cloud+	oytrueba	03 123 Fill Not Provided. Out of order.	R	04 Yes
5		Cloud+	oytrueba	Concrete Reinforcing, structural specs are repeated. Delete	R	04 Yes
5		Cloud+	oytrueba		R	04 Yes
250		Cloud+	_	Landscape specs missing	C	04 Yes
250		Cloud+	oytrueba oytrueba	please clarify three buildings at staircases? Provide custom pattern	C	04 Yes
250		Cloud+	oytrueba	Not in business	C	04 Yes
252		Cloud+	oytrueba	INOT III DUSIIIESS	,	04 Yes
252		Cloud+	oytrueba	Owner resp.	С	04 Yes
255		Cloud+	oytrueba	Provide quantities or revise drawings with accurate notes for food services equipment	R	04 Yes
257		Cloud+	oytrueba	Frontide quantities of revise drawings with accurate notes for rood services equipment	C	04 Yes
258		Cloud+	oytrueba	By Owner	C	04 Yes
259		Cloud+	oytrueba	Confirm quantities for appliances	C	04 Yes
233	A100.3 - SITE PLAN	Ciouui	oya ueba	солити доспасез тог арупансез		V-7 163
38	NEW,MACC Clevland	Cloud+	Daniela Quesada CID	Is this being detailed/counted elsewhere?	С	04 Yes
30	Square	Cloud+	Daniela Quesaua CID	is this being detailed/counted eisewherer	·	04 162
	A100.4 - DEMO PLAN -			Sheet A100.4 - New finish plans indicate the entire floor to be new, confirm if seats are to be		
39	FIRST FLOOR	Clarification	HAlvarado	removed.	NC	04 Yes
	A100.4 - DEMO PLAN -			Additional demolition might be required to access the concrete slab within the walls. Demo		
39	FIRST FLOOR	Internal Discussion Item	HAlvarado	- '	С	04 Yes
	A100.5 - DEMO PLAN -			contractor will need to be made aware of this.		
40		pri	LIAlyarada	Please confirm if this window to remain, all wall supports is indicated to be removed. Exterior	NC	04 8
40	SECOND FLOOR -	RFI	HAlvarado	Demolition Sheet A100.5 indicate window to be removed.	NC	04 Yes
	EXISTING A100.5 - DEMO PLAN -					
40	SECOND FLOOR -	RFI	HAlvarado	Architectural sheet A104 indicates a new exterior wall in this area, please confirm if wall and	NC	04 Yes
40	EXISTING	DE1	HAIVAIAUU	windows needs to be demo'd or if it is to remain.	NC	04 162
	A100.9 - DEMO PLAN -					
42	ROOF	Cloud+	oytrueba	Openings are not Coordinated with Structural	NC	04 Yes
L	NUUF		1	I I		

	A100.9 - DEMO PLAN -					
42	ROOF	Clarification	HAlvarado	Please proved keyed notes	NC	04 Yes
42	A100.9 - DEMO PLAN - ROOF	Cloud+	ladams	Where? Not shown on new roof plan or electrical plans	NC	04 Yes
43	A103 - FLOOR PLAN - LEVEL 1	Cloud+	Daniela Quesada CID	I thought there was a storefront directly in front of the front door at this elevation as well? to dress up the "back elevation" that faces Missouri?	С	04 Yes
43	A103 - FLOOR PLAN - LEVEL 1	Text Box	Daniela Quesada CID	to clarify: we're keeping the existing elevator AND adding a new larger one? and both will be functional?	С	04 Yes
43	A103 - FLOOR PLAN - LEVEL 1	Cloud+	oytrueba	Change from Engineered Hydraulic Elevator to Endura MRL Twinpost Telescoping (2 - stage) 500H Lbs (Per specs). Provide details for new elevator shaft, Coordinate with Structural, there are no structural details, is showing only as an extension from the third floor.	c	04 Yes
43	A103 - FLOOR PLAN - LEVEL 1	Callout	jmrivera	please account for ambulatory stalls	R	04 Yes
44	A104 - FLOOR PLAN - LEVEL 2	Constructability Issue	HAlvarado	Is this are open to below. If not access to this area is not provided	NC	04 Yes
44	A104 - FLOOR PLAN - LEVEL 2	Constructability Issue	HAlvarado	Identify partition type.	NC	04 Yes
44	A104 - FLOOR PLAN - LEVEL 2	Cloud+	Daniela Quesada CID	mirror note meant for dance acting studio (room 433)?	NC	04 Yes
44	A104 - FLOOR PLAN - LEVEL 2	Cloud+	oytrueba	Sheet A104, Key Notes, Window Shades - 164 manual window sun shades and 165 motorized window sun shades - are the blinds only required on the noted 2nd floor windows, please confirm?	NC	04 Yes
44	A104 - FLOOR PLAN - LEVEL 2	Callout	jmrivera	do we need ambulatory stalls?	R	04 Yes
47	A110 - ROOF PLAN - THIRD LEVEL NEW ROOFS	Cloud+	oytrueba	Is this not a new roof for the new elevator shaft?	NC	04 Yes
47	A110 - ROOF PLAN - THIRD LEVEL NEW ROOFS	Text Box	ladams	Where are the relocated solar panels?	NC	04 Yes
