

**CITY OF EL PASO, TEXAS
AGENDA ITEM
DEPARTMENT HEAD'S SUMMARY FORM**

AGENDA DATE: 9.14.21

PUBLIC HEARING DATE: N/A

CONTACT PERSON(S) NAME AND PHONE NUMBER: Sam Rodriguez, P.E., City Engineer, 212-0065

DISTRICT(S) AFFECTED: District 8

STRATEGIC GOAL: Goal 4: Enhance El Paso's Quality of Life through Recreational, Cultural and Educational Environments

SUBGOAL: Goal 4.1: Complete Quality of Life Bond Projects and develop signature programming: Mexican American Cultural Center

SUBJECT: Discussion and action on the following items related to the Mexican American Cultural Center and Main Library Renovation

1.1) Presentation on the design of the Mexican American Cultural Center and Main Library Renovation signature Quality of Life Bond Project. Construction to be completed in summer of 2023.

1.2) **APPROVE** a resolution to reprogram project funds from 1) Investment Interest Capital Plans in the amount of \$3,124,819.68, 2) PCP Balance Project Savings in the amount of \$4,194,969.15, for the total aggregated amount of \$7,319,788.83 to Cleveland Square & Main Library Renovation Projects.

1.3) **APPROVE** amendments to the 2020-535R Construction Manager At Risk agreement with Sundt, for approval of the Guaranteed Maximum Price of \$22,551,344.00.

1.4) **APPROVE** a resolution to coordinate with El Paso Electric to identify and relocate specific existing improvements in the site to accommodate for the construction and improvements of the MACC and Cleveland Square.

BACKGROUND / DISCUSSION:

The Mexican American Cultural Center & Main Library Renovation have had an increase in scope since the last approved budget of \$18,003,664, that included \$7,253,663 from the 2012 Quality of Life Bond, and \$10,750,000 from the 2019 Capital plan. The increased scope includes the renovation of Cleveland Square into a public open amphitheater space, specialty equipment for programming, as well an enhanced entrance and new staircase for Main Library, new connecting breezeway from the new Children's Area to Teen Town, and new furniture as part of the renovation. The added scope brings increased quality and enhanced amenities to a signature quality of life project. The transferred funds will cover the total new project budget of \$25,323,452.80, so that construction may begin in September of 2021 for project completion of July 2023.

PRIOR COUNCIL ACTION:

Council previously approved an increased budget for the Mexican American Cultural Center & Main Library Renovation on September 18 2018. The amount approved was \$10,750,000.00 to be funded by the 2019 Capital Plan.

AMOUNT AND SOURCE OF FUNDING:


Revised 04/09/2021

The total aggregated amount of \$25,323,452.80 is being funded by 1) \$7,253,663 from the 2012 Quality of Life Bond, and 2) \$10,750,000 from the 2019 Capital plan, as well as the reprogramed project funds from 3) Investment Interest Capital Plans in the amount of \$3,124,819.68, and 4) PCP Balance Project Savings in the amount of \$4,194,969.15.

HAVE ALL AFFECTED DEPARTMENTS BEEN NOTIFIED? ☒ YES ☐ NO

PRIMARY DEPARTMENT: Capital Improvement
SECONDARY DEPARTMENT: MCAD, Parks & Recreation

*****REQUIRED AUTHORIZATION*****

DEPARTMENT HEAD: 

(If Department Head Summary Form is initiated by Purchasing, client department should sign also)

RESOLUTION

WHEREAS, the El Paso City Council previously approved the 2009 Capital Plan, 2010 Capital Plan, 2011 Capital Plan, FY12 – FY13 Capital Plan, the 2013 Street Infrastructure plan, the 2017 Capital Plan, the 2018 Capital Plan, the 2019 Capital Plan, and the 2020 Capital Plan and the 2012 Quality of Life projects (all collectively referred to as the “**Capital Plans**”) which generated investment interest and had balances left over from completed projects within each capital plan (“**Existing Projects**”); and

WHEREAS, the City is developing the Mexican American Cultural Center, Cleveland Square & Main Library Renovation Project (the “**Project**”); and

WHEREAS, the Existing Projects have or will be completed under their current budgets; and

WHEREAS, the City desires to reprogram project funding and interest from the Existing Projects in the aggregated amount of \$7,319,788.83 to the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

THAT the City approves the reprogramming of funds from investment interest in previous Capital Plans, and project savings of completed projects to the Project as shown in **Attachment “A”**. Further that the Capital Plans are amended as provided herein, and that the City Manager, or designee, is authorized to execute all documents and perform all actions necessary to effectuate the reprogramming of funds as provided herein.

PASSED AND APPROVED this _____ day of _____ 2021.


THE CITY OF EL PASO:

Oscar Leaser
Mayor

ATTEST:

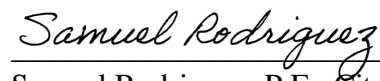
Laura D. Prine
City Clerk

APPROVED AS TO FORM:



Omar De La Rosa
Assistant City Attorney

APPROVED AS TO CONTENT:



Samuel Rodriguez, P.E., City Engineer
Capital Improvement Department

“ATTACHMENT A”

Project Funds Reprogramming

ADD		TO	
Project Name		Fund	Amount
PCP Balance/Project Savings			
Mexican American Cultural Center’s Cleveland Square & Main Library Renovations	Fund 4530 2011 CO ISSUE (Parks/Streets/City Facilities)		\$225,474.79
	Fund 4510 2010 CO ISSUE (Parks/streets/City Facilities)		\$77,708.13
	Fund 4743 2018 CO ISSUE (Parks/Museums/Zoo/City Facilities, Streets)		\$582,285.42
	Fund 4745 2019 Capital Plan (Acquire/Construct/Improve/Renovate/Equip: New & existing parks, open space, facilities)		\$113,618.03
	Fund 4746 2020 CAPITAL PLAN (Acquire/Construct/Improve/Renovate/Equip: New & existing parks, open space, facilities)		\$3,074,803.46
	Fund 4800 PROPOSITION 1 (Parks/Zoo)		\$121,079.32
	Total:		\$4,194,969.15
Investment Interest			
Mexican American Cultural Center’s Cleveland Square & Main Library Renovations	Fund 4800 PROPOSITION 1 (Parks/Zoo)		\$144,370.65
	Fund 4800 PROPOSITION 2 (Libraries/MCAD)		\$95,120.57
	Fund 4560 FY12-FY13 CIP (Parks/Streets/City Facilities)		\$144.05
	Fund 4710 2009 CAPITAL PLAN (Acquire/Construct/Improve/Renovate/Equip: New & existing parks, open space, facilities)		\$3,701.99
	Fund 4741 2017 CAPITAL PLAN (Acquire/Construct/Improve/Renovate/Equip: New & existing parks, open space, facilities)		\$68,183.28
	Fund 4740 2012-13 STREET INFRASTRUCTURE (Re-alignment/Parks/Streets/facilities)		\$657,590.00
	Fund 4743 2018 CAPITAL PLAN (Acquire/Construct/Improve/Renovate/Equip: New & existing parks, open space, facilities)		\$515,932.84
	Fund 4745 2019 CAPITAL PLAN (Acquire/Construct/Improve/Renovate/Equip: New & existing parks, open space, facilities)		\$228,700.67
	Fund 4746 2020 CAPITAL PLAN		\$83,343.51

	Fund 4530 2011 CO ISSUE (Parks/Streets/City Facilities)	\$1,168,844.01
	Fund 4510 2019 CO ISSUES (Parks/Streets/City Facilities)	\$158,888.11
	Total:	\$3,124,819.68

Aggregated Total: \$7,319,788.83	Aggregated Total:	\$7,319,788.83
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RESOLUTION

WHEREAS, Ordinance 16090 grants the El Paso Electric Company (“**El Paso Electric**”) a franchise to construct, reconstruct, repair, maintain, use and operate in, over, or under the present and future streets, alleys, public ways parks, and public places of the City of El Paso, facilities for the transmission and distribution of electrical energy and broadband over power line communications; and

WHEREAS, Ordinance 16090 also provides that the City shall have the power at any time to require El Paso Electric to change the route or position of its poles, lines, conduits, or other construction at El Paso Electric’s expense when the El Paso City Council shall find, by resolution, that such change is necessary in the closing, opening or relocation of streets or alleys, or water or sewer lines, the changing of grade of streets or alleys, the construction and maintenance of parks and public improvements, the construction of private buildings, the construction or use of driveways, and under other conditions which the City Council shall find necessary under the lawful exercise of its police power; and

WHEREAS, the City of El Paso is currently making improvements to the El Paso Public Library Main Branch, located at 501 N. Oregon St., El Paso, TX 79901 (“**Property**”), such improvements including the construction of a Mexican American Cultural Center; and

WHEREAS, El Paso Electric currently has infrastructure and facilities located on the Property and on public spaces and right of ways belonging to the City of El Paso adjacent to the Property, and

WHEREAS, On August 13, 2013, the City of El Paso granted El Paso Electric an Underground and Switchgear Box Pad Easement recorded in the Official Public Records of Real Property in El Paso County under Document No. 20130067773 (“**Easement**”), such document granting an easement to El Paso Electric for the installation of some underground facilities on the Property; and

WHEREAS, the Easement provides that the City shall have the power at any time to require El Paso Electric Company to change the route and position of its poles, lines, conduits, or other construction at El Paso Electric’s expense when the El Paso City Council finds, by resolution, that such change is necessary in the closing, opening or relocation of streets or alleys, or water or sewer lines, the changing of grade of streets or alleys, the construction and maintenance of public improvements, the construction of private buildings, the construction or use of driveways or under other conditions which the City Council shall find necessary.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

RESOLUTION

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

THAT the City Manager is authorized to sign the Guaranteed Maximum Price Amendment to the Standard Form of Agreement by and between the City of El Paso and SUNDT CONSTRUCTION, Inc. ("Construction Manager") for the project known as "Mexican American Cultural Center & Library Renovation – 2020-535R", to accept and incorporate the Construction Manager's Guaranteed Maximum Price Proposal and establishing the Guaranteed Maximum Price ("GMP") for the project in the amount of \$22,551,344; and

That the City Manager or Designee be authorized to approve contract changes or amendments which are necessary for proper execution of the work and carrying out the intent of the project, which are in accordance with applicable laws and are within the appropriate budget; and

That the City Manager be authorized to establish the funding sources and make any necessary budget transfers and execute any and all documents necessary for execution of this agreement.

PASSED AND APPROVED this ____ day of _____, 20__.

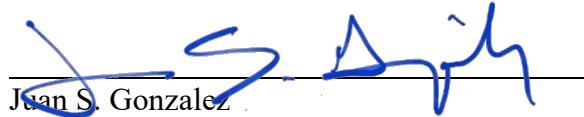
CITY OF EL PASO:

Oscar Leeser, Mayor

ATTEST:


Laura D. Prine,
City Clerk

APPROVED AS TO FORM:



Juan S. Gonzalez
Senior Assistant City Attorney

APPROVED AS TO CONTENT:



Sam Rodriguez, P.E., City Engineer
Capital Improvement Department

1. That the City Council finds that the relocation of El Paso Electric improvements located on the Property, and adjacent public areas and rights of way, is necessary for the construction and maintenance of city public improvements and the construction of city buildings on and adjacent to the Property.
2. That in accordance to Ordinance 16090 and the Easement, the City of El Paso requires the El Paso Electric Company to change the route or position of its poles, lines, conduits, or other construction at, and adjacent to, the Property at the El Paso Electric Company's expense.
3. That the City Engineer is authorized, and directed, to coordinate with El Paso Electric to identify the specific El Paso Electric improvements that need to be relocated to accommodate the construction of the city improvements to, and adjacent to, the Property.

ADOPTED this _____ day of _____, 2021.

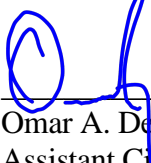
THE CITY OF EL PASO:

ATTEST:

Oscar Leeser
Mayor


Laura D. Prine
City Clerk

APPROVED AS TO FORM:



Omar A. De La Rosa
Assistant City Attorney

APPROVED AS TO CONTENT:



Sam Rodriguez, P.E.
City Engineer

**GUARANTEED MAXIMUM PRICE AMENDMENT
TO THE
STANDARD FORM OF AGREEMENT
BETWEEN OWNER AND CONSTRUCTION MANAGER**

This Guaranteed Maximum Price Amendment to the Standard Form of Agreement Between Owner and Construction Manager (the “Amendment”) is entered into by and between the City of El Paso (the “City” or “Owner”) and SUNDT CONSTRUCTION, INC. (“Sundt” or “Construction Manager”) for the construction of Mexican American Cultural Center & Library Renovation –2020-535R Project (“Project”). This Amendment amends the one certain Standard Form of Agreement Between the Owner and Design-Builder (the “Agreement”) entered into by and between the City and SUNDT, dated February 4, 2020, and establishes a Guaranteed Maximum Price (“GMP”) for construction and time for completion of construction as set forth below:

RECITALS:

WHEREAS, the City and Construction Manager entered into the Agreement dated as of February 4, 2020, for the construction of the Mexican American Cultural Center & Library Renovation –2020-535R Project; and

WHEREAS, unless clearly provided otherwise herein, all terms and phrases used herein shall have the same meaning as the terms and phrases used in the Agreement; and

WHEREAS, Section 2.05 of the Agreement contemplates the delivery of a Construction Manager’s GMP Proposal to the City; and

WHEREAS, Section 2.05 of the Agreement requires that said proposal contain certain representations and documentation; and

WHEREAS, Section 2.05 of the Agreement provides that in the event the City timely accepts the Construction Manager’s GMP Proposal, this Amendment shall be executed; and

WHEREAS, Construction Manager has delivered a Construction Manager’s GMP Proposal to the City; and

WHEREAS, the City desires to accept the Construction Manager’s GMP Proposal, subject to any amendments or revisions as set forth below.

NOW, THEREFORE, in consideration of the mutual covenants set forth herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and Construction Manager agree to modify and amend the Agreement as follows:

1. The City hereby accepts the Construction Manager's GMP Proposal submitted dated July 28, 2021, a true and complete copy of which is attached hereto and incorporated herein by reference, marked as Exhibit "1-A".

2. **GUARANTEED MAXIMUM PRICE.** Construction Manager's GMP for the project is \$22,551,344, subject to additions and deductions by Change Order as provided in the Contract Documents. As agreed by the City and Construction Manager, the GMP is an amount that the total project costs shall not exceed, and is based on and detailed in the attached Exhibit "1-A".

3. **CMAR FEE.** The Construction Manager's Fee for the Construction of the Work is hereby established in the sum of \$894,899, based on the product of 4.25% multiplied by the Cost of the Work, and said sum is included within the above stated GMP.

4. **TOTAL PROJECT COST.** The Total Project Cost for the construction of the Project are hereby established in the sum of \$17,352,657, and said sum is included in the above stated GMP. Construction Manager acknowledges and agrees that the City shall have no liability for any Cost of Project expenses beyond payment of the above noted amount and Construction Manager agrees that it shall not be entitled to receive any additional compensation from the City for the General Conditions beyond this amount unless expressly adjusted by a Change Order.

5. **CMAR CONTINGENCY.** A Construction Manager's contingency for the project is established in the sum of \$694,106 and said sum is included in the above GMP. Construction Manager shall use the Construction Managers Contingency pursuant to section D / Clarifications & Assumptions of the Construction Manager's GMP Proposal attached to this document as Exhibit "1-A".

6. **OWNER CONTINGENCY.** An Owner's contingency for the project is established in the sum of \$60,000 and said sum is included in the above GMP. Owner shall use the Owner's Contingency pursuant to Subsection 6.3 of Section D / Clarifications & Assumptions of the Construction Manager's GMP Proposal attached to this document as Exhibit "1-A".

7. **BUY OUT SAVINGS.** In the event of any "buy out" transactions, agreements by the Construction Manager with a subcontractor for the subcontractor's cost of its portion of the Work, then such savings shall be shared with the Owner in the following percentages: 50% to Owner, 50% to Construction Manager up to \$300,000.

8. **SUBSTANTIAL COMPLETION.** The Construction Manager shall achieve Substantial Completion of the entire Work not later than 640 calendar days from the date of commencement, subject to and adjustments of this Contract Time as provided in the Contract Documents and Change Orders modifying and extending this Agreement. It is specifically understood and agreed to by and between Owner and Construction Manager that time is of the essence in the substantial completion of the Work, and that failure to substantially complete the Work within the designated period, or as it may be extended, shall be construed as a breach of this Agreement.

9. **FINAL COMPLETION.** The Construction Manager shall achieve Final Completion of the entire Work not later than 672 calendar days from the date of commencement, subject to and adjustments of this Contract Time as provided in the Contract Documents and Change Orders modifying and extending this Agreement. It is specifically understood and agreed to by and between

Owner and Construction Manager that time is of the essence in the substantial completion of the Work, and that failure to substantially complete the Work within the designated period, or as it may be extended, shall be construed as a breach of this Agreement.

10. **LIQUIDATED DAMAGES.** The Construction Manager acknowledges and recognizes that the Owner is entitled to full and beneficial occupancy and use of the completed work following expiration of the Contract Time. The Construction Manager further acknowledges and agrees that, if the Construction Manager fails to substantially, or cause the Substantial Completion or Final Completion of any portion of the Work within the Contract time, the Owner will sustain actual damages as a result of such failure. The exact amount of such damages will be difficult to ascertain. Therefore, the Owner and Construction Manager agree that, if the Construction Manager shall neglect, fail, or refuse to achieve substantial completion of the Work by the Substantial Completion or Final Completion date, subject to proper extension granted by the Owner, then the Construction Manager agrees to pay the Owner as liquidated damages ("Liquidated Damages"), not as a penalty, for the damages that would be suffered by Owner as a result of delay the sum of:

\$2,216 for each consecutive calendar day after the date of Substantial Completion in which the Work is not completed.

\$1,550 for each consecutive calendar day after the date of Final Completion in which the Work is not completed.

11. Except as modified herein, the terms and conditions of the Agreement remain unchanged. In the event of a conflict between the terms of this Amendment and those of the Agreement, the City and Construction Manager agree that the terms of this Amendment shall take precedence.

IN WITNESS WHEREOF, the parties have executed this Amendment to be effective as of the ____ day of _____, 20____.

Owner:

CITY OF EL PASO, TEXAS

Tomas González
City Manager

Construction Manager:

SUNDT CONSTRUCTION, INC.