48	A111 - ROOF PAVER SYSTEM SECTIONS	07.500 - Roofing	nehermesch	Need Pedestal Paver manufacture details to confirm: Ensure required roof slope and built-up insulation, especially at crickets, does not exceed the adjustable range of the roof pedestals. The paver floor may need to be raised, OR insulation removed in order to 'fit' the pedestals in above the roof.	NC	04 Yes
48	A111 - ROOF PAVER SYSTEM SECTIONS	Cloud+	oytrueba	New Sheet A111 with Roof paver system sections. Please provide specs and the revise details.	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado		С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes

49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A122 - Provide grid line for steel columns in this area.	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A122 - Provide door type and opening dimensions.	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A122 - Provide dimensions: @ base @ midpoint of slant @ top of wall slant	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A122 - Consider moving wall to flat surface, which will provide a cleaner construction joint at radius	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN - LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1 A122 - DIMENSION	Dimension	HAlvarado	?	С	04 Yes
49	PLAN -LEVEL 1	Dimension	HAlvarado	?	С	04 Yes
49	A122 - DIMENSION PLAN - LEVEL 1	Cloud+	Daniela Quesada CID	No controlled entry into the open space behind trash/recycling room?	NC	04 Yes
49	A122 - DIMENSION PLAN - LEVEL 1	Dimension	vgarcia	?	R	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	vgarcia	?	R	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Constructability Issue	HAlvarado	Sheet A123 - Provide dimensions: @ base @ midpoint of slant @ top of wall slant	NC	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HAlvarado	?	С	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Cloud+	Daniela Quesada CID	clarification needed to the final elevator layout.	NC	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	vgarcia	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes

51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAlvarado	Sheet A124 - Tie dimension to a gridline	NC	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAlvarado	Sheet A124 - Provide missing dimension for proper wall layout.	NC	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAlvarado	Sheet A124 - Dimension does not match measurement above please clarify what this dimension to snapping to.	NC	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAlvarado	Sheet A124 - Dimension does not match measurement below please clarify what this dimension to snapping to.	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAlvarado	?	С	04 Yes
52	A130 - EQUIPMENT PLAN -LEVEL 1	Clarification	HAlvarado	Sheet A130, please confirm if food service drawings will be provided.	NC	04 Yes
52	A130 - EQUIPMENT PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A130 - Coordinate power requirements for all equipment.	NC	04 Yes
52	A130 - EQUIPMENT PLAN -LEVEL 1	Constructability Issue	HAlvarado	Sheet A130 - Users of toilet stalls will be exposed to the public with this layout	С	04 Yes
54	A142 - FINISH PLAN - LEVEL1	Constructability Issue	HAlvarado	Sheet A142 - New finish plans indicate the entire floor to be new, confirm if seats are to be removed in this area.	С	04 Yes
54	A142 - FINISH PLAN - LEVEL1	Callout	Rudy Barba	Sheets A103, A104, and A105 GENERAL NOTE 4.: Requires Corner Guards at elevator lobby and all corridors, Sheet A103 1st Floor Plan with note "C.G." all (11) locations for the corner guards. Sheets A104 & A105 2nd and roof top floor plans do not designate any "C.G." locations, please loace all 2nd and roof top "C.G." locations	С	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	What is this box?	NC	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	what is this ceiling symbol?	NC	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	provide ceiling symbol?	NC	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	what is this? please provide ceiling details?	NC	04 Yes
67	A201 - EXTERIOR ELEVATIONS	Cloud+	Daniela Quesada CID	Do you think we need some control (i.e. gate) into this open area behind the rain screen?	NC	04 Yes
68	A202 - EXTERIOR ELEVATIONS	07.400 - Metal Panels	nehermesch	A202: Please provide widths of Terracotta panels and spacing of vertical support members provided with terracotta rainscreen system.	NC	04 Yes