By: _____

Name: _____

Title: _____

Exhibit “1-A” – Construction Manager’s GMP Proposal

Exhibit "1-A"

Mexican American Cultural Center

GMP

182125 / Submitted July 28, 2021



SUNDT

SUNDT CONSTRUCTION, INC. / 2620 S 55TH ST / TEMPE, AZ 85282 / 480.293.3000 / SUNDT.COM



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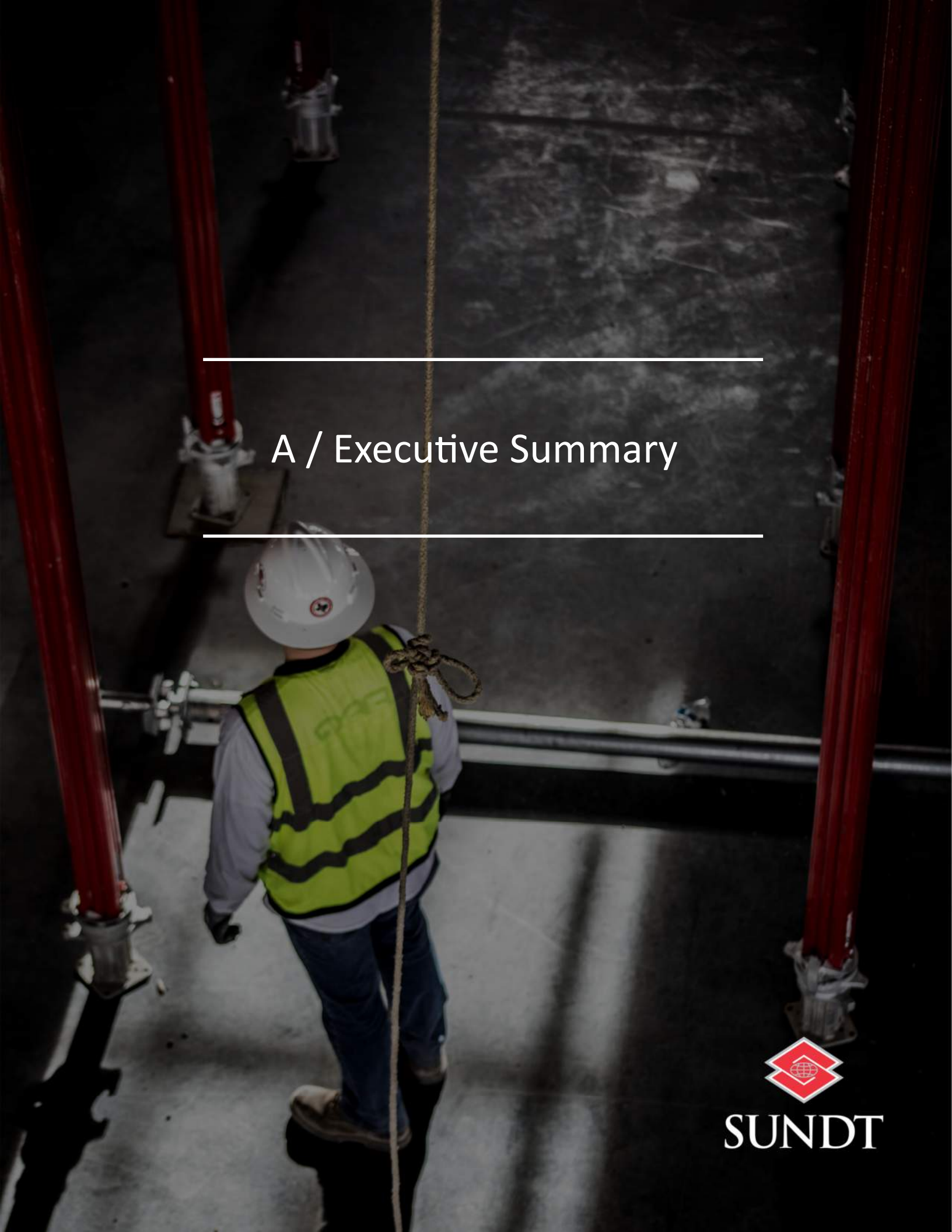
D / Clarifications & Assumptions

E / List of Documents

F / Project Schedule

G / Constructability Review





A / Executive Summary



SUNDT



EXECUTIVE SUMMARY

Sundt Construction is pleased to present the Guaranteed Maximum Price for the Mexican American Cultural Center Project. The project price is broken down between the following

Library—\$5,147,382

MACC—\$13,255,705

Cleveland Square—\$2,071,059

Furniture—\$1,497,961

Within the numbers above we are carrying contingencies in the following amounts

Cost Escalation—\$260,290

Design—\$173,527

Construction—\$694,106

Included in this package are the summary report, detailed cost report, clarifications and assumptions, schedule, and list of contract documents used for developing the GMP.



B / Estimate Summary



SUNDT

<div>MACC</div> <div>GMP</div> <div>Friday, July 30, 2021; Revised Friday September 03, 2021</div>															<div><div><div></div></div><div>SUNDT</div></div>				
Description	1- MACC			2 - Library			3 - Cleveland Park			4 - Furniture			Project Total						
	40,939 S.F.			67,590 S.F.			45,312 S.F.			108,529 S.F.			108,529 S.F.						
	Total	%	\$/S.F.	Total	%	\$/S.F.	Total	%	\$/S.F.	Total	%	\$/S.F.	Total	%	\$/S.F.				
DIRECT COST																			
00 13 00 Traffic Control	\$20,000	0.15%	\$0.49	\$20,000	0.38%	\$0.30	\$20,000	0.94%	\$0.44	\$0	0.00%	\$0.00	\$60,000	0.27%	\$0.55				
00 14 00 Mockup	\$25,000	0.18%	\$0.61	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$25,000	0.11%	\$0.23				
00 16 00 BIM	\$10,000	0.07%	\$0.24	\$10,000	0.19%	\$0.15	\$5,000	0.24%	\$0.11	\$0	0.00%	\$0.00	\$25,000	0.11%	\$0.23				
00 18 00 Survey	\$24,962	0.18%	\$0.61	\$4,500	0.09%	\$0.07	\$21,343	1.00%	\$0.47	\$0	0.00%	\$0.00	\$50,805	0.23%	\$0.47				
02 41 00 Demolition	\$232,483	1.71%	\$5.68	\$160,265	3.03%	\$2.37	\$59,554	2.80%	\$1.31	\$0	0.00%	\$0.00	\$452,302	2.01%	\$4.17				
03 30 00 Structural Concrete	\$482,470	3.55%	\$11.79	\$136,758	2.59%	\$2.02	\$345,675	16.26%	\$7.63	\$0	0.00%	\$0.00	\$964,903	4.28%	\$8.89				
04 20 00 Masonry	\$163,755	1.20%	\$4.00	\$22,924	0.43%	\$0.34	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$186,679	0.83%	\$1.72				
05 10 00 Structural Steel	\$1,320,863	9.71%	\$32.26	\$293,779	5.56%	\$4.35	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$1,614,642	7.16%	\$14.88				
05 60 00 Decorative Metals	\$746,852	5.49%	\$18.24	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$746,852	3.31%	\$6.88				
06 40 00 Architectural Woodwork	\$133,203	0.98%	\$3.25	\$177,128	3.35%	\$2.62	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$310,331	1.38%	\$2.86				
07 10 00 Waterproofing	\$65,488	0.48%	\$1.60	\$14,193	0.27%	\$0.21	\$24,866	1.17%	\$0.55	\$0	0.00%	\$0.00	\$104,547	0.46%	\$0.96				
07 50 00 Roofing	\$937,060	6.89%	\$22.89	\$21,018	0.40%	\$0.31	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$958,078	4.25%	\$8.83				
08 10 00 Doors, Frames and Hardware	\$225,034	1.65%	\$5.50	\$191,134	3.62%	\$2.83	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$416,168	1.85%	\$3.83				
08 30 00 Specialty Doors	\$123,844	0.91%	\$3.03	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$123,844	0.55%	\$1.14				
08 40 00 Exterior Glazing System	\$292,512	2.15%	\$7.15	\$144,497	2.74%	\$2.14	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$437,009	1.94%	\$4.03				
09 20 00 Framing & Drywall	\$1,468,460	10.79%	\$35.87	\$498,120	9.43%	\$7.37	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$1,966,580	8.72%	\$18.12				
09 64 00 Wood Flooring	\$70,288	0.52%	\$1.72	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$70,288	0.31%	\$0.65				
09 68 00 Carpet	\$339,194	2.49%	\$8.29	\$387,633	7.34%	\$5.74	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$726,827	3.22%	\$6.70				
10 00 00 Specialties	\$61,720	0.45%	\$1.51	\$66,798	1.26%	\$0.99	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$128,518	0.57%	\$1.18				
10 14 00 Signage	\$13,116	0.10%	\$0.32	\$12,564	0.24%	\$0.19	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$25,680	0.11%	\$0.24				
11 40 00 Food Service Equipment	\$257,531	1.89%	\$6.29	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$257,531	1.14%	\$2.37				
12 20 00 Window Treatments	\$46,357	0.34%	\$1.13	\$25,000	0.47%	\$0.37	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$71,357	0.32%	\$0.66				
12 60 00 Multiple Seating	\$329,300	2.42%	\$8.04	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$1,183,000	76.95%	\$10.90	\$1,512,300	6.71%	\$13.93				
14 20 00 Elevators	\$192,862	1.42%	\$4.71	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$192,862	0.86%	\$1.78				
21 00 00 Fire Suppression	\$193,198	1.42%	\$4.72	\$266,671	5.05%	\$3.95	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$459,869	2.04%	\$4.24				
22 00 00 Plumbing	\$20,000	0.15%	\$0.49	\$40,000	0.76%	\$0.59	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$60,000	0.27%	\$0.55				
26 00 00 Electrical	\$2,457,208	18.06%	\$60.02	\$1,537,294	29.10%	\$22.74	\$157,527	7.41%	\$3.48	\$0	0.00%	\$0.00	\$4,152,029	18.41%	\$38.26				
27 40 00 Audio Video Communications	\$212,942	1.57%	\$5.20	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$212,942	0.94%	\$1.96				
31 00 00 Earthwork	\$0	0.00%	\$0.00	\$16,145	0.31%	\$0.24	\$556,369	26.17%	\$12.28	\$0	0.00%	\$0.00	\$572,514	2.54%	\$5.28				
31 31 00 Termite Treatment	\$2,860	0.02%	\$0.07	\$173	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$3,033	0.01%	\$0.03				
31 40 00 Support of Excavation	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$25,000	1.18%	\$0.55	\$0	0.00%	\$0.00	\$25,000	0.11%	\$0.23				
32 14 00 Unit Paving	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$157,889	7.43%	\$3.48	\$0	0.00%	\$0.00	\$157,889	0.70%	\$1.45				
32 31 00 Fences and Gates	\$0	0.00%	\$0.00	\$3,500	0.07%	\$0.05	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$3,500	0.02%	\$0.03				
32 90 00 Landscaping	\$0	0.00%	\$0.00	\$15,000	0.28%	\$0.22	\$262,778	12.36%	\$5.80	\$0	0.00%	\$0.00	\$277,778	1.23%	\$2.56				
SUBTOTAL DIRECT COST	\$10,468,562	76.95%	\$255.71	\$4,065,094	76.95%	\$60.14	\$1,636,001	76.95%	\$36.11	\$1,183,000	76.95%	\$10.90	\$17,352,657	76.95%	\$159.89				
Subcontractor Default Insurance	0.00%	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00			
Subcontractor Liability Insurance	0.00%	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00			
Material & Labor Escalation	1.50%	\$157,028	1.15%	\$3.84	\$60,976	1.15%	\$0.90	\$24,540	1.15%	\$0.54	\$17,745	1.15%	\$0.16	\$260,290	1.15%	\$2.40			
Design Contingency	1.00%	\$104,686	0.77%	\$2.56	\$40,651	0.77%	\$0.60	\$16,360	0.77%	\$0.36	\$11,830	0.77%	\$0.11	\$173,527	0.77%	\$1.60			
Contractors Contingency	4.00%	\$418,742	3.08%	\$10.23	\$162,604	3.08%	\$2.41	\$65,440	3.08%	\$1.44	\$47,320	3.08%	\$0.44	\$694,106	3.08%	\$6.40			
Sales / Gross Receipts Tax	0.00%	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00			
TOTAL DIRECT COST	\$11,149,019	81.95%	\$272.33	\$4,329,325	81.95%	\$64.05	\$1,742,341	81.95%	\$38.45	\$1,259,895	81.95%	\$11.61	\$18,480,580	81.95%	\$170.28				
INDIRECT COSTS																			
Preconstruction Fee		\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00	\$0	0.00%	\$0.00			
General Conditions		\$1,300,816	9.56%	\$31.77	\$505,126	9.56%	\$7.47	\$203,288	9.56%	\$4.49	\$146,999	9.56%	\$1.35	\$2,156,228	9.56%	\$19.87			
PL & PD Insurance	0.95%	\$125,807	0.92%	\$3.07	\$48,853	0.92%	\$0.72	\$19,661	0.92%	\$0.43	\$14,217	0.92%	\$0.13	\$208,538	0.92%	\$1.92			
Builder's Risk	0.19%	\$25,382	0.19%	\$0.62	\$9,856	0.19%	\$0.15	\$3,967	0.19%	\$0.09	\$2,868	0.19%	\$0.03	\$42,073	0.19%	\$0.39			
G.C. Bond	0.77%	\$101,970	0.75%	\$2.49	\$39,596	0.75%	\$0.59	\$15,936	0.75%	\$0.35	\$11,523	0.75%	\$0.11	\$169,025	0.75%	\$1.56			
Contractors Fee (OH&P)	4.25%	\$539,877	3.97%	\$13.19	\$209,642	3.97%	\$3.10	\$84,371	3.97%	\$1.86	\$61,009	3.97%	\$0.56	\$894,899	3.97%	\$8.25			
SUBTOTAL INDIRECT COSTS		\$2,093,852	15.39%	\$51.15	\$813,073	15.39%	\$12.03	\$327,222	15.39%	\$7.22	\$236,616	15.39%	\$2.18	\$3,470,763	15.39%	\$31.98			
OWNERS CONTINGENCY		\$361,970	2.66%	\$8.84	\$140,558	2.66%	\$2.08	\$56,568	2.66%	\$1.25	\$40,904	2.66%	\$0.38	\$600,000	2.66%	\$5.53			
TOTAL PROJECT CONSTRUCTION COSTS		\$13,604,841	100.00%	\$332.32	\$5,282,957	100.00%	\$78.16	\$2,126,131	100.00%	\$46.92	\$1,537,415	100.00%	\$14.17	\$22,551,344	100.00%	\$207.79			



REIMBURSABLE LABOR RATES

Exhibit I.B.


Mexican American Cultural Center

DESCRIPTION		Unit	Unit
		Rate	
1	REGIONAL MANAGER	\$200.08	Hour
2	PROJECT EXECUTIVE	\$188.54	Hour
3	PROJECT MANAGER	\$124.13	Hour
4	MEP SPECIALIST	\$133.34	Hour
5	PRECONSTRUCTION MANAGER	\$200.08	Hour
6	PRECON PROJECT MANAGER	\$153.83	Hour
7	SENIOR ESTIMATOR	\$123.34	Hour
8	ESTIMATOR	\$106.39	Hour
9	GENERAL SUPERINTENDENT	\$147.90	Hour
10	PROJECT SUPERINTENDENT	\$119.55	Hour
11	FIELD SUPERINTENDENT	\$76.61	Hour
12	PROJECT ENGINEER	\$87.34	Hour
13	FIELD ENGINEER	\$68.16	Hour
14	QUALITY MANAGER	\$90.41	Hour
15	QUALITY CONTROL INSPECTOR	\$77.38	Hour
16	SAFETY SPECIALIST	\$79.68	Hour
17	PROJECT OFFICE MANAGER	\$70.79	Hour
18	PROJECT ADMINISTRATOR	\$60.50	Hour
19	CLERICAL PERSONNEL	\$59.79	Hour
20	CONTRACT ADMINISTRATOR	\$65.73	Hour
21	VDC DEPARTMENT MANAGER	\$142.81	Hour
22	VDC ENGINEER	\$111.45	Hour
23	VDC TECHNICIAN	\$80.97	Hour
24	PROJECT SCHEDULER	\$115.72	Hour
100	CARPENTER FOREMAN	\$53.12	Hour
101	CARPENTER JOURNEYMAN	\$45.36	Hour
102	EQUIPMENT OPERATOR FOREMAN	\$48.71	Hour
103	EQUIPMENT OPERATOR JOURNEYMAN	\$45.10	Hour
104	EQUIPMENT OPERATOR TOWER CRANE	\$55.53	Hour
105	CEMENT MASON FOREMAN	\$52.99	Hour
106	CEMENT MASON JOURNEYMAN	\$44.83	Hour
107	LABORER FOREMAN	\$42.82	Hour
108	LABORER JOURNEYMAN	\$45.90	Hour
109	IRONWORKER FOREMAN	\$55.66	Hour
110	IRONWORKER JOURNEYMAN	\$49.51	Hour
111	WELDER	\$52.32	Hour

1. These rates are valid from October 1, 2021 thru September 30, 2022. After September 30, 2022 these rates will increase 5% per year unless otherwise stipulated in the contract.
2. Holiday, Sick and Vacation time for personnel assigned to the project will be a reimbursable cost at these same labor rates.
3. The above labor rates include all customary medical and health insurance, payroll taxes, qualified retirement plan (401k and ESOP), bonus, and fringe benefits.

Allowances**Exhibit II.C. List of Allowances in GMP**

Line No.		Description	Total Amount	2021-07-28 all Estimate Allowances
1		Elevator Cab Upgrades (MACC)	\$	25,000.00
2		Existing Auditorium Acoustic Panels (Re-Upholstery)	\$	20,000.00
3		Library Window Treatment	\$	25,000.00
4		AV Equipment	\$	469,000.00
5		MACC Furniture	\$	347,000.00
6		Library Furniture	\$	367,000.00
7		Workshop Tool/Equipment	\$	267,000.00
8		Utility Locates	\$	3,000.00
9		Ceiling and Column Patch	\$	78,431.00
10		Refinishing of Library Desk	\$	8,500.00
11		Outdoor LED Screen	\$	212,942.00
12		Children's interactive wall	\$	14,000.00
13		Material & Labor Escalation	\$	260,290.00
14		Cleaning of existing duct	\$	49,000.00
15		Replace Existing Plumbing Lines	\$	60,000.00
TOTAL			\$	2,206,163.00

A night-time photograph of a construction site. In the foreground, a worker in a green safety vest and white hard hat is bent over, working on a rebar grid. Several other workers in similar safety gear are scattered across the site. A large concrete pump truck with a long, articulated boom is positioned on the right side of the frame. In the background, a tall, illuminated lattice tower stands against the dark sky. The city lights of a distant urban area are visible on the horizon. Two horizontal white lines frame the text "C / Estimate Detail".

C / Estimate Detail

MACC GMP 7.28.21

DESCRIPTION	TOTAL COST
00 13 00 Construction Support	\$60,000
00 14 00 Miscellaneous Job Expenses	\$25,000
00 16 00 Quality Control / Quality Assurance	\$25,000
00 18 00 Survey	\$50,805
02 41 00 Demolition	\$452,302
03 30 00 Structural Concrete	\$964,903
04 20 00 Masonry	\$186,679
05 10 00 Structural Steel	\$1,614,642
05 60 00 Decorative Metals	\$746,852
06 40 00 Architectural Woodwork	\$310,331
07 10 00 Waterproofing	\$104,547
07 50 00 Roofing	\$958,078
08 10 00 Doors, Frames and Hardware	\$416,168
08 30 00 Specialty Doors	\$123,844
08 40 00 Exterior Glazing System	\$437,009
09 20 00 Framing & Drywall	\$1,966,580
09 64 00 Wood Flooring	\$70,288
09 68 00 Carpet	\$726,827
10 00 00 Specialties	\$128,518
10 14 00 Signage	\$25,680
11 40 00 Food Service Equipment	\$257,531
12 20 00 Window Treatments	\$71,357
12 60 00 Multiple Seating	\$1,512,300
14 20 00 Elevators	\$192,862
21 00 00 Fire Suppression	\$459,869
22 00 00 Plumbing	\$60,000
26 00 00 Electrical	\$4,152,029
27 40 00 Audio Video Communications	\$212,942
31 00 00 Earthwork	\$572,514
31 31 00 Termite Treatment	\$3,033
31 40 00 Support of Excavation	\$25,000
32 14 00 Unit Paving	\$157,889
32 31 00 Fences and Gates	\$3,500
32 90 00 Landscaping	\$277,778
DIRECT SUBTOTAL	\$17,352,657

MACC GMP 7.28.21



INDIRECT SUBTOTAL

TOTAL PROJECT COST

\$17,352,657



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT COST	TOTAL COST	NOTES/COMMENTS
00 13 00 Construction Support						
001300.001	Traffic Control/Sidewalk closure	60.00	Month	\$3,000.00	\$60,000.00	
00 13 00 Construction Support					\$60,000.00	
00 14 00 Miscellaneous Job Expenses						
001400.001	Mockup	1.00	LS	\$25,000.00	\$25,000.00	
00 14 00 Miscellaneous Job Expenses					\$25,000.00	
00 16 00 Quality Control / Quality Assurance						
001600.001	BIM/Coord, Qual Const. Review, & Tracking	1.00	LS	\$5,000.00	\$5,000.00	
001600.001	BIM/Coord, Qual Const. Review, & Tracking	2.00	LS	\$20,000.00	\$20,000.00	
00 16 00 Quality Control / Quality Assurance					\$25,000.00	
00 18 00 Survey						
001800.000	Survey	1.00	LS	\$5,462.00	\$5,462.00	
001800.000	Survey	1.00	LS	\$16,843.00	\$16,843.00	
001800.001	Site Survey - Contractor's Geotechnical Study	1.00	LS	\$15,000.00	\$15,000.00	
001800.001	Site Survey - GPRS (undergrind radar)	1.00	LS	\$4,500.00	\$4,500.00	
001800.001	Site Survey - GPRS (underground radar)	1.00	LS	\$4,500.00	\$4,500.00	
001800.001	Site Survey - GPRS (underground radar)	1.00	LS	\$4,500.00	\$4,500.00	
00 18 00 Survey					\$50,805.00	
02 41 00 Demolition						
024100.000	Bid Package - Demolition	1.00	LS	\$59,554.00	\$59,554.00	
024100.000	Bid Package - Demolition	1.00	LS	\$128,994.00	\$128,994.00	
024100.000	Bid Package - Demolition	1.00	LS	\$212,323.00	\$212,323.00	
024100.001	Post Demo Discovery Issues	102,862.00	SF Flr.	\$1.00	\$51,431.00	
02 41 00 Demolition					\$452,302.00	
03 30 00 Structural Concrete						
033000.000	Bid Package - Structural Concrete	1.00	LS	\$116,758.00	\$116,758.00	
033000.000	Bid Package - Structural Concrete	1.00	LS	\$335,675.00	\$335,675.00	
033000.000	Bid Package - Structural Concrete	1.00	LS	\$477,470.00	\$477,470.00	
033000.001	Patch floors and columns	1.00	All.	\$5,000.00	\$5,000.00	
033000.001	Patch floors and columns	1.00	All.	\$20,000.00	\$20,000.00	
033500.010	Etch Concrete Historic Walk Media-Blast (6 locals per 1/L2.02M)	1.00	LS	\$10,000.00	\$10,000.00	
03 30 00 Structural Concrete					\$964,903.00	
04 20 00 Masonry						
042200.100	Concrete Masonry Rebar	1.00	LS	\$7,462.00	\$7,462.00	
042200.100	Concrete Masonry Units 8"	1.00	LS	\$22,924.00	\$22,924.00	
042200.100	Concrete Masonry Units 8"	1.00	LS	\$131,293.00	\$131,293.00	
042200.100	Concrete Masonry Units allowance	1.00	LS	\$25,000.00	\$25,000.00	
04 20 00 Masonry					\$186,679.00	
05 10 00 Structural Steel						
051000.000	Bid Package - Structural Steel Fabrication/Erection	1.00	LS	\$293,779.00	\$293,779.00	
051000.000	Bid Package - Structural Steel Fabrication/Erection	1.00	LS	\$1,320,863.00	\$1,320,863.00	
05 10 00 Structural Steel					\$1,614,642.00	



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT COST	TOTAL COST	NOTES/COMMENTS
05 60 00 Decorative Metals						
056000.000 Bid Package - Decorative Metals - Ext. Alum/LED & Perf Screen Walls		1.00	LS	\$746,852.00	\$746,852.00	
05 60 00 Decorative Metals					\$746,852.00	
06 40 00 Architectural Woodwork						
064000.000 Bid Package - Architectural Woodwork		1.00	LS	\$133,203.00	\$133,203.00	
064000.000 Bid Package - Architectural Woodwork		1.00	LS	\$156,628.00	\$156,628.00	
064000.000 Bid Package - Refinish Existing Desk		1.00	All.	\$8,500.00	\$8,500.00	
064000.000 Wall at interactive childrens areas		1.00	All.	\$12,000.00	\$12,000.00	
06 40 00 Architectural Woodwork					\$310,331.00	
07 10 00 Waterproofing						
071000.000 Bid Package - Waterproofing/Joint Sealants		1.00	LS	\$14,193.00	\$14,193.00	
071000.000 Bid Package - Waterproofing/Joint Sealants		1.00	LS	\$24,866.00	\$24,866.00	
071000.000 Bid Package - Waterproofing/Joint Sealants		1.00	LS	\$65,488.00	\$65,488.00	
07 10 00 Waterproofing					\$104,547.00	
07 50 00 Roofing						
075000.000 Bid Package - Paving/Waterproofing		1.00	LS	\$382,611.00	\$382,611.00	
075000.000 Bid Package - Roofing		1.00	LS	\$21,018.00	\$21,018.00	
075000.000 Bid Package - Roofing		1.00	LS	\$146,185.00	\$146,185.00	
075000.000 Bid Package - Terracota Rainscreen		1.00	LS	\$408,264.00	\$408,264.00	
07 50 00 Roofing					\$958,078.00	
08 10 00 Doors, Frames and Hardware						
081000.001 Bid Package - Doors - Interior		1.00	LS	\$191,134.00	\$191,134.00	
081000.001 Bid Package - Doors - Interior		1.00	LS	\$225,034.00	\$225,034.00	
08 10 00 Doors, Frames and Hardware					\$416,168.00	
08 30 00 Specialty Doors						
083000.015 Folding Door		1.00	EA	\$28,650.00	\$28,650.00	
083000.015 Full Height Coiling Grille		1.00	EA	\$95,194.00	\$95,194.00	
08 30 00 Specialty Doors					\$123,844.00	
08 40 00 Exterior Glazing System						
084000.000 Bid Package - Exterior Glazing System		1.00	LS	\$144,497.00	\$144,497.00	
084000.000 Bid Package - Exterior Glazing System		1.00	LS	\$292,512.00	\$292,512.00	
08 40 00 Exterior Glazing System					\$437,009.00	
09 20 00 Framing & Drywall						
092000.000 Bid Package - Framing, Drywall, Paint, EFIS, Rough Carpentry		1.00	LS	\$498,120.00	\$498,120.00	
092000.001 Bid Package - Framing, Drywall, Paint, EFIS, Rough Carpentry		1.00	LS	\$1,468,460.00	\$1,468,460.00	
09 20 00 Framing & Drywall					\$1,966,580.00	
09 64 00 Wood Flooring						
096400.005 Flooring - Wood Flooring		1.00	LS	\$70,288.00	\$70,288.00	
09 64 00 Wood Flooring					\$70,288.00	
09 68 00 Carpet						
096800.000 Bid Package - Flooring		1.00	LS	\$339,194.00	\$339,194.00	



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT COST	TOTAL COST	NOTES/COMMENTS
096800.010	Bid Package - Flooring	1.00	LS	\$387,633.00	\$387,633.00	
09 68 00	Carpet				\$726,827.00	
10 00 00	Specialties					
100000.000	Bid Package -Child Interactive Wall station 9/A-211L	1.00	All.	\$2,000.00	\$2,000.00	
102800.000	Bid Package - Toilet, Bath and Laundry Accessories	1.00	LS	\$57,220.00	\$57,220.00	
102800.000	Bid Package - Toilet, Bath and Laundry Accessories	1.00	LS	\$60,298.00	\$60,298.00	
102800.000	Defibulator	2.00	All.	\$9,000.00	\$9,000.00	
10 00 00	Specialties				\$128,518.00	
10 14 00	Signage					
101400.010	Signage - Building	1.00	LS	\$13,116.00	\$13,116.00	
101400.015	Signage - Building	1.00	LS	\$12,564.00	\$12,564.00	
10 14 00	Signage				\$25,680.00	
11 40 00	Food Service Equipment					
114000.000	Equipment - Food Service	1.00	LS	\$257,531.00	\$257,531.00	
11 40 00	Food Service Equipment				\$257,531.00	
12 20 00	Window Treatments					
122000.000	Bid Package - Window Treatments	1.00	LS	\$46,357.00	\$46,357.00	
122000.000	Bid Package - Window Treatments - Allowance	50.00	EA	\$500.00	\$25,000.00	
12 20 00	Window Treatments				\$71,357.00	
12 60 00	Multiple Seating					
114000.000	Equipment - Workshop (Tools, Dust Colletion = FFE - CFCI)	1.00	All.	\$267,000.00	\$267,000.00	
126000.000	Bid Package - A/V	1.00	All.	\$469,000.00	\$469,000.00	
126000.000	Bid Package - Furniture/Equipment - Library	1.00	All.	\$367,000.00	\$367,000.00	
126000.000	Bid Package - Furniture/Equipment - MACC	1.00	All.	\$347,000.00	\$347,000.00	
126000.000	Bid Package - Multiple Seating	1.00	All.	\$62,300.00	\$62,300.00	
12 60 00	Multiple Seating				\$1,512,300.00	
14 20 00	Elevators					
142000.000	Bid Package - Elevators - included equipment relocation	1.00	LS	\$167,862.00	\$167,862.00	
142713.001	Elevator - Cab upgrade	1.00	All.	\$25,000.00	\$25,000.00	
14 20 00	Elevators				\$192,862.00	
21 00 00	Fire Suppression					
210000.000	Bid Package - Fire Protection	1.00	LS	\$193,198.00	\$193,198.00	
210000.000	Bid Package - Fire Protection	1.00	LS	\$266,671.00	\$266,671.00	
21 00 00	Fire Suppression				\$459,869.00	
22 00 00	Plumbing					
221000.925	Plumbing - Additional Plumbing Runs	1.00	LS	\$20,000.00	\$20,000.00	
221000.925	Plumbing - Additional Plumbing Runs	1.00	LS	\$40,000.00	\$40,000.00	
22 00 00	Plumbing				\$60,000.00	
26 00 00	Electrical					



ITEM CODE	DESCRIPTION	QUANTITY	UM	TOTAL UNIT COST	TOTAL COST	NOTES/COMMENTS
260000.000	Bid Package - Electrical/HVAC/Plumbing/AV/Comm	1.00	LS	\$157,527.00	\$157,527.00	
260000.000	Bid Package - Electrical/HVAC/Plumbing/AV/Comm	1.00	LS	\$1,537,294.00	\$1,537,294.00	
260000.000	Bid Package - Electrical/HVAC/Plumbing/AV/Comm	1.00	LS	\$2,457,208.00	\$2,457,208.00	
26 00 00 Electrical					\$4,152,029.00	
27 40 00 Audio Video Communications						
274000.026	AV System - Outdoor LED Screen 13'-8"x44'-0"	1.00	LS	\$212,942.00	\$212,942.00	
27 40 00 Audio Video Communications					\$212,942.00	
31 00 00 Earthwork						
310000.000	Bid Package - Earthwork	1.00	LS	\$12,945.00	\$12,945.00	
310000.000	Bid Package - Earthwork	1.00	LS	\$553,369.00	\$553,369.00	
312300.030	Backfill basement w/import material	1.00	All.	\$3,200.00	\$3,200.00	
312300.030	Utility Location in Cleveland Square Park	1.00	All.	\$3,000.00	\$3,000.00	
31 00 00 Earthwork					\$572,514.00	
31 31 00 Termite Treatment						
313100.001	Termite Treatment	5,515.00	LS	\$1.10	\$3,033.25	
31 31 00 Termite Treatment					\$3,033.25	
31 40 00 Support of Excavation						
314000.001	Shoring	1.00	LS	\$25,000.00	\$25,000.00	
31 40 00 Support of Excavation					\$25,000.00	
32 14 00 Unit Paving						
321400.005	Plaza - Pavers	1.00	LS	\$157,889.00	\$157,889.00	
32 14 00 Unit Paving					\$157,889.00	
32 31 00 Fences and Gates						
323100.025	Wrought Iron Fencing	1.00	LS	\$3,500.00	\$3,500.00	
32 31 00 Fences and Gates					\$3,500.00	
32 90 00 Landscaping						
329000.000	Bid Package - Landscaping	1.00	All.	\$15,000.00	\$15,000.00	
329000.000	Bid Package - Landscaping	1.00	LS	\$262,778.00	\$262,778.00	
32 90 00 Landscaping					\$277,778.00	

DIRECT SUBTOTAL**\$17,352,657.25**

Furniture Breakdown of Allowances included in GMP

AMCC - City Scheduled Vocational Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
301	PUBLIC SPACE								
301	BLACK BOX	1		\$ 237,600.00	\$ -	\$ 184,900	\$ 52,700		\$ -
F	FOLDABLE CHAIR	150	\$ 120.00	\$ 18,000.00			\$ 18,000	Grade?	https://www.googleadservices.com/pagead/aclick?sa=L&ai=DChcSEwIl-eSn8TuAhUUceKkHUqjDgcYABAIGgJwdg&ohost=www.google.com&cid=CAESQOD2tXDIcVikA8marR1Ejh1cf9koyQiloHvetQTdyZgiaEdJnWNc1n6YZ3CkyKh9bICzPE1XFcU8RpVRuPzvGC8&sig=AOD64_1mUvh7CJWqW-2pfQINdu9hNtzG6g&ctype=5&q=&ved=2ahUKewjVwd6Sn8TuAhXiHTQIHUKwCH8Q9aACegQlAxBi&adurl=
F	MOVABLE CHAIR PLATFORM	3	\$ 10,000.00	\$ 30,000.00			\$ 30,000	Size & Grade?	https://www.google.com/aclick?sa=L&ai=DChcSEwIFyaCnocTuAhVuiKOGHZRrAroYABBCGgJwdg&sig=AOD64_2lemPIN4_AcPasvTA1PgT48PvFbQ&ctype=5&q=&ved=0ahUKewj6JunocTuAhUeHjQIHZImAxwQ9A4I9AU&adurl=
E	Permanent loudspeakers	6	\$ 15,000.00	\$ 90,000.00		\$ 90,000		Size & Grade?	https://www.google.com/aclick?sa=L&ai=DChcSEwJSuJPhosTuAhUjPaOGHYgLAfIYABAOgGJwdg&sig=AOD64_1Wk2OaEZLhkYd7jIwr69hbGJwGkw&ctype=46&q=&ved=0ahUKewj6g6o7hosTuAhVUOH0KHXSAgwQwW8l1wQ&adurl=
E	MOTORIZED PROJECTION SCREEN	2	2500	\$ 5,000.00		\$ 5,000		Size?	https://www.google.com/shopping/product/14554686021764605720?q=motorized+projection+screen&rlz=1C1GCEA_enUS868US868&sxsr=AleKk02On2Fa7kM95K7xqpD7Pi1WfuWrxw:1612030869656&biw=1023&bih=1010&safe=active&prds=eto:4340593283652781664_0&sa=X&ved=0ahUKewillbGEo8TuAhXsJTIQHsKuBfcQ8wllgQg
E	Electrically controlled Duvateen masking	1	\$ 4,100.00	\$ 4,100.00			\$ 4,100	10'x12-20ea+\$1500 motor Allow?	https://www.google.com/aclick?sa=L&ai=DChcSEwJShLm3pcTuAhX_PKOGHWIYBGoYABAEGgJwdg&sig=AO D64_1QD76NDtui_bRSF9Gro_Hlpvsjbg&ctype=5&q=&ved=2ahUKewim_rG3pcTuAhVpIDQIHdQRDkAQ9aACegQlChBH&adurl=
E	overhead, ceiling-mounted multimedia projectors	2	\$ 16,000.00	\$ 32,000.00		\$ 32,000		Size & Grade?	https://www.fullcompass.com/prod/556747-panasonic-ptz120bu-12600lms-wuxga-projector?dfw_tracker=36058-556747&gclid=CjwKCAiApNSABhAlEiwANuR9YD0trbnbj2GSxCMHTbl2leFdrzmOE7V7tE7ZEImnt3wtsJvZk1o45BoCtgiQAvD_BwE
E		1	\$ 29,000.00	\$ 29,000.00		\$ 29,000		Size & Grade?	https://vintageking.com/trident-series-88-console-88-16
E	Multimedia computer unit(s)	3	\$ 1,000.00	\$ 3,000.00		\$ 3,000		Size & Grade?	https://www.ebay.com/itm/265072355541?chn=ps&mkevt=1&mkeid=28
E	steel storage cabinet with racks	3	\$ 1,000.00	\$ 3,000.00		\$ 3,000		Size & Grade?	https://www.grainger.com/product/9WY47?gucid=N:N:FPL:Free:GGL:CSM-1946:tew63h3:20501231
E	Audio equipment including amplifiers, multimedia players and digital sound recorders, etc.	1	\$ 10,000.00	\$ 10,000.00		\$ 10,000		Size & Grade?	allow

AMCC - City Scheduled Vocational Equipment, Program A/V, & FF&E								
MACC								
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER MODEL
E	Video equipment and a media storage cabinet	1	\$ 2,000.00	\$ 2,000.00		\$ 2,000		Size & Grade? https://www.google.com/shopping/product/14858100547636741304?q=Video+equipment+and+a+media+storage+cabinet&rlz=1C1GCEA_enUS943US944&biw=1463&bih=691&safe=active&prds=eto:4398283232125266237_0&sa=X&ved=0ahUKewiphZPUvoTyAhXbmGoFHS20CSoQ8wllzw8
E	Master control panel for all audio/visual equipment, sound equipment, performer's equipment, and room lighting	1	\$ 6,500.00	\$ 6,500.00		\$ 6,500		Size & Grade? https://www.google.com/shopping/product/15787526163705461694?q=Master+control+audio/visual+panel&rlz=1C1GCEA_enUS943US944&biw=1463&bih=691&safe=active&prds=eto:8641447814739032105_0&sa=X&ved=0ahUKewibkeSdv4TyAhWlk2oFHWKIBSsQ8wllkwY
	Install	1	LS	\$ 5,000.00		\$ 4,400	\$ 600	Allowance
TOTAL \$232,600.00								
P	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER
300	LOBBY	1	\$ 12,400.00	\$ 12,400.00	\$ -	\$ -	\$ 12,400	\$ -
F	DESK	1	\$ 10,000.00	\$ 10,000.00			\$ 10,000	Recommend built-in to Millwork
F	Chair	3	\$ 800.00	\$ 2,400.00			\$ 2,400	Size & Grade?
TOTAL \$ 12,400.00								
BH	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER
318	PREP WORKSHOP	1	\$ 100,050	\$ 100,050	\$ 95,800	\$ 4,250	\$ -	\$ -
F	STEEL CABINET	1	\$ 7,500.00	\$ 7,500.00	\$ 7,500			Commercial Grade variance of x10???
E	WALL MOUNTED PANEL SAW	1	\$ 12,000.00	\$ 12,000.00	\$ 12,000			"
F	STEEL FIREPROOF CABINET	1	\$ 15,000.00	\$ 15,000.00	\$ 15,000			"
F	TABLE	2	\$ 1,500.00	\$ 3,000.00	\$ 3,000			"
E	PRINTER	1	\$ 4,000.00	\$ 4,000.00		\$ 4,000		"
E	TELEPHONE	1	\$ 250.00	\$ 250.00		\$ 250		"
E	table saw with extension surfaces	1	\$ 10,000.00	\$ 10,000.00	\$ 10,000			"
E	Dust collection system	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000			"
E	Air compressor	1	\$ 3,000.00	\$ 3,000.00	\$ 3,000			"
E	Radial arm saw	1	\$ 10,000.00	\$ 10,000.00	\$ 10,000			"
E	Edge planer	1	\$ 6,000.00	\$ 6,000.00	\$ 6,000			"
E	Belt / disk sander	1	\$ 15,000.00	\$ 15,000.00	\$ 15,000			"
E	Industrial wash sink with extra-large drain	1	\$ 2,500.00	\$ 2,500.00	\$ 2,500			"
E	PORTABLE SHOP VAC	1	\$ 1,800.00	\$ 1,800.00	\$ 1,800			"
	Install	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000			"
TOTAL \$ 38,300.00								
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER
102	COOKING CLASSROOM	1	\$ 45,750.00	\$ 45,750.00	\$ 1,650	\$ 21,800	\$ 22,300	\$ -
F	WORKING TABLE	4	\$ 450.00	\$ 1,800.00			\$ 1,800	Size & Grade? https://www.google.com/acik?sa=l&ai=DChcSEwiZgN7LrMTuAhXBG30KHSQmCysYABAEgGJwdg&sig=AO_D64_3bLoTMLUCikUjIIZ1kVEmFgiRyGg&ctype=5&q=&ved=0ahUKEwik4tjLrMTuAhWwHjQIHTa3An4Qww8IxAQ&adurl=