73	A300 - BUILDING SECTIONS	Text Box	jmrivera	is this beam on structural?	NC	04 Yes
74	A320 - WALL SECTIONS	Dimension	HAlvarado	?	С	04 Yes
74	A320 - WALL SECTIONS	Dimension	HAlvarado	?	С	04 Yes
74	A320 - WALL SECTIONS	Dimension	HAlvarado	?	С	04 Yes
74	A320 - WALL SECTIONS	Constructability Issue	HAlvarado	Sheet A320 - Provide dimension: @ Base @ Midpoint @ Top of Parapet	NC	04 Yes

				Dtl 4/A320: Both Architectural and Structural Details don't indicate whether the new Pergola		
74	A320 - WALL SECTIONS	05.100 - Steel	nehermesch	framing is separate from, or attached to the existing building structure. Care must be taken to design the connection detail so it can be properly flashed and sealed and allow for minor movement of the structure.	NC	04 Yes
76	A322 - WALL SECTIONS	Constructability Issue	HAlvarado	Sheet A322 - Please provide framing information in this area to support flooring	NC	04 Yes
79	A400 - ENLARGED STAIR PLANS -NORTH & SOUTH STAIRS	Text Box	DIANTE Rudy Barba	Sheets A400 - A404.1: Coordinate Stair titles "East and West" in lieu of "North and South" with plan orientation and to match Structural drawings.	NC	04 Yes
84	A405 - ELEVATOR SECTIONS	Cloud+	oytrueba	Is the new elevator in the existing shaft? or is a new elevator shaft, A103 is showing new layout and walls.	NC	04 Yes
84	A405 - ELEVATOR SECTIONS	Cloud+	oytrueba	Provide pavers specifications	NC	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	Image	nehermesch		С	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	Cloud+	nehermesch	See Dtl PS-003-f from Terreal website.	С	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	05.100 - Steel	nehermesch	Detail 7/A500: Structural Details don't indicate whether the new Pergola framing is separate from or attached to the existing building structure. Care must be taken to design the connection detail so it can be properly flashed and sealed and allow for minor movement of the structure.	NC	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	07.400 - Metal Panels	nehermesch	Dtl 2/A500: Conflict with manufacturer recommendations. Note calls for "Terreal Piterak Slim 30 Terracotta" Terreal Piterak Slim 30 Terracotta weighs 12 lbs / sf per spec section 07 42 29. Due to this substantial weight and the wide spacing of the vertical supports that are part of the Terracotta Rainscreen System, the "CONT. 'Z' FURRING" will not properly support the Terroctta Rainscreen system. Installation details from the manufacturer's website call for "Girt Segments" with 3 fasteners into the structure. Dtl 2/A500 only shows 'Z' Furring and one fastener. Typical 'Z' Furring is galvanized which conflicts with 07 42 29 Terroctta specification section 2.3.B Horizontal Support Profile, which calls for this member to be Stainless Steel or Aluminum Loading from the Terracotta could also affect sizing and spacing of structural metal studs. However, there is no specification to determine sizing of the exterior wall metal studs. Normally we would see this in specification 05 40 00 Cold Formed Metal Framing. Please show details of members that will adequately support the Terracotta.	NC	04 Yes
97	A600 - SCHEDULES	07.500 - Roofing	nehermesch	Please specify Pedestal Paver system. NOTE: System must be compatible with a Built Up TPO Roof. Specifically the TPO insulation must meet compressive strength (psi) requirements of the pedestal pavers, in order to support the pavers. Typically only the 1/2" cover board has high enough compressive strength.	NC	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Provide Spec Section for the Travertine.	С	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	New Ceramic Tile (Was not shown on DD set) Sundt to revise pricing for changes	С	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Specs are for Dimond polishing not for sealed concrete, please confirm. (Sundt to revise pricing for changes per specs)	С	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Confirm 331 & 341 Stairs flooring are existing to remain, and only to change the base correct?	