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AMCC - City Scheduled Vocational Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
F	CHAIRS	5	\$ 1,600.00	\$ 8,000.00			\$ 8,000	Allowance	
	Install	1	\$ 3,000.00	\$ 5,000.00			\$ 5,000	Allowance	
TOTAL \$ 8,000.00									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER	
OFFICE									
426	DIRECTOR'S OFFICE	1		\$ 5,100.00	\$ -	\$ -	\$ 5,100		\$ -
F	DESK	1	\$ 1,200.00	\$ 1,200.00			\$ 1,200	Size & Grade?	
F	CHAIR	1	\$ 600.00	\$ 600.00			\$ 600	Size & Grade?	
F	GUEST CHAIR	2	\$ 600.00	\$ 1,200.00			\$ 1,200	Size & Grade?	
F	STORAGE	2		Incl			Incl		
E	PRINTER	1	\$ 400.00	\$ 400.00			\$ 400		
E	Computer Desktop	1	\$ 1,200.00	\$ 1,200.00			\$ 1,200		
	Install	1	\$ 500.00	\$ 500.00			\$ 500		
TOTAL \$ 4,600.00									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER	
425,423,421,419	STANDARD OFFICE	4		\$ 9,500.00	\$ -	\$ 3,900	\$ 5,600		\$ -
F	DESK	2	\$ 600.00	\$ 1,200.00			\$ 1,200	Size & Grade?	
F	CHAIR	1	\$ 600.00	\$ 600.00			\$ 600	"	
E	COMPUTER/PHONE	1	\$ 1,500.00	\$ 1,500.00		\$ 1,500		"	
E	PRINTER	1	\$ 400.00	\$ 400.00		\$ 400		"	
F	Side Chairs	2	\$ 400.00	\$ 800.00			\$ 800	"	
	Install	1	\$ 1,000.00	\$ 5,000.00		\$ 2,000	\$ 3,000	Allowance	
TOTAL \$ 4,500.00									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURER	
424,422,420,418	SHARED OFFICE	4		\$ 6,400.00	\$ -	\$ -	\$ 6,400		\$ -
F	Desk	4	\$ 600.00	\$ 2,400.00			\$ 2,400	Size & Grade?	
F	Bookshelve	1	800	\$ 800.00			\$ 800	"	
F	Task Chair	4	\$ 600.00	\$ 2,400.00			\$ 2,400	"	
F	Side Chair	2	\$ 400.00	\$ 800.00			\$ 800	"	
TOTAL \$ 6,400.00									
438	RECEPTION	1		\$ 2,600.00	\$ -	\$ 1,000	\$ 1,600		\$ -
F	DESK	1	\$ 600.00	\$ 1,000.00			\$ 1,000	Size & Grade?	
E	COMPUTER/PHONE	1	\$ 600.00	\$ 600.00		\$ 600		"	
E	PRINTER	1	\$ 400.00	\$ 400.00		\$ 400		"	
F	Task Chair	1	\$ 600.00	\$ 600.00			\$ 600	"	
TOTAL \$ 2,600.00									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURE	
428	MEETING & CONFERENCE SPACES	7		34700					
428	SMALL CONFERENCE ROOM	1		\$ 22,700.00	\$ -	\$ 3,500	\$ 19,200		\$ -
F	TABLE	6	\$ 2,000.00	\$ 12,000.00			\$ 12,000	Size & Grade?	
F	CHAIR	12	\$ 600.00	\$ 7,200.00			\$ 7,200	"	
F	COMPUTER/PHONE	1	\$ 1,500.00	\$ 1,500.00		\$ 1,500		"	
F	TV	1	\$ 2,000.00	\$ 2,000.00		\$ 2,000		"	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURE	
106									
413	RECORDING STUDIO	1	LS	\$ 281,850.00	\$ 2,850	\$ 275,000	\$ 4,000	+/- Star Studios ROM Budget	\$ -
		1	LS	\$ 250,000.00		\$ 250,000		Allowance	
E	Speaker cabinets (ARE THESE BUILT IN?)	1		\$ -				W/A	
E	Drum set	1	\$ 2,800.00	\$ 2,800.00	\$ 2,800			"	
E	Wired microphone	1		\$ -				"	
E	Amplifiers and loudspeakers	1		\$ -				"	

AMCC - City Scheduled Vocational Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
E	A professional-grade mixer and console, likely a digital mixer	1		\$ -				"	
E	COMPUTER	1	\$ 1,200.00	\$ 1,200.00			\$ 1,200	"	
E	large flat-screen monitors	3		\$ -				"	
E	Specialized, custom-built console or "mixing desk" will be required to house the mixing board, computer equipment and audio processing equipment to fit the space.	1		\$ -				"	
E	Large open metal storage racks to which audio effects units and processors ("rack effects") are installed.	1		\$ -				"	
E	Studio monitors for playback of recorded audio	1		\$ -				"	
E	A desktop computer with several software digital audio workstations ("DAWs") such as ProTools, Ableton Live and/or Logic.	1		\$ -				"	
E	monitors connected to the computer for DAW interface and video playback	2		\$ -				"	
E	Rack interfaces, effects, and signal processors, such as microphone pre-amplifiers, MIDI interfaces, reverb units, sound banks, etc.	1		\$ -				"	
E	wired and wireless microphones	3		\$ -				"	
E	Amplifiers. A minimum of four amplifiers ("amps") and speaker cabinets ("cabs") are needed: Two guitar/instrument amps/cabs, one bass amp/cab and one keyboard amp/cab	4		\$ -				"	
E	Powered speakers. There will need to be a direct audio feed between the Control Room and the Performance Space, primarily for voice communication but also for recording playback.	3		\$ -				"	
F	CHAIR	4	\$ 600.00	\$ 2,400.00			\$ 2,400	"	
f	Install	1	\$ 400.00	\$ 400.00			\$ 400		
A/V	Install	1	\$ 25,000.00	\$ 25,000.00		\$ 25,000			
Voc	Install	1	\$ 50.00	\$ 50.00	\$ 50				
106	MAKER SPACE	1		\$ 113,000.00	\$ 87,600	\$ 16,000	\$ 9,400	r	\$ -
F	TABLE	9	\$ 600.00	\$ 5,400.00			\$ 5,400		
F	CHAIR	10	\$ 400.00	\$ 4,000.00			\$ 4,000		
E	rolling carts with hard drive back-ups, peripheral devices, and/or additional computer equipment.	3	\$ 1,500.00	\$ 4,500.00	\$ 4,500				

AMCC - City Scheduled Vocational Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
E	3D printers	2	\$ 13,000.00	\$ 26,000.00	\$ 26,000				https://www.google.com/acik?sa=l&ai=DChcSEwjTr4tsTuAhVslK0GHVryD6kYABAVGgJwdg&sig=AOD64_3cRa2elVlydVXfCJks6JKTcb0w&ctype=5&q=&ved=0ahUKewj70bX4tsTuAhUYFzQIHdO8BwkQww8I_gM&adurl=
E	Laser cutter	1	\$ 18,000.00	\$ 18,000.00	\$ 18,000				https://www.google.com/acik?sa=l&ai=DChcSEwj7hcqmt8TuAhUkCecKHZW1CvIYABAMGgJwdg&sig=AO D64_0pNxI45FG096Qjp497XvnWWHi0zQ&ctype=5&q=&ved=0ahUKewjCgsWmt8TuAhWYgTQIHWAoBj8Qww8IwgM&adurl=
E	Computer milling device	1	\$ 15,000.00	\$ 15,000.00	\$ 15,000				https://www.google.com/acik?sa=l&ai=DChcSEwjDnpvBt8TuAhW_GK0GHYGVc80YABAMGgJwdg&sig=AO D64_14CZrK9xPxaDcmV4FvKfMmSNj3Tw&ctype=5&q=&ved=0ahUKewj7u5XBt8TuAhWRCTQIHZGdD0oQww8IOAM&adurl=
E	Small format digital scanner	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000				https://www.google.com/acik?sa=l&ai=DChcSEwjxut7ot8TuAhXaC60GHduODIYYABAGGgJwdg&sig=AOD64_1YCxXweaPoWhYWPk8X1b0aE5txSA&ctype=5&q=&ved=0ahUKewilnot8TuAhVnIDQIHbyDDtMQww8IOAQ&adurl=
E	Digital cameras	2	\$ 3,200.00	\$ 6,400.00	\$ 6,400				https://www.google.com/acik?sa=l&ai=DChcSEwIAOalwlnyAhXeDK0GHfBWAz4YABANGgJwdg&sig=AO D64_0w3r1kwwenWDNka6VKtsPUfQO7Lg&ctype=65&q=&ved=0ahUKEwifleOIwlnyAhVHnp4KHR1tDfUQ2Cklywc&adurl=
E	Large screen TV (wall mounted)	1	\$ 4,000.00	\$ 4,000.00		\$ 4,000			
E	Instructor's desktop computers	2	\$ 1,500.00	\$ 3,000.00		\$ 3,000			
E	Laptop computers	2	\$ 1,200.00	\$ 2,400.00		\$ 2,400			
E	Room-dedicated computer servers and back-up hard drives	1	\$ 5,000.00	\$ 5,000.00		\$ 5,000			
E	Electric hand tools	1	\$ 2,000.00	\$ 2,000.00	\$ 2,000			Allowance	
E	Compressed air machine	1	\$ 1,200.00	\$ 1,200.00	\$ 1,200				
E	Small Dust collection system	1	\$ 7,700.00	\$ 7,700.00	\$ 7,700				https://www.google.com/acik?sa=l&ai=DChcSEwjb9NL9uMTuAhX3IK0GHe8nDdAYABBTGgJwdg&sig=AO D64_1z_tS479HAGt46zs7EpdJGSR_M2w&ctype=5&q=&ved=0ahUKEwiUgM79uMTuAhXqJzQIHsf5ALEQ2CklqAQ&adurl=
E	Portable shop vacuum	1	\$ 1,800.00	\$ 1,800.00	\$ 1,800				
E	Portable photo lights and tripods	1	1600	\$ 1,600.00		\$ 1,600			https://www.google.com/acik?sa=l&ai=DChcSEwidlaHQuCtuAhUOHq0GHZqgB-sYABA_GgJwdg&sig=AOD64_1riW2XMUMbVXF7E5MfsNOCPU1bBA&ctype=65&q=&ved=0ahUKEwiX25vQucTuAhWVHzQIHymIBLEQ2CkI2QQ&adurl=

AMCC - City Scheduled Vocationa Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
429	DIGITAL ART	1		\$ 79,400.00	\$ 40,800	\$ 25,000	\$ 13,600		\$ -
F	TABLE	10	\$ 600.00	\$ 6,000.00			\$ 6,000		
F	CHAIR	19	\$ 400.00	\$ 7,600.00			\$ 7,600		
E	Large format digital scanner	1	\$ 24,000.00	\$ 24,000.00	\$ 24,000				https://www.google.com/acлк?sa=L&ai=DChcSEwi-qt2fusTuAhXbKK0GHTFeAcS YABA0GgJwdg&sig=AOD64_3hRju4aPGRnzamAgSPYNnGllmC4Q&ctype=5&q=&ved=0ahUKEwiXntifusTuAhXTMX0KHcWvB6MQ2CklygU&adurl=
E	Small format digital scanner	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000				https://www.google.com/acлк?sa=L&ai=DChcSEwixut7ot8TuAhXaC60GHduODIYYABAGGgJwdg&sig=AOD64_1YCxXweaPoWhYWPk8X1b0aE5txSA&ctype=5&q=&ved=0ahUKEwilotnot8TuAhVnIDQIHbyDDtMQww8l0AQ&adurl=
E	Digital cameras	1	\$ 3,200.00	\$ 3,200.00	\$ 3,200				https://www.google.com/acлк?sa=L&ai=DChcSEwiAOalwlnyAhXeDK0GHfBWaz4YABANGgJwdg&sig=AO D64_0w3r1kvwenWDNKa6VKtsPUfQO7Lg&ctype=65&q=&ved=0ahUKEwifleOlwlnyAhVHnp4KHR1tDfUQ2Cklywc&adurl=
E	Opaque projector	1	\$ 400.00	\$ 400.00	\$ 400				https://www.google.com/acлк?sa=L&ai=DChcSEwi-kzyusTuAhW1KK0GHU16BcsYABAEgJwdg&sig=AO D64_3_0KgBka61Fr9pyVKBYzf9HRKLPg&ctype=5&q=&ved=0ahUKEwi16PfyusTuAhXXCTQIHQ6iDK4Q2Ckl5wM&adurl=
E	Video projector	1	\$ 5,600.00	\$ 5,600.00	\$ 5,600				https://www.google.com/acлк?sa=L&ai=DChcSEwi7lPZu8TuAhW0DK0GHW8BTEYABAFGgJwdg&sig=AO D64_1jHn15uu9lJP6_umH8Nn_-81aHKQ&ctype=5&q=&ved=0ahUKEwiKyl7Zu8TuAhVKIDQIHf6cAYwQww8lyAU&adurl=
E	Teacher computer	1	\$ 1,400.00	\$ 1,400.00		\$ 1,400			
E	Student computers	19	\$ 1,200.00	\$ 22,800.00		\$ 22,800			
E	Printers	2	\$ 400.00	\$ 800.00		\$ 800			
E	Stereo or audio player	1	\$ 800.00	\$ 800.00	\$ 800				
E	Sound amplifiers	1	\$ 200.00	\$ 200.00	\$ 200				
E	Portable photo lights and tripods	1	\$ 1,600.00	\$ 1,600.00	\$ 1,600				
E	Digital screen	1	\$ -	\$ -	\$ -			Missed???	
406	ARTIST IN RESIDENCE	1		\$ 3,600.00	\$ 3,000	\$ -	\$ 600		\$ -
E	SHOP VAC	1	\$ 1,800.00	\$ 1,800.00	\$ 1,800				
F	TABLES	1	\$ 600.00	\$ 600.00			\$ 600		
E	PORTABLE BALLLET BAR	1	\$ 1,200.00	\$ 1,200.00	\$ 1,200				
405	HANDS ON STUDIO	1		\$ 9,000.00	\$ -	\$ -	\$ 9,000		\$ -
F	TABLE	5	\$ 600.00	\$ 3,000.00			\$ 3,000		
F	CHAIR	15	\$ 400.00	\$ 6,000.00			\$ 6,000		
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST					MANUFACTURE	
405	THIRD FLOOR	1		\$ 93,600.00	\$ -	\$ -	\$ 93,600.0		\$ -
F	TABLE	10	\$ 1,500.00	\$ 15,000.00			\$ 15,000	Allowance	
F	TABLE SMALL	12	\$ 800.00	\$ 9,600.00			\$ 9,600	"	
F	SOFA	10	\$ 4,000.00	\$ 40,000.00			\$ 40,000	"	

AMCC - City Scheduled Vocationa Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
F	CHAIR TYPE A	10	\$ 600.00	\$ 6,000.00			\$ 6,000	"	
F	CHAIR TEPE B	45	\$ 400.00	\$ 18,000.00			\$ 18,000	"	
F	CABINET	5	\$ 1,000.00	\$ 5,000.00			\$ 5,000	"	
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST		W/Kitchen Equipment			MANUFACTURE - moved to be Incl in Base Bid	
317,502	KITCHEN	1	\$ -					\$	-
E	DISHTABLE	1	\$ -					ADVANCE TABCO	DTS-D30-60R
E	WORK TABLE	1	\$ -					ADVANCE TABCO	KSLAG-303-X
E	3 COMPARTMENT SINK	1	\$ -					ADVANCE TABCO	DTC-3-1620-84L-X
E	2 COMPARTMENT SINK	1	\$ -					ADVANCE TABCO	FC-2-1620-18RL-X
E	ICE STORAGE BIN	1	\$ -					ADVANCE TABCO	CRI-12-30-10-X
E	ICEMAKER	1	\$ -					MANITOWOC	IYT0620A
E	WORK TABLE	1	\$ -					ADVANCE TABCO	KSLAG-305-X
E	WORK TABLE	1	\$ -					ADVANCE TABCO	TMS-304
E	ICE MAKER CUBE	1	\$ -					MANITOWOC	IYT0620A
E	DISHTABLE RACK	1	\$ -					ADVANCE TABCO	DTA-79S
E	HEATED HOLDING PROOFING CABINET	1	\$ -					METRO	C537-CFC-U
E	CHARBROILER	1	\$ -					SOUTHBEND	HDC-36
E	CHEF BASE	1	\$ -					TRUE	TRCB-72
E	RANGE GAS HOTPLATE	1	\$ -					SOUTHBEND	HDO-36
E	GAS FRYER	1	\$ -					PITCO	35C+S
E	ROLL IN REFRIGERATOR	1	\$ -					TRUE	STA2RRI-2S
E	WORK TABLE	1	\$ -					ADVANCE TABCO	TKMSLAG-303-X
E	COMBI OVEN	1	\$ -					RATIONAL	ICP 6-FULL NG 208/240V 1 PH
E	ICE BIN	1	\$ -					ADVANCE TABCO	CRI-12-30-10-X
E	BACK BAR CABINET	1	\$ -					TRUE	TBB-24-48G-S-HC-LD
E	DRAFT BEER COOLER	1	\$ -					TRUE	TDD-2CT-S-HC
E	WARMING DRAWER	1	\$ -					HATCO	CDW-3N
E	BLENDER RECESS	1	\$ -					ADVANCE TABCO	SL-RS-18
E	DISHWASHER	1	\$ -					JACKSON WWS	WWS TEMPSTAR VENTLESS (VER)
E	SANDWICH/SALAD PREPARATION REFRIGERATOR	1	\$ -					TRUE	TSSU-48-12-HC
E	GLASS WASHER, UNDERCOUNTER/UNDERBAR	1	\$ -					JACKSON WWS	DELTA HT-E-SEER-T
E	COFFEE BREWER	1	\$ -					BUNN	20900.0008
E	TEA BREWER	1	\$ -					BUNN	35700.0000
E	BEVERAGE TABLE/ COUNTER	1	\$ -					ADVANCE TABCO	BEV-30-108L
E	HEATED CABINET ROLL IN	1	\$ -					TRUE	STA2HRI-2S
E	GLASS RACK	1	\$ -					ADVANCE TABCO	CRCR-24-CT
E	GLASS RACK	1	\$ -					ADVANCE TABCO	CRCR-24-CT
E	HOT FOOD COUNTER	1	\$ -					DUKE	E303SW
E	GAS GRIDDLE	1	\$ -					SOUTHBEND	HDG-36
E	WORK TABLE	1	\$ -					ADVANCE TABCO	TKMSLAG-304-X
317,502	EXTERIOR FURNITURE	1	\$ 30,600.00		\$ -	\$ -	\$ 30,600	\$	-
F	TABLE	7	800	\$ 5,600.00			\$ 5,600		
F	CHAIR	24	600	\$ 14,400.00			\$ 14,400		
F	LITTERS	4	550	\$ 2,200.00			\$ 2,200		
F	BENCH	7	1200	\$ 8,400.00			\$ 8,400		

AMCC - City Scheduled Vocational Equipment, Program A/V, & FF&E									
MACC									
DEPT	SPACE NAME/FURNITURE	QUANTITY	UNIT COST	TOTAL	Vocational	A/V	Furniture	MANUFACTURER	MODEL
	50% CD Allowance MACC Feb 2021		\$	1,067,950	\$ 231,700	\$ 535,350	\$ 300,900	\$0.00	
	outdoor screen deduct from last round					\$ 128,100		math check	
				TOTAL	Vocational	A/V	Furniture	\$ 318,302	
	100% CD Permit Set Allowance MACC July 2021				MACC			LIBRARY	
	Suggest Escalation Add to purchase - Revised Total			15%	\$ 266,455	\$ 468,338	\$ 346,035	\$ 366,047	
	Round up to 1,000th				\$ 267,000	\$ 469,000	\$ 347,000	\$ 367,000	
					\$ 1,083,000			\$ 367,000	
					\$ 1,450,000				



CITY OF EL PASO MAIN LIBRARY RENOVATION

SUB BASEMENT

ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-3	12	\$ 790.00 \$	9,480.00	Book Mobile (2) Tech Services (4) Info Work (6)
CH-1	26	\$ 339.00 \$	8,814.00	Book Mobile (2) Tech Services (8) Info Work (16)
CH-2	20	\$ 220.00 \$	4,400.00	Tech Services (6) Conference (8) Info Work (6)
CH-4	12	\$ 150.00 \$	1,800.00	Staff Lounge (12)
CH-5	15	\$ 310.00 \$	4,650.00	Book Mobile (4) Tech Services (3) Info Work (8)
TB-15	2	\$ 800.00 \$	1,600.00	Staff Lounge (2)
TB-16	2	\$ 650.00 \$	1,300.00	Tech Services (1) Info Work (1)
TB-17	1	\$ 650.00 \$	650.00	Conference (1)
TB-2B	4	\$ 413.18 \$	1,652.72	Staff Lounge (4)
WS-1	4	\$ 1,788.50 \$	7,154.00	Tech Services (4)
WS-2	10	\$ 1,788.50 \$	17,885.00	Info Work (10)
SUB BASEMENT TOTAL		\$	59,385.72	

BASEMENT

ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-3	3	\$ 790.00 \$	2,370.00	Private Office Basement (3)
CH-1	12	\$ 339.00 \$	4,068.00	PO Basement (3) WS3 (3) Docking (4) Reception (2)
CH-4	39	\$ 150.00 \$	5,850.00	Study (36) Break Area (3)
CH-5	6	\$ 310.00 \$	1,860.00	Private Office Basement (6)
TB-4	1	\$ 411.73 \$	411.73	Break Area (1)
TB-18	6	\$ 550.00 \$	3,300.00	Study (6)
WS-3	3	\$ 1,541.10 \$	4,623.30	Work Stations (3)
WS-4	4	\$ 990.60 \$	3,962.40	Docking Stations (4)

BASEMENT TOTAL	\$	26,445.43
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1st Floor

ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-1	1	\$ 2,812.00	\$ 2,812.00	1ST FLOOR
PO-2	1	\$ 2,812.00	\$ 2,812.00	1ST FLOOR
CH-1	8	\$ 339.00	\$ 2,712.00	1ST FLOOR
CH-2	14	\$ 220.00	\$ 3,080.00	1ST FLOOR
CH-3	66	\$ 120.00	\$ 7,920.00	1ST FLOOR
CH-4	4	\$ 150.00	\$ 600.00	1ST FLOOR
CH-5	4	\$ 310.00	\$ 1,240.00	1ST FLOOR
CH-6	16	\$ 514.70	\$ 8,235.20	1ST FLOOR
CH-7	1	\$ 1,200.00	\$ 1,200.00	1ST FLOOR
CH-8	4	\$ 700.00	\$ 2,800.00	1ST FLOOR
CH-9	2	\$ 1,000.00	\$ 2,000.00	1ST FLOOR
CH-10	8	\$ 600.00	\$ 4,800.00	1ST FLOOR
CH-11	10	\$ 629.78	\$ 6,297.80	1ST FLOOR
CR-1	2	\$ 610.00	\$ 1,220.00	1ST FLOOR
SO-1	3	\$ 1,200.00	\$ 3,600.00	1ST FLOOR
SO-2	1	\$ 1,500.00	\$ 1,500.00	1ST FLOOR
OT-1	4	\$ 260.00	\$ 1,040.00	1ST FLOOR
OT-2	2	\$ 750.00	\$ 1,500.00	1ST FLOOR
OT-3	4	\$ 600.00	\$ 2,400.00	1ST FLOOR
TB-1	3	\$ 425.12	\$ 1,275.36	1ST FLOOR
TB-3	2	\$ 375.55	\$ 751.10	1ST FLOOR
TB-4	2	\$ 411.73	\$ 823.46	1ST FLOOR
TB-5	11	\$ 800.00	\$ 8,800.00	1ST FLOOR
TB-6	7	\$ 275.00	\$ 1,925.00	1ST FLOOR
TB-7	1	\$ 1,200.00	\$ 1,200.00	1ST FLOOR
TB-8	2	\$ 200.00	\$ 400.00	1ST FLOOR
TB-9	6	\$ 800.00	\$ 4,800.00	1ST FLOOR
TB-2A	2	\$ 338.30	\$ 676.60	1ST FLOOR

EXT-1	18	\$	600.00	\$	10,800.00	1ST FLOOR Outdoor Area (1,2,3)
EXT-2	18	\$	400.00	\$	7,200.00	1ST FLOOR Outdoor Area (1,2,3)
EXT-3	9	\$	800.00	\$	7,200.00	1ST FLOOR Outdoor Area (1,2,3)

1ST FLOOR TOTAL	\$	103,620.52
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2ND FLOOR

ITEM	QTY	PRICE	EXT. PRICE	LOCATIONS
PO-3	3	\$ 790.00	2,370.00	2ND FLOOR
CH-1	6	\$ 339.00	2,034.00	2ND FLOOR
CH-2	41	\$ 220.00	9,020.00	2ND FLOOR
CH-5	6	\$ 310.00	1,860.00	2ND FLOOR
CH-12	4	\$ 900.00	3,600.00	2ND FLOOR
CH-13	4	\$ 600.00	2,400.00	2ND FLOOR
OT-3	2	\$ 600.00	1,200.00	2ND FLOOR
OT-4	8	\$ 450.00	3,600.00	2ND FLOOR
OT-5	10	\$ 223.00	2,230.00	2ND FLOOR
OT-6	25	\$ 1,200.00	30,000.00	2ND FLOOR
OT-7	1	\$ 2,200.00	2,200.00	2ND FLOOR
OT-8	2	\$ 1,750.00	3,500.00	2ND FLOOR
TB-6	4	\$ 275.00	1,100.00	2ND FLOOR
TB-8	6	\$ 200.00	1,200.00	2ND FLOOR
TB-10	5	\$ 800.00	4,000.00	2ND FLOOR
TB-11	1	\$ 400.00	400.00	2ND FLOOR
TB-12	2	\$ 700.00	1,400.00	2ND FLOOR
TB-13	1	\$ 700.00	700.00	2ND FLOOR
TB-14	14	\$ 560.00	7,840.00	2ND FLOOR

2ND FLOOR TOTAL	\$	80,654.00
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D / Clarifications & Assumptions



SUNDT

A. Scope Document

1. This GMP for the Mexican American Cultural Center has been developed from the 100% CD Package, Drawings dated 2/15/2021 and specification dated 2/15/2021 Exhibit E. It represents the renovation of the main library, adding a new entrance to the main library, renovation of the MACC, the additions of the black box theater, lobby and roof top.
2. As per the CMAR Contract Agreement, general provisions section 2.05. A.7. A statement that the proposed GMP is not based in any part on any subcontractor or material supply contract which would require the owner to compensate the construction manager on other than a fixed fee basis.

B. GENERAL CLARIFICATIONS

1. This Guaranteed Maximum Price The (GMP) Proposal, per the contract agreement, will be valid for 60 calendar days from the date of this Proposal or September 26, 2021 after which Sundt may revise or update the GMP.
2. Notwithstanding anything to the contrary these Clarifications, Assumptions, Qualifications, and Exclusions take precedence over the GMP Documents including the Agreement, General Conditions (Division 01 requirements by Exigo Architects), RFP, Proposal, Drawings and Specifications unless otherwise amended and agreed upon by both parties.
3. Global, national and regional fallout from the COVID-19 pandemic and other economic factors have resulted in volatile price fluctuations in construction inputs and extended lead times in the manufacture and delivery of some materials, equipment, and products. Upon acceptance and execution of the GMP Modification /Amendment, Contractor will expeditiously award subcontracts, change orders, and purchase orders for all authorized portions of the Work to lock down pricing, and secure manufacturing and delivery dates. If during the performance of the contract following formal acceptance of the GMP Proposal the price of any material, equipment, or product increases, through no fault of the Contractor or its subcontractors or suppliers, the GMP shall be equitably adjusted by Change Order in accordance with the procedures of the Contract by an amount reasonably necessary to cover any such price increases. Such price increases shall be documented through quotes, invoices, material specific indices, and documented demonstration of measures taken by Contractor to mitigate the magnitude and impact of the increase on the Project. Where during the performance of the contract the delivery of materials, equipment, or product is delayed, through no fault of the Contractor, or its subcontractors or suppliers, due to such factors as unavailability of transportation, port of entry delays, supply-chain shortages, etc. the Contract Time shall be adjusted by use of the Contractor's Contingency so long as the GMP is not exceeded. In accordance with the procedures of the Contract and the

Contractor shall not be liable for any additional costs or damages associated with such delay(s). The Contractor will make reasonable attempts to mitigate the magnitude and impact of any price increases or delivery delays described herein.

Included in the GMP is an escalation allowance of \$260,290 to address the above. This amount is not a contingency and is designed to cover escalation for the time required to award each subcontract. After the awards the normal conditions of the prime contract will govern. If escalation occurs through no fault of either party. Contractor may pursue compensation as a direct pass-through actual cost with no markups.

4. Electronic notifications for contract correspondence will be deemed suitable as is the precedence with previous City of El Paso contracts. All references to hard copies are assumed to be electronic, including record documents with the exception of O&M manuals or as specifically requested by the Owner. Mylars, reproducible or other outdated specifications are specifically excluded.
5. **Liquidated damages** are the sole and exclusive remedy for any and all damages incurred by the owner for failure to meet the substantial completion date.
6. **Definition and Use of Allowances and Contingencies:**

To the extent that the Drawings and Specifications are anticipated to require further development by the Architect, the CMAR Contractor has provided the GMP for such further development consistent with the Contract Documents and reasonably inferable therefrom. Such further development does not include such things as changes in scope, systems, kinds and quality of materials, finishes and equipment, all of which, if required, shall be incorporated by Change Order or Modification of Contract.

6.1 Allowances:

Allowances are identified in the estimate and are included for work that is undefined scope, unquantifiable or pricing was unavailable at the time of the GMP. These allowances are listed and quantified assumptions are included in the GMP for resolution when information is acquired to reconcile these items. Allowances unlike contingencies represent a shared risk and responsibility between the CMAR Contractor and the Owner. If the allowance is exceeded, the contractor has the right to request an equitable adjustment either through the use of the Owner's contingency or change order. Alternatively, any savings will be returned to the Owner's contingency upon reconciliation of all allowances. The CMAR Contractor and Owner recognize that allowance are part of the cost of work and needed to provide a full and complete project, therefore the Contractor will reconcile the allowance items and use the allowance in accordance to the buyout process, so long as the amount does not exceed \$300,000.

6.2 Contractor's Construction Contingency:

In preparing the Contractor's GMP proposal, the Contractor has included a Contractor's Construction Contingency for the Contractor's exclusive use to cover

costs arising under circumstances listed above and other unanticipated costs which are properly considered reimbursable as a Cost of the Work but do not form the basis for a Change Order as a result of changes in the Scope of Work. The Contractor's Construction Contingency for the Project is \$694,106.

The Contractor shall report and reconcile the Contractor's Construction Contingency to the Owner on a monthly basis. The Contractor's Construction Contingency is considered necessary to provide a complete and functional project and Owner approval for use is not required so long as:

- (a) the contingency amount accessed does not cause the GMP to exceed,
- (b) the Contractor utilizes the Contractor's Construction Contingency for items required for the Project that are recoverable as Costs of the Work under the Contract Documents, but do not justify an increase in the GMP, and
- (c) the Contractor's Contingency is used for any items outlined in clause (1) though (3) below:
 - 1. Scope of the Work is unclear, incomplete or conflicting on the Contract Documents but is Work consistent with the Contract Documents and reasonably inferable as being necessary to produce the intended results for a complete Project.
 - 2. Additional resources necessary to recover lost time.
 - 3. Delays caused by market, labor, material or transportation conditions, labor disputes, normal weather or other causes which are costs of the Work but do not justify an increase in the GMP.

The Contractor's Contingency is not available for use by the Owner for allowance overruns, changes in the scope of work, differing or changed site conditions.

6.3 Owner's Construction Contingency:

The parties agree the Owner's Construction Contingency applied below the bottom line is now part of the GMP established at \$900,000. The purpose of the Owner's Construction Contingency is to efficiently and timely address any unknown or unanticipated cost or expenses not specified in the Contract Documents that may be required as a result of unforeseen circumstances, or additional Work as a result of a change of the Scope of Work; and which are otherwise reimbursable without duplication as Cost of the Work. The funds that comprise the Owner's Construction Contingency are not available for use to pay for costs or expenses that are to be reimbursable under the Contractor's Construction Contingency set forth in 4.2 and the clauses thereunder the above. The Owner's Construction Contingency is not a replacement or substitute for the costs or expenses which are properly allocable to

the Contractor's Construction Contingency as set forth above. Contractor has no entitlement to any portion of the Owner's Construction Contingency.

Contractor acknowledges and agrees that any Work which to be charged against the Owner's Construction Contingency that does not receive such prior written approval from the Owner shall be deemed to be part of the Contractor's basic Work compensated with in the GMP and not chargeable against the Owner's Construction Contingency. The Contractor shall not proceed with any Work which the Contractor believes is allocable to the Owner's Construction Contingency until authorized in writing through the issuance of an Owner's Contingency Use Authorization (OCUA) Form executed by Owner.

Any expenditure from or allocable to the Owner's Construction Contingency, may only be made or allocable after the prior written approval and authorization of Owner pursuant to a Contingency Use Authorization Form. The Owner reserves the right, in its sole and absolute discretion, to withhold consent on expenditures of the Owner's Construction Contingency. Upon approval by the Owner, the Owner shall execute a Contingency Use Authorization Form reflecting the amount and purpose of the use of all or a portion of the Owner's Construction Contingency. Such as Contingency Use Authorization becomes a part of the Contract Documents incorporated by reference herein.

6.4 Design Contingency:

A design contingency is being held in the GMP to be assigned to remaining constructability details, RFIs and clarifications as a result of the bid process expected to be resolved by the issuance of the Notice to Proceed. Upon the issuance of the Notice to Proceed this line item will be converted/moved into the "Owner's Contingency" in the schedule of values.

7. Prevailing wage rates are included based upon City of El Paso 2016 Wage Rate approved by City of El Paso Council, February 2017.
8. Substantial Completion shall be achieved no later than 640 Calendar Days after the Construction Manager's receipt of a Notice to Proceed.
9. The Contractor has included supervisory labor costs to cover from the Notice to Proceed to Final Completion as defined in the Contract Agreement. With the inclusion of this GMP Modification, the Contractor specifically excludes all supervisory labor and extended overhead for delays outside of its control. If Owner, Engineer or anyone for whom Owner is responsible, delays, disrupts, or interferes, with performance or progress of the Work, then Contractor shall be entitled to an equitable adjustment in time and or price. Contractor reserves the right to utilize the Contractor's Contingency in the event of force majeure so long as the GMP is not exceeded.

10. Construction Managers Liability Insurance premium shall be a reimbursable cost of the work within the GMP at the rate of 0.950% of the GMP, as adjusted, (reference 13.01.B.5.e of the General Condition to the Agreement).
11. Builders Risk Insurance premium shall be a reimbursable cost of the work within the GMP at the rate of 0.192% of the GMP as adjusted, (reference 13.01.B.5.e of the General Condition to the Agreement).
12. All Subcontractors shall be enrolled in the Construction Manager's Subcontractor Liability Insurance Policy the cost of which shall be a reimbursable cost of the work at the rate of 1.71% of the Subcontract Amount as adjusted, (reference 13.01.B.5.e of the General Condition to the Agreement).
13. Construction Manager will either require Subcontractors to provide 100% Payment and Performance Bonds or will enroll the Subcontractor in the Construction Manager's Subcontractor Default Insurance (SDI) Program. The bond premiums shall be a reimbursable cost of the work within the GMP. The cost of SDI premiums paid will be reimbursed as a cost of the work at the rate of 1.25% of the Subcontract Amount.
14. Construction Managers 100% Payment and Performance Bond premium shall be a reimbursable cost of the work within the GMP at the rate of 0.77% of the GMP as adjusted.
15. The Construction Managers Project staff and General Conditions is included in the GMP as a Not-to-Exceed amount of \$2,700,290. Labor rates shall be reimbursed as a cost of the work based on Exhibit I.B. - Reimbursable Staff Labor Rates. These rates are included with this GMP Proposal and are subject to adjustment in accordance with the Agreement. The following rates below are also included in the GMP:
 - 15.1 Vehicles assigned to the Project assigned staff shall be a reimbursable cost of the work within the GMP at a rate of \$517 per week as proposed in Construction Managers Proposal.
 - 15.2 Computers/Software assigned to the Project assigned staff shall be a reimbursable cost of the work within the GMP at a rate of \$131.24 per week as proposed in Construction Managers Proposal.
 - 15.3 Cell Phones assigned to the Project assigned staff shall be a reimbursable cost off the work within the GMP at a rate of \$50.00 per week as proposed in Construction Managers Proposal.
16. The Budget Proposal anticipates that the Owner will provide and pay for the following items, if required:
 - 16.1 Owner moving costs and all costs associated with providing, handling, and installation of Owner-furnished components, furniture, furnishings and equipment other than specifically noted in the Contract Drawings and Specifications (i.e. Museum exhibits).

- 16.2 Permit Fees and Impact Fees. Trade specific permit fees are included in the GMP.
- 16.3 Maintenance of landscaping and irrigation system after substantial completion is specifically excluded.
- 16.4 Any IT equipment, Fiber, Cable, Phones or services not specifically identified on the Contract Drawings or Specifications. Maintenance of landscaping and irrigation system after substantial completion. Contractor will maintain landscaping inside the construction fence.
- 16.5 The Terracotta Rain Screen is an international product and will require a 50% deposit before the manufacturing will begin and a 50% upon delivery of the material on site. The cost for each request will be included in pay applications anticipating the above applicable dates.
- 16.6 The KGW Outdoor LED Display is an international product and will require a 50% deposit before the manufacturing will begin and a 50% upon delivery of the material on site. The cost for each request will be included in pay applications anticipating the above applicable dates.