NC	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Several Areas/SF changed or added spaces/rooms, Sundt to revise pricing on Flooring and new Layout	С	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Wall partition E2 is 8" CMU, Provide Specs for Masonry	С	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Cloud+	RAB	Sheet C1.0 Remove existing 36" storm line - If not in conflict with new 30" concrete drilled piers, is it possible to abandoned 36" storm pipe in place and fill pipe with a lean cement flowable fill? To excavate, shore/shotcrete the building side of the excavation, remove the pipe and re-compact will increase the cost and and construction duration of the project. +/-21 at Entry & 31 ' at south building line.	R	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Length Measurement	oytrueba	10'-10"	R	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Internal Discussion Item	HAlvarado	Should Limits of Construction be modified to include the demolition of wall and roof drains shown in the Loading Dock Area?	R	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Cloud+	RAB	Sheet C1.1, Project area - As the site is very tight some or all of this area may be needed to properly complete the construction. Will this be possible?	R	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Length Measurement	oytrueba	10'-9"	R	04 Yes

11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Clarification	HAlvarado	Is this new area new work?	NC	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	RFI	HAlvarado	Provide dimensions for concrete layout.	NC	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	С	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	С	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	С	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	С	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Dimension	HAlvarado	?	С	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Text Box	HAlvarado	Provide dimensions	NC	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	С	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	с	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAlvarado	?	с	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Callout	RAB	Sheet C1.1 Drainage Piping for Site Walls - Designate locations of drain lines and points of connection to the new storm drain system.	NC	04 Yes
140	E1.0 - SHEET TITLESITE PLAN NEW.MACC Clevland Square	Text Box	Daniela Quesada CID	Are there missing/turned off layers in the electrical site-plan?	с	04 Yes
147	E3.2 - SHEET TITLE POWER PLAN 3RD FLOOR	Cloud+	Daniela Quesada CID	Is this where you are relocating the solar panels?	NC	04 Yes
147	E3.2 - SHEET TITLE POWER PLAN 3RD FLOOR	Callout	ladams	Section cut does not exist on E2.3, what is this?	NC	04 Yes
147	E3.2 - SHEET TITLE POWER PLAN 3RD FLOOR	Cloud+	ladams	Provide power for RR exhaust fans, coordinate starter requirements with MECH	NC	04 Yes
149	E4.1 - SHEET TITLE SPECIAL SYSTEMS PLAN 2ND FLOOR	Internal Discussion Item	jtstrub	2nd floor special notes. #8 - Delete OR EQUAL APPROVED BY OWNER and provide list of manufacturer / model number of equal products.	NC	04 Yes

151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Internal Discussion Item	jtstrub	Please delete note 4. Sundt will handle the mean/methods of contracting electrical and low voltage subcontractors. Removing this note will eliminate back and forth between subcontractors.	NC	04 Yes
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Internal Discussion Item	jtstrub	Communications Room Notes #1 - Please add to an architectural drawing so that carpentry and painter sees notes associated with plywood on the walls.	NC	04 Yes
36	L5.00 - SHEET TITLESITEFURNISHINGS	Cloud+	oytrueba	Sheet L5.00 - Site Furnishing - No specifications or manufacturers are noted?	NC	04 Yes
132	P100	21.100 - Fire Protection	nehermesch	P100 Note 21: Please provide a location for the new Fire Hydrant listed in note 21 on P100.	NC	04 Yes
132	P100	Text Box	ladams	Provide Isometric drawings for water, drainage, and gas Confirm health department requirements for food service areas including hot water temperatures, hand washing, and grease trap needs.	NC	04 Yes