Q. MUNICIPAL FEES & TAXES

- 1. Sales or renovation tax, or any other city, county or state tax is not included. The owner shall provide Sundt a sales tax-exempt certificate for use. All related to construction direct cost like materials,

R. WARRANTY

- 1. A one (1) year warranty on workmanship (labor & material), starting at the date of Substantial Completion, is included in the GMP. Any warranties that extend beyond this period shall be arranged between the Owner and the product manufacturer and be maintained by the Owner.
- 2. Manufacturer's disclaimers and limitations on all product warranties shall be passed to the Owner. Sundt Construction and its subcontractors/suppliers' obligations and liabilities shall not exceed the standard terms and limitations offered by these product warranties.
- 3. There is no warranty provided for materials or equipment that exists onsite before start of construction.

S. ALLOWANCES

- 1. Allowances provided need to be confirmed between Owner and Architect/Engineer
- 2. Allowances are listed in Exhibit II.C

T. CSI SPECIFIC CLARIFICATIONS (SFA-Standard Form of Agreement, SGC-Standard General Conditions)

1) Division 1 – General Conditions, General Requirements

- a) The GMP anticipated free use of the owner's CAD files with Owner's authorization and Revit Models transmitted electronically. Sundt Construction will sign releases should they be required and understands that these documents are not a contract document. We will provide any drawings needed and it's not good to have free use. It can lead to unwanted use of the file. Define free use

-
- and files cannot be modified by contractor.
- b) Sundt Construction will keep the following typical construction hours. The overall construction schedule will provide approximate times Owner's site staff is required with further coordination prior to actual construction activity. Owner premium time, labor burden or shift differential has been excluded in this GMP Proposal. Sundt will make adjustments as necessary, requested by the CID, and as required by City Planning & Inspection Department.
 - i) 6 AM – 6 PM Monday - Saturday
 - ii) Off-Hours Coordinated with Facility Staff for shut-down and other disruptive work.
 - c) This GMP Proposal does not include Design Liability Insurance. Sundt Construction takes no design responsibility for any scope of work within the Project. Furthermore, any constructability review or value engineering ideas are the benefit of the project. Those ideas are to be fully vetted by the Architect/Engineer of Record and incorporated into the document with their design liability. Engineering required in the Performance Specifications has been assigned to the appropriate subcontractor for their individual scopes of work based on the design criteria provided by the Architect/Engineer of Record.
 - d) Removal salvage and protect all site art and special items to be saved to owner are to be removed by others prior to the start of this contract. Sundt to coordinate with Owner.
 - e) Roof Drawing sheets note existing TPO roof to be demolished, leaving the concrete deck below open to water damage. The new roof plans note the insulation to remain. The roofing and tapered insulation will be left in place, and selectively removal for new work and temporary patched around new construction will be accomplished.
 - f) There may be the need to close parking lanes and a bus stop South of the project on E. Franklin Ave between N Santa Fe St, and El Paso St.
 - g) This Guaranteed Maximum Price (GMP) Proposal completes the requirements of:
 - i) Up to Date Design Review
 - ii) Value Engineering Review
 - iii) Preliminary GMP Submittal
 - iv) GMP Final Estimates and Review
 - h) Additionally, this GMP Proposal establishes the completion of the following Preconstruction Contract Requirements:
 - i) SFA - Article 2.03 - Preconstruction Phase
 - ii) SFA - Article 2.04 - Preliminary Cost Estimates
 - iii) SFA - Article 2.05 - Guaranteed Maximum Price Proposal
 - iv) Item A.1 - List of Drawings, Specifications
 - v) Item A.2 - Proposed Contract Price organized by trade categories, allowance, contingencies, Construction Manager's Fee, and other items that comprise the Contract Price.

- vi) Item A.3 - Substantial Completion proposed date
- vii) Item A.4 - Qualifications and Exclusions
- viii) Item A.5 - Construction Manager's Key Personnel
- ix) Item A.6 - Date on which CM Proposal expires
- x) Item A.7 - A statement that the proposed GMP is not based in any part on any subcontract or material supply contract
- m) Item A.8 - Inspection of the documents and information that form the basis of the GMP proposal has been accomplished.
 - a. Item B - Site Evaluation
 - b. Item C - Agreement to Execute the GMP Amendment
 - c. Item D - Costs for further development of documents by Designer have been identified here-in this Qualification and Exclusion document. All other items not mentioned in this document could not have been reasonably inferable and therefore are not included as costs in this GMP.
 - d. SAF - Article 6.02 H - Liquidated Damages - \$ 2,216 for consecutive calendar days after the date of Substantial Completion and \$1,550 for consecutive calendar days after the date of Final Completion.
- n) SFA - Article 7.02
 - a. Item A - Construction Manager's Fee is agreed to as – 4.25%.
 - b. Item B.1 - Additive / Deductive Change Order Percentage – 4.25% under review
 - c. The Construction Manager has identified products included in the GMP that are not the stated Basis of Design, yet are from the specified list of acceptable manufacturers defined as equal substitutions per projects financed with public funds per Texas law.
 - d. The GMP does not include design fees or costs for modifications to the design to incorporate acceptable products and manufacturers instead of the basis of design.
 - e. Sundt Construction will provide a professional effort in good faith to capture and incorporate all changes and modifications issued by design revisions. However, Sundt is not solely responsible for incorporating revisions issued by the Architect if not clouded in the documents and identified via narrative.
 - f. Existing conditions are assumed to match GMP documents however contractor will survey to confirm. Contractor will perform an existing conditions punch list and reconcile existing conditions with owner.
 - g. A cost loaded schedule per 4.04.E.2 is not included in the price.
- o) Not included in the GMP are all temporary security services / night watchmen as Sundt plans to avoid such costs with possible video monitoring and physically securing the site and existing buildings during all non-construction hours.
- p) Administrative costs associated with owner-initiated audits after 6 months past Substantial Completion are not anticipated and will be avoided, as Sundt will provide 100% backup with every pay application.
- q) Separate Field offices for the Owner and Architect. All parties are allowed access

and use of the Sundt Offices within the building.

- r) Excluded all unforeseen structural remediation that may be discovered after the demolition.

2) Division 2 - Existing Conditions

- a) Exclude moving/removing Art shown on drawings
- b) Exclude Abatement of hazardous materials (i.e. Asbestos, Lead) including soil, testing, survey, inspection services, abatement, remediation, haul off or consulting services. If found compensation both time and financial will be applied

3) Division 3 – Concrete

- a) Excluded Hard-Dig (rock) excavation to elevations shallower than noted on the Geotechnical Report.
- b) Concrete timeline etching is shown on L1.00M in six locations. Each location has four (4) 10" numbers and hundred & two (102) characters that are 4" high. Anything above these character count is excluded.

4) Division 4 – Masonry

- a) No Comments

5) Division 5 – Steel

- a) No Comments

6) Division 6 – Wood

- a) No Comments

7) Division 7 - Thermal and Moisture Protection

- a) Included is all new parapet cap flashing for new construction only, as indicated on the drawings.
- b) Excluded are all factory mitered terracotta corners as the manufacturer does not produce this detail.
- c) Excluded are all textured or fluted face finish terracotta panels; the only available surface is "SMOOTH" from the specified manufacturer.
- d) Included in the GMP for interior expansion joints are CS Group FWF 1 inch.
- e) Included in the GMP for waterproofing is W.R. Meadows Mel Rol LM.
- f) Concrete Pavers are assumed to be 24" X 24", Vancouver Bay Color.

8) Division 8 – Openings

- g) Included in the GMP is an equal to Kawneer Clearwall 2.5"x10.5" curtainwall framing with 1" insulated glass for entry cube, as it is not the specified Basis of Design.

9) Division 9 – Finishes

- a) Included in the GMP is an Allowance for the existing Auditorium Acoustic Panels.
- b) Included in the GMP is an Allowance for the existing concrete ceilings and column patching.

10) Division 10 – Specialties

- a) Hand dryers are excluded. They are not shown on the 100% CD documents.

11) Division 11 – Equipment

- a) No Comments

-
- 12) Division 12 – Furnishings**
- a) Included in the GMP is an Allowance for the Library window treatments.
 - b) Included in the GMP is an Allowance for the Library furniture.
 - c) Included in the GMP is an Allowance for the MACC Furniture, Vocational Equipment, and AV Equipment (not scheduled).
- 13) Division 14 - Conveying Equipment**
- a) Not included in the GMP are Elevator Maintenance, Refurbishment, and/or Recertification of the existing elevators in the Library during or after construction.
 - b) Not included in the GMP are any elevator cab upgrades and /or finishes for the existing elevators in the Library.
 - c) Included in the GMP is an Allowance for cab upgrades only to the existing elevator in the MACC.
 - d) Included in the GMP is the relocation of the elevator mechanical room equipment and controls and recertification of the elevator.
- 14) Division 21 - Fire Suppression**
- a) Not included in the GMP is a Fire Pump and associated backflow.
 - b) POC are in the existing Buildings. The main Fire Standpipe for the entire complex is located in the MACC 1st Floor Auditorium Rm 304 Stage area NW corner. The fire valves in the Library room titled "FIRE RISER/SUMP PUMP" Sub-Basement once serviced the original library building. Investigation by the Engineering Consultant is required to better understand if the old riser can be removed and define the exact scope of work.
- 15) Division 22/23 - Plumbing/HVAC**
- a) Included in the GMP is an Allowance to repair water and sanitary sewer lines past specified, noted or detailed existing points of connection are not noted or detailed to be replaced.
 - b) Included in the GMP is an Allowance for cleaning of the existing ducts left to remain and be reused.
 - c) Not included in the GMP are repairs of the existing HVAC Systems not specifically noted on the drawings.
- 16) Division 26 – Electrical**
- a) We are assuming all existing electrical systems that are noted to be reused are in compliance with all local and state codes.
- 17) Division 27 – Communications**
- a) Included in the GMP is an Allowance for the Outdoor LED Screen for the MACC.
- 18) Division 28 – Security**
- a) No Comments
- 19) Division 31 – Earthwork**
- a) Not included in the GMP are cost or responsible for underground facilities that are not identified within the contract documents.
 - b) The budget is based upon reliance and warrant of the structural design and geotechnical report assumptions
- 20) Division 32 - Site Improvements**

-
- a) Not included in the GMP are costs of utilities not depicted on the drawings.
- 21) Division 33 – Wet Utilities**
- a) Included in the GMP Estimate are GPRS (underground radar) location finding services for areas outside of the building within the construction limits.

Additional Comments:

In the event buyout savings are recognized, they will be processed as a change order at the end of the project and will be mutually agreeable to both parties. This in no means prevents the Contractor from surrendering saving prior to the completion for the benefit of the project, (Substantial Completion).

Owner will accept FIO submittals so long as the Contractor verifies the information to be correct as per specifications. This is in order to expedite the review times and expedite the material/equipment purchase. FIO submittals will be agreed upon the approval of the submittal register and agreed upon by all parties, (Owner, Architect, and Contractor).

The Contractor will be allowed to use Buyout to utilize a third-party envelope consultant in order to improve quality for the Project should funds be available. The Contractor will furnish the Quality Management Plan for the Owner's Review and Approval.

E / List of Documents



SUNDT

EXHIBIT E - BIDDING/CONTRACT DOCUMENTS LIST

PROJECT:	MEXICAN AMERICAN CULTURAL CENTER		
DOCUMENT DATE:	7/28/2021		



SUNDT

Document Name / Sheet Number	File Name / Sheet Title	Author	Rev. No.	Plot/Rev/Wet Stamp Date
Bid Addenda				
Model Files - For Reference Only				
Structural REVIT Model				
Architectural REVIT Model				
MEP Model				
Reference Documents / Reports				
Structural Calculations				
Report on Geotechnical Investigation				
Bid Addenda				
Addendum 1	RFI Log Site Visit			
Addendum 2	Scope Directive			
Addendum 3	RFI Log Missing Specs			
Addendum 4	Bid Time			
Addendum 5	Exhibit A - Demolition			
Addendum 6	RFI Log Updated			
Addendum 7	Revised RFI Log			
Addendum 8	Alum Perf Screen Walls			
Addendum 9	Re-Bid			
Addendum 10	Updated Bid Form.			
Addendum 11	Electrical COMM Revisions			
Specifications				
Division 00	PROCUREMENT AND CONTRACTING REQUIREMENTS			
00 00 00	Cover	City of El Paso		2/15/2021
00 01 10	Table of Contents	City of El Paso		2/15/2021
Division 01	General Requirements Summary			
01 00 00	Summary of Project	City of El Paso		2/15/2021
01 01 90	Contract Considerations	City of El Paso		2/15/2021
01 02 80	Modification Requirements	City of El Paso		2/15/2021
01 03 90	Coordination and Meetings	City of El Paso		2/15/2021
01 04 50	Cutting and Patching	City of El Paso		2/15/2021
01 09 00	Reference Standards	City of El Paso		2/15/2021
01 12 00	Alteration Project Procedures	City of El Paso		2/15/2021
01 22 00	Unit Prices	City of El Paso		2/15/2021
01 30 00	Administrative Requirements	City of El Paso		2/15/2021
01 40 00	Quality Control Services	City of El Paso		2/15/2021
01 51 00	Temporary Facilities	City of El Paso		2/15/2021
01 55 50	Construction Facilities	City of El Paso		2/15/2021
01 56 00	Temporary Controls	City of El Paso		2/15/2021
01 56 39	Temporary Tree Protection	City of El Paso		2/15/2021
01 57 13	Temporary Erosion and Sediment	City of El Paso		2/15/2021
01 60 00	Materials and Equipment Control	City of El Paso		2/15/2021
01 70 00	Contract Close-out	City of El Paso		2/15/2021
07 72 00	Project Record Documents	City of El Paso		2/15/2021
Division 02	EXISTING CONDITIONS			
02 22 50	Minor Demolition for Remodeling	City of El Paso		2/15/2021
02 41 13	Site Demolition	City of El Paso		2/15/2021
Division 03	CONCRETE			
03 10 00	Concrete Forming and Accessories	City of El Paso		2/15/2021
03 10 50	Soils for Earthwork	City of El Paso		2/15/2021
03 12 30	Excavation	City of El Paso		2/15/2021
03 12 31	Fill	City of El Paso		2/15/2021

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PROJECT:	MEXICAN AMERICAN CULTURAL CENTER				 SUNDT
DOCUMENT DATE:	7/28/2021				
03 16 30	Drilled Concrete Piers and Shafts	City of El Paso		2/15/2021	
03 20 00	Concrete Reinforcing	City of El Paso		2/15/2021	
03 30 01	Cast-In Place Concrete	City of El Paso		2/15/2021	
Division 04	MASONRY				
04 82 00	Reinforced Masonry	City of El Paso		6/7/2021	
Division 05	METALS				
05 12 00	Structural Framing	City of El Paso		2/15/2021	
05 31 30	Steel Floor Decking	City of El Paso		2/15/2021	
05 40 00	Cold Formed Metal Framing	City of El Paso		2/15/2021	
05 50 00	Metal Fabrications	City of El Paso		2/15/2021	
05 51 00	Metal Stairs	City of El Paso		2/15/2021	
05 52 00	Handrails and Guardrails	City of El Paso		2/15/2021	
05 73 13	Ornamental Railings	City of El Paso		2/15/2021	
Division 06	WOOD AND PLASTIC				
06 61 00	Plastic Reinforced Panels	City of El Paso		2/15/2021	
06 11 40	Wood Blocking and Curbing	City of El Paso		2/15/2021	
06 22 10	Wood Paneling	City of El Paso		2/15/2021	
06 41 00	Interior Architectural Millwork	City of El Paso		2/15/2021	
Division 07	THERMAL AND MOISTURE PROTECTION				
07 10 00	Monolithic Membrane System	City of El Paso		2/15/2021	
07 16 00	Bituminous Dampproofing	City of El Paso		2/15/2021	
07 21 20	Rigid Board Insulation	City of El Paso		2/15/2021	
07 21 30	Batt Insulation	City of El Paso		2/15/2021	
07 21 40	Foam-In Place Insulation	City of El Paso		2/15/2021	
07 24 00	Exterior Finish and Insulation System	City of El Paso		2/15/2021	
07 27 26	Fluid Applied Vapor Barrier	City of El Paso		2/15/2021	
07 42 29	Terracota Rainscreen Wall System	City of El Paso		2/15/2021	
07 53 00	Singly Ply Roofing	City of El Paso		2/15/2021	
07 62 00	Sheet Metal Flashing and Trim	City of El Paso		2/15/2021	
07 84 10	Firestopping	City of El Paso		2/15/2021	
07 90 00	Joint Sealers	City of El Paso		2/15/2021	
Division 08	DOORS AND WINDOWS				
08 11 10	Standard Steel Doors	City of El Paso		2/15/2021	
08 11 20	Standard Steel Frames	City of El Paso		2/15/2021	
08 21 10	Flush Wood Doors	City of El Paso		2/15/2021	
08 33 31	Rolling Service Doors	City of El Paso		2/15/2021	
08 40 00	Aluminum Storefronts	City of El Paso		2/15/2021	
08 41 30	Glazed Aluminum Curtain Walls	City of El Paso		2/15/2021	
08 42 29	Automatic Sliding Entrances	City of El Paso		2/15/2021	
08 71 00	Builders Hardware	City of El Paso		2/15/2021	
08 80 00	Glazing	City of El Paso		2/15/2021	
Division 09	FINISHES				
09 00 00	Color Schedule	City of El Paso		2/15/2021	
09 22 16	Non-Structural Framing Systems	City of El Paso		2/15/2021	
09 26 00	Gypsum Board Systems	City of El Paso		2/15/2021	
09 30 00	Ceramic Tiling	City of El Paso		2/15/2021	
09 36 60	Quarry Floor Tile	City of El Paso		2/15/2021	
09 50 00	Wood Panel Ceilings	City of El Paso		2/15/2021	
09 51 00	Suspended Acoustical Ceilings	City of El Paso		2/15/2021	
09 63 40	Stone Flooring	City of El Paso		2/15/2021	
09 64 30	Wood Athletic Flooring	City of El Paso		2/15/2021	
09 65 00	Resilient Tile Flooring	City of El Paso		2/15/2021	
09 68 50	Carpet Tile	City of El Paso		2/15/2021	
09 72 00	Dry Eraser Wall Covering	City of El Paso		2/15/2021	
09 80 00	Softsound Ceiling	City of El Paso		2/15/2021	
09 90 00	Painting	City of El Paso		2/15/2021	
Division 10	SPECIALTIES				

EXHIBIT E - BIDDING/CONTRACT DOCUMENTS LIST

PROJECT:	MEXICAN AMERICAN CULTURAL CENTER			 SUNDT
DOCUMENT DATE:	7/28/2021			
10 15 00	Visual Display Boards	City of El Paso		2/15/2021
10 16 00	Toilet Compartments	City of El Paso		2/15/2021
10 22 26	Operable Partitions	City of El Paso		2/15/2021
10 26 00	Corner Guards	City of El Paso		2/15/2021
10 44 10	Plastic Signs	City of El Paso		2/15/2021
10 44 20	Metal Dimensional Letters	City of El Paso		2/15/2021
10 51 26	Solid Plastic Lockers	City of El Paso		2/15/2021
10 52 20	Fire Extinguishers	City of El Paso		2/15/2021
10 80 00	Bathroom Accessories	City of El Paso		2/15/2021
10 90 00	Exterior LED Metal Wall Screen	City of El Paso		2/15/2021
10 91 00	Exterior Aluminum Screen	City of El Paso		2/15/2021
Division 11	EQUIPMENT			
11 40 00	Food Service Equipment	City of El Paso		2/15/2021
11 41 00	Service Equipment	City of El Paso		2/15/2021
11 42 00	Residential Food Service Equipment	City of El Paso		2/15/2021
Division 12	FURNISHINGS			
12 24 13	Roller Shades - Mechoshades	City of El Paso		2/15/2021
12 36 60	Solid Surfaces Countertops	City of El Paso		2/15/2021
Division 13	SPECIAL CONSTRUCTION			
	N/A			
Division 14	CONVEYING SYSTEMS			
14 24 00	Machine Room-Less Elevator	City of El Paso		2/15/2021
Division 21	FIRE SPRINKLER SYSTEM			
21 00 00	Fire Sprinkler System	City of El Paso		2/15/2021
Division 22	PLUMBING			
22 00 00	Plumbing	City of El Paso		2/15/2021
22 05 00	Plumbing General Conditions	City of El Paso		2/15/2021
22 07 00	Insulation for Plumbing Systems	City of El Paso		2/15/2021
Division 23	HEATING, VENTILATING AND AIR CONDITIONING			
23 00 00	Heating, Ventilating and Aire Conditioning	City of El Paso		2/15/2021
23 05 00	Mechanical General Conditions	City of El Paso		2/15/2021
23 05 93	Test and Balance	City of El Paso		2/15/2021
23 07 00	Insulation for Mechanical Systems	City of El Paso		2/15/2021
23 09 00	Building Automation System	City of El Paso		2/15/2021
23 23 00	Refrigerant Piping	City of El Paso		2/15/2021
Division 26	ELECTRICAL			
26 05 00	Common Work Results	City of El Paso		2/15/2021
26 05 03	Equipment Wiring Connection	City of El Paso		2/15/2021
26 05 19	Low-Voltage Electrical Power Conductors and Cables	City of El Paso		2/15/2021
26 05 33	Raceway and Boxes for Electrical Systems	City of El Paso		2/15/2021
26 05 34	Outlet Junction and Pull Boxes	City of El Paso		2/15/2021
26 09 23	Lighting CONtrol Devices & Occupancy Sensors	City of El Paso		2/15/2021
26 23 13	Disconnect Switches	City of El Paso		2/15/2021
26 24 16	Panelboards	City of El Paso		2/15/2021
26 27 26	Wiring Devices	City of El Paso		2/15/2021
26 51 00	Interior Lighting	City of El Paso		2/15/2021
26 56 00	Exterior Lighting	City of El Paso		2/15/2021
27 00 00	Structured Cabling System	City of El Paso		2/15/2021
27 41 16	Audio Visual	City of El Paso		2/15/2021
27 50 01	CCTV	City of El Paso		2/15/2021
27 51 16	Public Address System	City of El Paso		2/15/2021
28 16 00	Intrusion Alarm System	City of El Paso		2/15/2021
28 31 00	Fire Detection and Alarm	City of El Paso		2/15/2021
Division 31	EARTHWORK			
31 05 16	Agregates for Earthwork	City of El Paso		2/15/2021
31 11 00	Clearing and Grubbing	City of El Paso		2/15/2021

EXHIBIT E - BIDDING/CONTRACT DOCUMENTS LIST



PROJECT:	MEXICAN AMERICAN CULTURAL CENTER			
DOCUMENT DATE:	7/28/2021			 SUNDT
31 22 13	Rough Grading	City of El Paso		2/15/2021
31 23 00	Excavation and Fill	City of El Paso		2/15/2021
31 23 23	Subgrade fill	City of El Paso		2/15/2021
Division 32	EXTERIOR IMPROVEMENTS			
32 01 90	Operation and Maintenance of Planting	City of El Paso		2/15/2021
32 11 23	Aggregates for Base Course	City of El Paso		2/15/2021
32 12 16	Asphaltic Concrete Pavement	City of El Paso		2/15/2021
32 13 13	Concrete Paving	City of El Paso		2/15/2021
32 14 00	Unit Paving	City of El Paso		2/15/2021
32 15 16	Aggregate Paving	City of El Paso		2/15/2021
32 84 00	Plant Irrigation	City of El Paso		2/15/2021
32 92 00	Turf and Grass	City of El Paso		2/15/2021
32 93 00	Planting	City of El Paso		2/15/2021
Division 33	UTILITIES			
33 40 00	Storm Drainage	City of El Paso		2/15/2021
	APPENDIX			
	Soils and Foundation Study Report	City of El Paso		2/15/2021
Drawings (by Discipline)	Drawings Volume 1 T&I Main Library			
General Information				
G000	COVER SHEET	EXIGO		2/15/2021
G100L	INDEX	EXIGO		2/15/2021
G101L	ABBREVIATIONS & SYMBOLS	EXIGO		2/15/2021
G110L	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G111L	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G112L	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G113L	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G120L	LIFE SAFETY - SUB BASEMENT	EXIGO		2/15/2021
G121L	LIFE SAFETY - BASEMENT	EXIGO		2/15/2021
G122L	LIFE SAFETY - FIRST FLOOR	EXIGO		2/15/2021
G123	LIFE SAFETY - SECOND FLOOR	EXIGO		2/15/2021
S	SURVEY	EXIGO		2/15/2021
Civil				
C1.0L	GENERAL NOTES & CIVIL SITE PLAN	SER		2/15/2021
C2.0L	ENLARGED DIMENSIONAL CONTROL & PAVEMENT	SER		2/15/2021
C3.0L	ENLARGED GRADING & DRAINAGE PLANS	SER		2/15/2021
C4.0L	DETAILS	SER		2/15/2021
C5.0L	EROSION CONTROL PLAN	SER		2/15/2021
Architectural				
A100.0L	SITE PLAN DEMO	EXIGO		2/15/2021
A100.1L	SUB-BASEMENT - EXISTING DEMO PLAN	EXIGO		2/15/2021
A100.2L	BASEMENT - EXISTING DEMO PLAN	EXIGO		2/15/2021
A100.3L	FIRST FLOOR - EXISTING DEMO PLAN	EXIGO		2/15/2021
A100.4L	FIRST FLOOR - EXISTING DEMO PLAN B	EXIGO		2/15/2021
A100.5L	SECOND FLOOR - EXISTING DEMO PLAN	EXIGO		2/15/2021
A100.6L	SECOND FLOOR - EXISTING DEMO PLAN B	EXIGO		2/15/2021
A100.7L	ENLARGED DEMO STAIR PLAN & DETAILS	EXIGO		2/15/2021
A100.8L	DEMO ELEVATIONS	EXIGO		2/15/2021
A100.9L	AS-BUILT DRAWINGS FOR REFERENCE & CLARITY	EXIGO		2/15/2021
A100L	SITE PLAN NEW	EXIGO		2/15/2021
A101L	SUB-BASEMENT - NEW FLOOR PLAN	EXIGO		2/15/2021
A102L	BASEMENT - NEW PLAN	EXIGO		2/15/2021
A103L	FIRST FLOOR - NEW FLOOR PLAN	EXIGO		2/15/2021
A104AL	SECOND LEVEL - NEW FLOOR PLAN	EXIGO		2/15/2021
A104BL	SECOND LEVEL - NEW FLOOR PLAN B	EXIGO		2/15/2021
A110L	ROOF PLAN	EXIGO		2/15/2021
A120L	SUB-BASAMENT - DIMENSION PLAN	EXIGO		2/15/2021
A121L	BASEMENT - DIMENSION PLAN	EXIGO		2/15/2021
A122L	FIRST FLOOR - DIMENSION PLAN	EXIGO		2/15/2021
A123L	SECOND FLOOR - DIMENSIONAL PLAN	EXIGO		2/15/2021

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A124L	SECOND FLOOR - DIMENSION PLAN B	EXIGO		2/15/2021
A140L	SUB BASEMENT - FINISH PLAN	EXIGO		2/15/2021
A141L	BASEMENT - FINISH PLAN	EXIGO		2/15/2021
A142L	FIRST FLOOR - FINISH PLAN	EXIGO		2/15/2021
A143L	SECOND FLOOR - FINISH PLAN	EXIGO		2/15/2021
A144L	SECOND FLOOR - FINISH PLAN B	EXIGO		2/15/2021
A160.1L	SUB-BASEMENT RCP - EXISTING DEMO	EXIGO		2/15/2021
A160.2L	BASEMENT RCP - EXISTING DEMO	EXIGO		2/15/2021
A160.3L	FIRST FLOOR RCP - EXISTING DEMO	EXIGO		2/15/2021
A160.4L	2ND FLOOR RCP - EXISTING DEMO	EXIGO		2/15/2021
A161L	NEW SUB-BASEMENT RCP	EXIGO		2/15/2021
A162L	NEW BASEMENT RCP	EXIGO		2/15/2021
A163L	NEW FIRST FLOOR RCP	EXIGO		2/15/2021
A164L	NEW 2ND FLOOR RCP	EXIGO		2/15/2021
A200L	EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A210L	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A211L	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A212L	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A213L	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A214L	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A215L	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A300L	BUILDING SECTIONS	EXIGO		2/15/2021
A301L	BUILDING SECTIONS - CURTAIN WALL ENTRANCE	EXIGO		2/15/2021
A320L	WALL SECTIONS - CURTAIN WALL	EXIGO		2/15/2021
A400L	ENLARGED STAIR PLANS	EXIGO		2/15/2021
A401AL	STAIR SECTIONS	EXIGO		2/15/2021
A401BL	STAIR SECTIONS	EXIGO		2/15/2021
A401CL	STAIR DETAILS	EXIGO		2/15/2021
A402L	ENLARGED RESTROOM	EXIGO		2/15/2021
A403L	ENLARGED WALKWAY	EXIGO		2/15/2021
A404L	ENLARGED CURTAIN WALL ENTRANCE PLANS	EXIGO		2/15/2021
A405L	EXTERIOR ELEVS - CURTAIN WALL ENTRANCE	EXIGO		2/15/2021
A406L	CURTAIN WALL MULLION DETAILS	EXIGO		2/15/2021
A410L	MILLWORK ENLARGED PLANS	EXIGO		2/15/2021
A500L	EXTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A520L	INTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A521L	INTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A540L	DOOR & WINDOWS DETAILS	EXIGO		2/15/2021
A560L	MILLWORK DETAILS	EXIGO		2/15/2021
A561L	MILLWORK ELEVATIONS	EXIGO		2/15/2021
A600L	FINISH SCHEDULES	EXIGO		2/15/2021
A601L	DOOR SCHEDULE	EXIGO		2/15/2021
A602L	WINDOW SCHEDULE	EXIGO		2/15/2021
Structural	100% DD Set_1 Landscaping			
S100L	STRUCTURAL NOTES	STUBBS		2/15/2021
S101L	STRUCTURAL DETAILS	STUBBS		2/15/2021
S102L	STRUCTURAL DIAGRAMS	STUBBS		2/15/2021
S200L	SUB BASEMENT DEMOLITION PLAN	STUBBS		2/15/2021
S201L	BASEMENT DEMOLITION PLAN	STUBBS		2/15/2021
S202L	GROUND LEVEL DEMOLITION PLAN	STUBBS		2/15/2021
S203L	SECOND FLOOR FRAMING DEMOLITION PLAN	STUBBS		2/15/2021
S204L	ROOF FRAMING DEMOLITION PLAN	STUBBS		2/15/2021
S300L	SUB-BASEMENT FOUNDATION PLAN	STUBBS		2/15/2021
S400L	BASEMENT FLOOR FRAMING PLAN	STUBBS		2/15/2021
S401L	GROUND LEVEL FLOOR FRAMING PLAN	STUBBS		2/15/2021
S402L	SECOND FLOOR FRAMING PLAN	STUBBS		2/15/2021
S500L	ROOF FRAMING PLAN	STUBBS		2/15/2021
S600L	FOUNDATION DETAILS	STUBBS		2/15/2021
S700L	TYPICAL FRAMING DETAILS	STUBBS		2/15/2021
S800L	FLOOR FRAMING DETAILS	STUBBS		2/15/2021
S801L	ROOF FRAMING DETAILS	STUBBS		2/15/2021
S900L	STAIR PLANS & DETAILS			
Mechanical				


EXHIBIT E - BIDDING/CONTRACT DOCUMENTS LIST				
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M100L	LEGEND, NOTES, SCHEDULES AND DETAILS	FLUID SYSTEMS		2/15/2021
M101L	SCHEDULES AND DETAILS	FLUID SYSTEMS		2/15/2021
M200L	SUB-BASEMENT DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M201L	BASEMENT DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M202L	FIRST FLOOR DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M203L	SECOND FLOOR DEMOLITION MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M204L	SUB-BASEMENT NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M205L	BASEMENT NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M206L	FIRST FLOOR NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M207L	SECOND FLOOR NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M208L	SECOND FLOOR PARTIAL NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
Plumbing				
P100L	LEGEND, NOTES, SCHEDULES AND DETAILS	FLUID SYSTEMS		2/15/2021
P200L	SUB-BASEMENT DEMOLITION PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P201L	BASEMENT DEMOLITION PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P202L	FIRST FLOOR DEMOLITION PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P203L	SECOND FLOOR DEMOLITION PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P204L	SUB-BASEMENT NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P205L	BASEMENT NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P206L	FIRST FLOOR NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P207L	SECOND FLOOR NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P300L	ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS	FLUID SYSTEMS		2/15/2021
P301L	ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS	FLUID SYSTEMS		2/15/2021
P302L	ENLARGED PLUMBING PLANS AND WASTE & WATER RISERS	FLUID SYSTEMS		2/15/2021
Electrical				
ED1.0L	SUB-BASEMENT POWER DEMOLITION	ALPHA ENGINEERING	1	6/18/2018
ED1.1L	SUB-BASEMENT LIGHTING DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.2L	BASEMENT POWER DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.3L	BASEMENT LIGHTING DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.4L	FIRST FLOOR POWER DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.5L	FIRST FLOOR LIGHTING DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.6L	SECOND FLOOR POWER DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.7L	SECOND FLOOR LIGHTING DEMOLITION	ALPHA ENGINEERING		2/15/2021
E1.0L	SITE PLAN	ALPHA ENGINEERING		2/15/2021
E2.0L	SUB-BASEMENT LIGHTING	ALPHA ENGINEERING	1	6/18/2018
E2.1L	BASEMENT LIGHTING	ALPHA ENGINEERING		2/15/2021
E2.2L	FIRST FLOOR LIGHTING	ALPHA ENGINEERING	1	6/18/2018
E2.3L	SECOND FLOOR LIGHTING	ALPHA ENGINEERING	1	6/18/2018
E2.4L	SECOND FLOOR ENLARGED LIGHTING PLAN	ALPHA ENGINEERING		2/15/2021
E3.0L	SUB-BASEMENT POWER	ALPHA ENGINEERING		2/15/2021
E3.1L	BASEMENT POWER	ALPHA ENGINEERING		2/15/2021
E3.2L	FIRST FLOOR POWER	ALPHA ENGINEERING		2/15/2021
E3.3L	SECOND FLOOR POWER	ALPHA ENGINEERING		2/15/2021
E3.4L	SECOND FLOOR ENLARGED POWER PLAN	ALPHA ENGINEERING		2/15/2021
E4.0L	SUB-BASEMENT SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING		2/15/2021
E4.1L	BASEMENT SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING		2/15/2021
E4.2L	FIRST FLOOR SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING		2/15/2021
E4.3L	SECOND FLOOR SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING		2/15/2021
E4.4L	SECOND FLOOR ENLARGED SPECIAL SYSTEMS PLAN	ALPHA ENGINEERING		2/15/2021
E5.0L	ELECTRICAL RISER DIAGRAMS	ALPHA ENGINEERING	1	6/18/2018
E5.1L	PANEL SCHEDULES	ALPHA ENGINEERING		2/15/2021
E5.2L	PANEL SCHEDULES	ALPHA ENGINEERING	1	6/18/2018
E5.3L	PANEL SCHEDULES	ALPHA ENGINEERING	1	6/18/2018
E5.4L	ELECTRICAL DETAILS	ALPHA ENGINEERING	1	6/18/2018
E6.0L	EXTERIOR CUT SHEETS	ALPHA ENGINEERING		2/15/2021
Drawings (by Discipline)		Drawings Volume 2 MACC		
General Information		100% Design Development Set		
G000	COVER SHEET	EXIGO		2/15/2021
G100M	INDEX	EXIGO		2/15/2021
G101M	ABBREVIATIONS & SYMBOLS	EXIGO		2/15/2021
G110M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G111M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021

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G112M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G113M	TAS ACCESSIBILITY REQUIREMENTS	EXIGO		2/15/2021
G122M	LIFE SAFETY - FIRST FLOOR	EXIGO		2/15/2021
G123M	LIFE SAFETY - SECOND FLOOR	EXIGO		2/15/2021
G124M	LIFE SAFETY - THIRD FLOOR	EXIGO		2/15/2021
S		EXIGO		2/15/2021
Civil				
C0.0M	CIVIL GENERAL NOTES	SER		2/15/2021
C1.0M	CIVIL DEMOLITION PLAN	SER		2/15/2021
C1.1M	DIMENSIONAL CONTROL & PAVEMENT PLAN	SER		2/15/2021
C2.0M	ENLARGED GRADING PLAN	SER		2/15/2021
C3.0M	ENLARGED DRAINAGE PLAN	SER		2/15/2021
C3.1M	STORM WATER LINE 1 PLAN VIEW & PROFILE	SER		2/15/2021
C3.2M	STORM WATER LINE 2 PLAN VIEW & PROFILE	SER		2/15/2021
C3.3M	DRAINAGE CALCULATIONS	SER		2/15/2021
C4.0M	DETAILS	SER		2/15/2021
C4.1M	DETAILS	SER		2/15/2021
C4.2M	DETAILS	SER		2/15/2021
C4.3M	DETAILS	SER		2/15/2021
C4.4M	RETAINING WALLA PLAN VIEW AND PROFILE	SER		2/15/2021
C4.5M	SECTIONS	SER		2/15/2021
C5.0M	EROSION CONTROL PLAN	SER		2/15/2021
Landscape				
L0.00M	COVER SHEET	TEN EYCK		2/15/2021
L1.00M	OVERALL SITE PLAN	TEN EYCK		2/15/2021
L1.01M	GRADING PLAN	TEN EYCK		2/15/2021
L2.00M	HARDSCAPE DETAILS	TEN EYCK		2/15/2021
L2.01M	HARDSCAPE DETAILS	TEN EYCK		2/15/2021
L2.02M	HARDSCAPE DETAILS	TEN EYCK		2/15/2021
L2.03M	HARDSCAPE DETAILS	TEN EYCK		2/15/2021
L3.00M	IRRIGATION NOTES	TEN EYCK		2/15/2021
L3.01M	IRRIGATION PLAN	TEN EYCK		2/15/2021
L3.02M	IRRIGATION PLAN	TEN EYCK		2/15/2021
L3.03M	IRRIGATION PLAN	TEN EYCK		2/15/2021
L3.10M	IRRIGATION DETAILS	TEN EYCK		2/15/2021
L3.11M	IRRIGATION DETAILS	TEN EYCK		2/15/2021
L4.00M	PLANTING NOTES	TEN EYCK		2/15/2021
L4.01M	PLANTING PLAN	TEN EYCK		2/15/2021
L4.02M	PLANTING PLAN	TEN EYCK		2/15/2021
L4.10M	PLANTING DETAILS	TEN EYCK		2/15/2021
L5.00M	SITE FURNISHINGS	TEN EYCK		2/15/2021
Architectural				
A100.2M	SITE PLAN DEMO - MACC	EXIGO		2/15/2021
A100.3M	SITE PLAN NEW,MACC Cleveland Square	EXIGO		2/15/2021
A100.4M	DEMO PLAN - FIRST FLOOR	EXIGO		2/15/2021
A100.5M	DEMO PLAN - SECOND FLOOR - EXISTING	EXIGO		2/15/2021
A100.6M	DEMO PLAN - ROOF	EXIGO		2/15/2021
A100.8M	DEMO ELEVATIONS - EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A103M	FLOOR PLAN - LEVEL 1	EXIGO		2/15/2021
A104M	FLOOR PLAN - LEVEL 2	EXIGO		2/15/2021
A105M	FLOOR PLAN - LEVEL 3	EXIGO		2/15/2021
A106M	ROOF PLAN - NEW TPO BELOW PAVERS	EXIGO		2/15/2021
A110M	ROOF PLAN - THIRD LEVEL NEW ROOFS	EXIGO		2/15/2021
A111M	ROOF PAVER SYSTEM SECTIONS	EXIGO		2/15/2021
A122M	DIMENSION PLAN - LEVEL 1	EXIGO		2/15/2021
A123M	DIMENSION PLAN - LEVEL 1	EXIGO		2/15/2021
A124M	DIMENSION PLAN - LEVEL 2	EXIGO		2/15/2021
A125M	DIMENSION PLAN - LEVEL 3	EXIGO		2/15/2021
A126M	DIMENSION PLAN - LEVEL 3	EXIGO		2/15/2021
A127M	DIMENSION PLAN - LEVEL 4	EXIGO		2/15/2021
A128M	ENLARGED DIMENSION PLANS	EXIGO		2/15/2021
A130M	EQUIPMENT PLAN - LEVEL 1	EXIGO		2/15/2021