135	P202	Constructability Issue	HAlvarado	Architectural drawings indicate drains to daylight at Loading Dock. Existing conditions show sloped concrete ramp, please confirm if this is correct.	NC	04 Yes
136	P203	Callout	ladams	Need water and drainage for sink	NC	04 Yes
137	P204	22.100 - Plumbing	nehermesch	New Hot & Cold water lines are shown supplying water to Rooms 501 and 502 on the Rooftop level, but no sewer lines are shown. Please provide routing and locations for these sewer lines.	NC	04 Yes
137	P204	Text Box	ladams	Will there be any floor sinks for the bar or food prep areas? Drainage not shown for any. Confirm no dishwashing or sanitizing in food prep area, if required additional 140 degree water will be needed.	NC	04 Yes
139	P401	Callout	ladams	MUA requires gas, water, and drainage, RE: MECH	NC	04 Yes
139	P401	Text Box	ladams	Coordinate routing of storm drains down to 1st floor and tie-ins to civil. Verify architectural furr- outs will accommodate pipe sizes with required supports.	NC	04 Yes
99	S100 - SHEET TITLE STRUCTURAL NOTES	Text Box	Rudy Barba	Structural Drawings - Replace all pending requirements noted by "X" with required specifications.	NC	04 Yes
99	S100 - SHEET TITLE STRUCTURAL NOTES	03.000 - Structural Concrete (Turnkey	Rudy Barba	Spec 03 30 012.6 Requirements to not fully match the noted requirements on Structural Drawing Sheet S100, "CONCRETE", please coordinate.	NC	04 Yes
101	S102 - SHEET TITLE STRUCTURAL DETAILS	03.000 - Structural Concrete (Turnkey	nehermesch	S102: Please provide a detail for penetrations through footings Including max sizes and reinforcing details. At a minimum, there are Roof Drains that must penetrate the footings	NC	04 Yes
101	S102 - SHEET TITLE STRUCTURAL DETAILS	Cloud+	oytrueba	Revise and confirm Pier Schedule to match with Structural Drawings. and provide Pier details.	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Callout	Rudy Barba	Sheets S20, 201, & S202 STRUCTURAL DEMOLITION: 2nd General note and Key Note #1 require demolition of existing walls without delineation of materials, types of construction or structural/non structural designations. Please specify, note and detail the required scopes of work.	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Callout	Rudy Barba	S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Do not define the existing elevator shaft demolition requirements. Please identify, note, and detail the required scopes of work.	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	Per A100.4 New Slab 11X12' to be demo and excavate a pit, 12" or as required for new work. Please coordinate with Architectural drawings	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	Per A100.4 is referencing to structural with new note: DEMO SIDEWALK AND EXCAVATE FOR NEW FLOOR SLAB, however there is no details in structural, please provide	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	coordinate architectural demolition openings for new elevator	NC	04 Yes
105	S201 - SHEET TITLE SECOND FLOOR FRAMING DEMOLITION PLAN	Cloud+	oytrueba	Per A100.5 note: 15' X 11' DEMO AN OPENING IN FLOOR FOR NEW STAIRS - COORDINATE W/ ABOVE Provide details in structural, coordinate with Architectural	NC	04 Yes
105	S201 - SHEET TITLE SECOND FLOOR FRAMING DEMOLITION PLAN	Cloud+	oytrueba	Per A100.5: 10'x12' DEMO SLAB AND EXCAVATE AN ELEVATOR PIT Coordinate with Architectural drawings.	NC	04 Yes
105	S201 - SHEET TITLE SECOND FLOOR FRAMING DEMOLITION PLAN	Cloud+	oytrueba	coordinate architectural demolition openings for new elevator	NC	04 Yes

107	S300 - SHEET TITLE FOUNDATION PLAN	03.100 - Concrete Forming	nehermesch	S300: The pier callouts are not explained in the structural notes nor in any details. For Clarity, please confirm if the typical Pier Call-outs are as follows: - Pier Type - Embedment depth (into gray limestone) - Top of Pier Elevation	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	RFI	oytrueba	Provide revised Pier locations, dimensions and details. Per conversation with the Architect, to be revised to 45' not 97'.	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Revise pier drills in foundation plans to match pier schedule and details	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Add column line	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Text Box	Rudy Barba	Sheets S300, S301, S400 & S401 Foundation and 2nd Floor plan views are missing detail references and Key Notes to define the required scopes of work.	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Is this a new elevator shaft? Provide foundation details	NC	04 Yes
107	S300 - SHEET TITLE	03.100 - Concrete Forming	nehermesch	S300: Drawings do not show any thickened slab or other type of footing for the pergola framing.	NC	04 Yes
109	FOUNDATION PLAN S400 - SHEET TITLE SECOND FLOOR FRAMING PLAN	05.100 - Steel	nehermesch	Please confirm this is or is not required. S400: The columns for the pergola framing are not shown. Please confirm locations and material type and size for pergola columns.	NC	04 Yes
109	S400 - SHEET TITLE SECOND FLOOR FRAMING PLAN	Callout	Rudy Barba	Structural Drawings: The new to existing construction scopes of work, details, notes, connections, demolition are not developed or defined.	NC	04 Yes
109	S400 - SHEET TITLE SECOND FLOOR FRAMING PLAN	Text Box	Rudy Barba	Structural Sheets S400, S401, S402, S403, PLAN NOTES with key lettered items referencing details on S700 are not shown.	NC	04 Yes
111	S402 - SHEET TITLE THIRD FLOOR FRAMING PLAN	Callout	vgarcia	Hoist beam size and orientation?	NC	04 Yes
111	S402 - SHEET TITLE THIRD FLOOR FRAMING PLAN	Cloud+	oytrueba	Coordinate elevator shaft/ extension with Architectural changes	NC	04 Yes
113	S500 - SHEET TITLE ROOF FRAMING PLAN	Cloud+	oytrueba	Coordinate with Architectural drawings, new elevator shaft? not only an extension??	NC	04 Yes
113	S500 - SHEET TITLE ROOF FRAMING PLAN	Callout	jmrivera	decking termination?	NC	04 Yes
115	S600 - SHEET TITLE FOUNDATION DETAILS	Callout	Rudy Barba	Sheet S600, all Details 1 - 5: Reference Sheet S100 Foundation Note 10 Vapor barrier placement constructibility comment.	NC	04 Yes
118	S800 - SHEET TITLE ROOF FRAMING DETAILS	Callout	jmrivera	is this at max loading?	NC	04 Yes
118	S800 - SHEET TITLE ROOF FRAMING DETAILS	Callout	jmrivera	frequency of kickers/does this replace bridging?	NC	04 Yes
118	S800 - SHEET TITLE ROOF FRAMING DETAILS	Callout	jmrivera	to avoid elevation issues why not include elevations on structural as well	NC	04 Yes
120	S900 - SHEET TITLE STAIR PLANS	Cloud+	oytrueba	Stair foundation details are not showing foundations details. Please confirm or revise	NC	04 Yes
120	S900 - SHEET TITLE STAIR PLANS	Text Box	Rudy Barba	Sheets S900 & 5 902 West and East Stairs: It was my understanding at one of the site visits the new 2nd floor to roof top stairwells may not require any reinforcing foundation and 2nd floor work. With the West and East Stair well drawings not showing any progression between the DD and SD Drawings has the determination not yet been made, please confirm?	NC	04 Yes
123	S903 - SHEET TITLE BRACE FRAME ELEVATIONS	Text Box	Rudy Barba	Sheet S903 Detail A - SCREEN WALL ELEVATION: Not show are details of each end walls that turn North, steel to foundation details, nor new screen structure tie into existing building details, please denote, section, and detail.	NC	04 Yes
22	SHEET L2.00 - SHEET TITLE HARDSCAPE DETAILS	Callout	oytrueba	Sheet L2.00, detail 12, Landscape Boulders - Not found in the drawings is a the referenced Hardscape plan to know locations, size, and quantity of boulders.	NC	04 Yes
22	SHEET L2.00 - SHEET TITLE HARDSCAPE DETAILS	32.140 - Unit Pavers	HAlvarado	Provide 2 finish colors, per detail 9/L2.00	NC	04 Yes
23	SHEET L2.01 - SHEET TITLE HARDSCAPE DETAILS	Text Box	jmrivera	should have chamfered edges to get a cleaner look. 90 degree will probably have to be rubbed and patched.	NC	04 Yes

04 Yes	NC	Specification section 05 40 00 Cold Formed Metal Framing is missing. This section is needed to size exterior walls and parapets as well as any walls that provide structural support.	nehermesch	400 - Cold-Formed-Metal-Framed Stru	05.4	1
04 Yes	NC	Provide specs, Wall types is calling for an 8" CMU	oytrueba	Cloud+		1
04 Yes	NC	Are Sustainable Design Requirements needed?	eespalin	Text Box		1
04 Yes	NC	015550 Construction Facilities spec section	oytrueba	Callout		1
04 Yes	NC	Spec section Missing	oytrueba	Cloud+		1
04 Yes	NC	03 30 01 - Cast in place - Civil Site	oytrueba	Callout		1
04 Yes	NC		oytrueba	Arrow		1
04 Yes	NC	Spec section 11 4100 residential appliances missing or not needed?	oytrueba	Cloud+		2
04 Yes	NC	08 4229 Automatic Sliding entrances (Double up with 08 2290??	oytrueba	Callout		2
04 Yes	NC	Revised with actual title: Geotechnical Engineering Study June 22, 2020	oytrueba	Cloud+		4
04 Yes	NC	Spec 01 0000 - 1.4.C. & D.: OFOI and OFCI are not applicable.	Rudy Barba	Text Box		6
04 Yes	NC	Spec 01 0390 - 1.3 E. & F.: coordinate owner occupancy post substantial completion and correction of defective work and Punch List???	Rudy Barba	Text Box		9
04 Yes	NC	SECTION 01 22 00 UNIT PRICES - Are unit prices applicable to this project; AIA please remove?	Rudy Barba	Highlight		18
04 Yes	NC	Spec 01 5100 - 1.6.F F. Permanent building lighting may [not] be utilized during construction. This requirement is above and beyond Contract requirements and may not be possible in every room/area. , strike or reword from "not" to "not desired and to be coordinated on an as required basis".	Rudy Barba	Highlight		28
04 Yes	NC	Spec 01 5550 - 1.7 FIELD OFFICES AND SHEDS. There is no room for a separate filed office/trailer on site, current estimates include the use of existing interior space for construcion temp office.	Rudy Barba	Highlight		31
04 Yes	NC	Spec 02 4113 - 6.a. Houses, sheds, warehouses, barns, trailer houses, etc. This paragraph is not applicable to this project, please strike.	Rudy Barba	Highlight		49
04 Yes	NC	Spec 02 41 13 - "c. Underground disposal system associated with the building" and "d. Filling or removing septic tanks and cesspools". These paragraphs are not applicable to this project, please strike.	Rudy Barba	Highlight		49
04 Yes	NC	Spec 02 4113 - 6.b. "fireplaces" are not applicable to this project, please strike.	Rudy Barba	Cloud+		49
04 Yes	NC	Spec 02 4113 - 6.e. Capping wells. This paragraph is not applicable to this project, please strike.	Rudy Barba	Highlight		50
04 Yes	NC	Spec 02 4113 - 1.4.B.8. The contractor shall be responsible for increasing structural supports or adding new supports as may be required as a result of any cutting, removal, or demolition work preformed Please note Sundt is not the designer of record and is only responsible for complete scopes of work including structural supports designed in the contract documents, in lieu of "as may be required" replace with "as shown".	Rudy Barba	Highlight		50
04 Yes	NC	Spec 02 4113 - 3.3.C. & D. UG concrete tanks are not applicable to this project, please strike.	Rudy Barba	Callout		51
04 Yes	NC	Spec 01 4113 3.4.C. "cellars" are not included in this contract, please strike this requirement.	Rudy Barba	Cloud+		52
04 Yes	NC	Spec 02 4113 3.5.C. change entity to "City of El Paso" in lieu of "MACC"	Rudy Barba	Highlight		52
04 Yes	NC	02 4113 3.8.C. "Fill shall be made with existing earth" Geotech by LOI: 4.4 Soil Stratigraphy - Stratum A top 15' to 41.5' are acceptable soil.	Rudy Barba	31.100 - Earthwork		53
04 Yes	NC	02 4113 3.8.D. "Concrete and aggregate may, with Engineer's approval, be used as fill material"	Rudy Barba	02.100 - Demolition		53
04 Yes	NC	Spec 31 23 23 - 3.5.A. Perform laboratory material tests according to contract documents. Per contract field testing is by Owner, Sundt will coordinate for owner all testing.	Rudy Barba	Highlight		65
04 Yes	NC	03 30 01 - 2.8.1. The thickness of curing blanks should be a means and methods decision, please delete this requirement.	Rudy Barba	03.300 - Concrete Place & Finish		78
04 Yes	NC	Finish schedule and DD Documents are calling for Sealed concrete, not dimond polishing floors, please confirm (Sundt to revise pricing for Added scope)	oytrueba	Cloud+		106
04 Yes	NC	05 31 30 What is the minimal required deck thickness, please specify. Also coordinate with requirements in other spec sections, ()	Rudy Barba	05.100 - Steel		116
04 Yes	NC	Spec 06 41 00 - 1.2.B. references Spec sections 12 36 60 not included in the documents, please coordinate.	Rudy Barba	Cloud+		131
04 Yes	NC	Spec 07 42 29.00 - 2.2.8.10. & 11. require various colors and textures, please narrow the required selections to minimize added cost.	Rudy Barba	Cloud+		157
		Spec 02 4113 - 3.3.G. Cap wells. There are no wells shown in the contract documents, please				