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A131M	EQUIPMENT PLAN - LEVEL 2	EXIGO		2/15/2021
A132M	EQUIPMENT PLAN - LEVEL 3	EXIGO		2/15/2021
A133M	EQUIPMENT SCHEDULE	EXIGO		2/15/2021
A142M	FINISH PLAN - LEVEL1	EXIGO		2/15/2021
A143M	FINISH PLAN - LEVEL2	EXIGO		2/15/2021
A144M	FINISH PLAN - LEVEL 3	EXIGO		2/15/2021
A160.1M	DEMO REFLECTED CEILING PLAN - LEVEL 1	EXIGO		2/15/2021
A160.2M	DEMO REFLECTED CEILING PLAN - LEVEL 2	EXIGO		2/15/2021
A163M	REFLECTED CEILING PLAN - LEVEL 1	EXIGO		2/15/2021
A164M	REFLECTED CEILING PLAN - LEVEL 2	EXIGO		2/15/2021
A165M	REFLECTED CEILING PLAN - LEVEL 3	EXIGO		2/15/2021
A166M	PERGOLA - ROOF PLAN & RCP	EXIGO		2/15/2021
A200M	EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A201M	EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A202M	EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A203M	EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A204M	EXTERIOR ELEVATIONS	EXIGO		2/15/2021
A210M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A211M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A212M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A213M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A214M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A215M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A216M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A217M	INTERIOR ELEVATIONS	EXIGO		2/15/2021
A300M	BUILDING SECTIONS	EXIGO		2/15/2021
A320M	WALL SECTIONS	EXIGO		2/15/2021
A321M	WALL SECTIONS	EXIGO		2/15/2021
A322M	WALL SECTIONS	EXIGO		2/15/2021
A323M	WALL SECTIONS	EXIGO		2/15/2021
A324M	WALL SECTIONS	EXIGO		2/15/2021
A400M	ENLARGED STAIR PLANS - EAST & WEST STAIRS	EXIGO		2/15/2021
A401M	LONGITUDINAL EAST STAIR SECTIONS	EXIGO		2/15/2021
A403M	LONGITUDINAL WEST STAIR SECTIONS	EXIGO		2/15/2021
A404.1M	NORTH & SOUTH TRANSVERSE STAIR SECTIONS	EXIGO		2/15/2021
A404M	DETAILS - STAIR	EXIGO		2/15/2021
A405M	ELEVATOR SECTIONS	EXIGO		2/15/2021
A406M	ELEVATOR DETAILS	EXIGO		2/15/2021
A407M	ENLARGED KITCHEN & BAR SERVICE PLAN	EXIGO		2/15/2021
A408M	ENLARGED RESTROOM	EXIGO		2/15/2021
A410M	ENLARGED ELEVATOR PLANS	EXIGO		2/15/2021
A500M	EXTERIOR ENVELOPE DETAILS	EXIGO		2/15/2021
A501M	EXTERIOR ENVELOPE DETAILS	EXIGO		2/15/2021
A502M	EXTERIOR ENVELOPE DETAILS	EXIGO		2/15/2021
A503M	EXTERIOR ENVELOPE DETAILS	EXIGO		2/15/2021
A504M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO		2/15/2021
A505M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO		2/15/2021
A506M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO		2/15/2021
A507M	EXTERIOR ENVELOPE PLAN DETAILS	EXIGO		2/15/2021
A508M	ROOF DETAILS	EXIGO		2/15/2021
A509M	ROOF DETAILS	EXIGO		2/15/2021
A510M	ROOF DETAILS	EXIGO		2/15/2021
A511M	EXTERIOR SCREEN STRUCTURE	EXIGO		2/15/2021
A520M	INTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A521M	INTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A522M	INTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A523M	INTERIOR CONSTRUCTION DETAILS	EXIGO		2/15/2021
A540M	DOOR & WINDOWS DETAILS	EXIGO		2/15/2021
A541M	DOOR & WINDOWS DETAILS	EXIGO		2/15/2021
A542M	DOOR & WINDOWS DETAILS	EXIGO		2/15/2021
A543M	WINDOW SCHEDULE & DETAILS	EXIGO		2/15/2021
A560M	MILLWORK DETAILS	EXIGO		2/15/2021
A600M	ROOM FINISH SCHEDULE & WALL TYPES	EXIGO		2/15/2021
A601M	DOOR SCHEDULE	EXIGO		2/15/2021


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Structural				
S100M	STRUCTURAL NOTES	STUBBS		2/15/2021
S101M	QUALITY ASSURANCE	STUBBS		2/15/2021
S102M	STRUCTURAL DETAILS	STUBBS		2/15/2021
S103M	STRUCTURAL DETAILS	STUBBS		2/15/2021
S104M	STRUCTURAL DIAGRAMS	STUBBS		2/15/2021
S200M	FOUNDATION DEMOLITION PLAN	STUBBS		2/15/2021
S201M	SECOND FLOOR FRAMING DEMOLITION PLAN	STUBBS	1	7/7/2021
S202M	ROOF FRAMING DEMOLITION PLAN	STUBBS	1	7/7/2021
S300M	FOUNDATION PLAN	STUBBS		2/15/2021
S301M	FOUNDATION PLAN	STUBBS		2/15/2021
S400M	SECOND FLOOR FRAMING PLAN	STUBBS	1	7/7/2021
S401M	SECOND FLOOR FRAMING PLAN	STUBBS		2/15/2021
S402M	THIRD FLOOR FRAMING PLAN	STUBBS	1	7/7/2021
S403M	THIRD FLOOR FRAMING PLAN	STUBBS	1	7/7/2021
S500M	ROOF FRAMING PLAN	STUBBS		2/15/2021
S501M	ROOF FRAMING PLAN	STUBBS		2/15/2021
S600M	FOUNDATION DETAILS	STUBBS		2/15/2021
S601M	FOUNDATION DETAILS	STUBBS	1	7/7/2021
S700M	TYPICAL FRAMING DETAILS	STUBBS		2/15/2021
S701M	TYPICAL FRAMING DETAILS	STUBBS		2/15/2021
S800M	ROOF FRAMING DETAILS	STUBBS		2/15/2021
S801M	ROOF FRAMING DETAILS	STUBBS		2/15/2021
S802M	ROOF FRAMING DETAILS	STUBBS	1	7/7/2021
S900M	STAIR PLANS	STUBBS	1	7/7/2021
S901M	STAIR PLANS	STUBBS	1	7/7/2021
S902M	STAIR DETAILS	STUBBS	1	7/7/2021
S903M	BRACE FRAME ELEVATIONS	STUBBS		
Mechanical				
M100M	LEGEND, NOTES, SCHEDULES AND DETAILS	FLUID SYSTEMS		2/15/2021
M101M	MECHANICAL DETAILS	FLUID SYSTEMS		2/15/2021
M102M	MECHANICAL DETAILS & CONTROLS	FLUID SYSTEMS		2/15/2021
M103M	MECHANICAL SCHEDULES	FLUID SYSTEMS		2/15/2021
M200M	FIRST FLOOR - EXISTING DEMO MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M201M	SECOND FLOOR - EXISTING DEMO MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M202M	FIRST FLOOR - NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M203M	SECOND FLOOR - NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
M204M	THIRD FLOOR - NEW MECHANICAL PLAN	FLUID SYSTEMS		2/15/2021
Plumbing				
P100M	SITE PLAN	FLUID SYSTEMS		2/15/2021
P101M	LEGEND, NOTES, SCHEDULES & DETAILS	FLUID SYSTEMS		2/15/2021
P200M	FIRST FLOOR - EXISTING DEMO PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P201M	SECOND FLOOR - EXISTING DEMO PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P202M	FIRST FLOOR - NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P203M	SECOND FLOOR - NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P204M	THIRD FLOOR - PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P300M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P301M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P302M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P303M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P304M	WASTE AND WATER RISER DIAGRAMS	FLUID SYSTEMS		2/15/2021
P400M	ROOF DEMO PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
P401M	ROOF NEW PLUMBING PLAN	FLUID SYSTEMS		2/15/2021
Electrical				
ED1.0M	DEMOLITION 1ST FLR.	ALPHA ENGINEERING		2/15/2021
ESD1.0M	SITE PLAN NEW, MACC DEMOLITION	ALPHA ENGINEERING		2/15/2021
ED1.1M	DEMOLITION 1ST FLR. LIGHTING	ALPHA ENGINEERING		2/15/2021
ED1.2M	DEMOLITION 2ND FLR.	ALPHA ENGINEERING		2/15/2021
ED1.3M	DEMOLITION 2ND FLR. LIGHTING	ALPHA ENGINEERING		2/15/2021
E1.0M	SITE PLAN NEW, MACC Cleveland Square	ALPHA ENGINEERING		2/15/2021
E2.0M	LIGHTING PLAN 1ST FLOOR	ALPHA ENGINEERING		2/15/2021
E2.1M	LIGHTING PLAN 2ND FLOOR	ALPHA ENGINEERING		2/15/2021

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E2.2M	LIGHTING PLAN 3RD FLOOR	ALPHA ENGINEERING		2/15/2021
E2.3M	LIGHTING DETAILS	ALPHA ENGINEERING		2/15/2021
E3.0M	POWER PLAN 1ST FLOOR	ALPHA ENGINEERING		2/15/2021
E3.1M	POWER PLAN 2ND FLOOR	ALPHA ENGINEERING		2/15/2021
E3.2M	POWER PLAN 3RD FLOOR	ALPHA ENGINEERING		2/15/2021
E3.3M	ENLARGED POWER PLANS	ALPHA ENGINEERING		2/15/2021
E4.0M	SPECIAL SYSTEMS PLAN 1ST FLOOR	ALPHA ENGINEERING		2/15/2021
E4.1M	SPECIAL SYSTEMS PLAN 2ND FLOOR	ALPHA ENGINEERING		2/15/2021
E4.2M	SPECIAL SYSTEMS PLAN 3RD FLOOR	ALPHA ENGINEERING		2/15/2021
E4.3M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING		2/15/2021
E4.4M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING		2/15/2021
E4.5M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING		2/15/2021
E4.6M	SPECIAL SYSTEMS DETAILS	ALPHA ENGINEERING		2/15/2021
E5.0M	ELECTRICAL RISER DIAGRAM	ALPHA ENGINEERING		2/15/2021
E5.1M	PANEL SCHEDULES	ALPHA ENGINEERING		2/15/2021
E5.2M	PANEL SCHEDULES	ALPHA ENGINEERING		2/15/2021
E5.3M	PANEL SCHEDULES	ALPHA ENGINEERING		2/15/2021
E6.0M	CUTSHEET	ALPHA ENGINEERING		2/15/2021
Sundt Bidding Exhibits				
Attachment 1 - Instructions to Bidders		Sundt		
Attachment 2 - Bid Form		Sundt		
Attachment 3 - Sample Standard Forms of Agreement		Sundt		
Exhibit A - Scope of Work Directive		Sundt		
Exhibit B - Special Project Requirements		Sundt		
Exhibit C - Project Schedule		Sundt		
Exhibit D - Safety Management and Illness Prevention Requirements		Sundt		
Exhibit E - List of Bidding/Contract Documents		Sundt		
Exhibit F - Quality Management Requirements				
Exhibit G - Insurance Manual	Sundt Liability Insurance Program (SLIP) Manual - 10/1/18 to 10/1/23 PROGRAM	Sundt		
Exhibit H - Textura Overview		Sundt		
Exhibit I - Prime Contract		Sundt		
Exhibit J - Systems Trade Interface Agreement		Sundt		
Exhibit L - Site Usage and Logistics Plan		Sundt		
Exhibit M - BIM Requirements		Sundt		



F / Project Schedule

Data Date - 23-Jul-21 Run Date - 28-Jul-21 at 09:21						Mexican-American Cultural Center Schedule												Page 14 of 19											
Activity ID	Activity Name	Orig Dur	Rem Dur	Start	Finish	2021						2022												2023					
						Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun
EXGAL	EXGAL390	Install Millwork	7	7	07-Oct-22	17-Oct-22																							
	EXGAL370	Mechanical Trim	5	5	07-Oct-22	13-Oct-22																							
	EXGAL400	Install Doors and Hardware	7	7	07-Oct-22	17-Oct-22																							
	EXGAL380	Install Specialties	5	5	07-Oct-22	13-Oct-22																							
	EXGAL420	Seal Concrete	5	5	14-Oct-22	20-Oct-22																							
	EXGAL430	Electrical/Fire Trim	10	10	14-Oct-22	27-Oct-22																							
	EXGAL410	Install LVT	3	3	18-Oct-22	20-Oct-22																							
	EXGAL440	Install Suspended Ceiling Tiles	10	10	21-Oct-22	03-Nov-22																							
	EXGAL450	Plumbing Trim	5	5	28-Oct-22	03-Nov-22																							
	EXGAL470	Fire Sprinkler Trim	5	5	04-Nov-22	10-Nov-22																							
	EXGAL480	Final Coat of Paint	7	7	11-Nov-22	21-Nov-22																							
	EXGAL490	Sundt Deficiency List	5	5	22-Nov-22	30-Nov-22																							
	EXGAL500	Construction Clean	3	3	01-Dec-22	05-Dec-22																							
	EXGAL510	Owner/Arch Punch List	3	3	06-Dec-22	08-Dec-22																							
	EXGAL520	Complete Punch List	5	5	09-Dec-22	15-Dec-22																							
	EXGAL530	Final Clean	3	3	16-Dec-22	20-Dec-22																							
	Commercial Grade Kitchen																												
CK1000	Make Ready Work	2	2	07-Oct-21	08-Oct-21																								
CK1070	Underground Utility Tie in & Rough	20	20	18-Nov-21	17-Dec-21																								
CK1010	Layout & Install Stud Walls	10	10	23-May-22	06-Jun-22																								
CK1020	Rough In	15	15	07-Jun-22	27-Jun-22																								
CK1060	Drywall Tape & Bed	15	15	28-Jun-22	19-Jul-22																								
CK1030	Finishes	20	20	20-Jul-22	16-Aug-22																								
CK3520	Installation of Kitchen Equipment	15	15	17-Aug-22	07-Sep-22																								
CK1040	Trim Out	10	10	17-Aug-22	30-Aug-22																								
CK1050	Prepunch & Clean	5	5	08-Sep-22	14-Sep-22																								
Auditorium, Green Rooms																													
Demolition																													
AUDI60	Make Ready Work	5	5	07-Oct-21	13-Oct-21																								
AUDI70	Remove Plumbing/Electrical Fixtures	10	10	14-Oct-21	27-Oct-21																								
AUDI30	Sawcut for New Stair Foundation	3	3	14-Oct-21	18-Oct-21																								
AUDI80	Remove Suspended Ceiling/Hard Lids/Partitions	15	15	28-Oct-21	17-Nov-21																								
AUDI20	Remove Existing Stairs	1	1	09-Nov-21	09-Nov-21																								
Structural																													
AUDI40	F/R/P Stair Foundation	5	5	10-Nov-21	16-Nov-21																								
AUDI50	Install Stairs	5	5	17-Nov-21	23-Nov-21																								
Interior Build Out																													
AUDI90	Layout Walls	2	2	07-Jun-22	08-Jun-22																								
AUDI100	Install Metal Stud Walls	10	10	09-Jun-22	22-Jun-22																								
AUDI110	Overhead Mechanical(Auditorium)	15	15	23-Jun-22	14-Jul-22																								
AUDI120	Overhead Mechanical	15	15	15-Jul-22	04-Aug-22																								
AUDI130	Overhead Electrical(Auditorium)	15	15	15-Jul-22	04-Aug-22																								
AUDI150	Overhead Electrical/Fire Alarm	10	10	05-Aug-22	18-Aug-22																								
AUDI140	OH MEP&F Inspection(Auditorium)	2	2	05-Aug-22	08-Aug-22																								
AUDI160	Frame Hard Lids(Auditorium)	15	15	09-Aug-22	29-Aug-22																								
AUDI170	Fire Sprinkler	10	10	19-Aug-22	01-Sep-22																								
AUDI180	Inwall Electrical	15	15	19-Aug-22	09-Sep-22																								
AUDI190	Drywall Hard Lids(Auditorium)	10	10	30-Aug-22	13-Sep-22																								
AUDI200	Overhead Plumbing	12	12	02-Sep-22	20-Sep-22																								
AUDI210	Inwall Plumbing	10	10	12-Sep-22	23-Sep-22																								



G / Constructability Review



SUNDT

MACC PHASE 2 - 100% DESIGN DEVELOPMENT PAGE TURN REVIEW COMMENTS

				estimator:	RAB	
Drawings/Page Index/ Sheet #	Page Title / Label / Sheet Label	Subject	Comment Author	Comments	STATUS: C= Owner's Directive R= Retired NC = Needs Clarification	Resolved in 100% CD Set? (NC/No/Yes) comments
	1	Constructability Issue	Rudy Barba	27 4 1 16 Audio Visual. para.1.2B Reads this scope to be shown on "T-series" drawings, there are no such drawings, reference correct drawings.		01 -
	1	Text Box	jrvcillo	PLEASE INSERT CITY OF EL PASO UGC PORTION OF CONTRACT AS FRONT END DOCUMENTS - JR		01 -
	2	Callout	Christine.Skaglund	01 5639 appears in the TOC but the section is not included in this book		01 -
	3	Callout	SPerez	Specifications for 10 10 50 Marker Boards		01 -
	4	Text Box	rabarba	E3-4L		01 -
	8	Text Box	jrvcillo	insert "or other owner approved format similar in nature."		01 -
	8	Text Box	jrvcillo	insert "or other owner approved schedule similar in nature."		01 -
	8	Text Box	jrvcillo	this sentence is not applicable to alternative cost plus delivery methods.		01 -
	9	Cloud+	jrvcillo	in the CMAR format this needs to read the owner, or duplicate language from the Owner's Unified General Conditions to avoid a conflict		01 -
	9	Text Box	jrvcillo	insert "or other owner approved format similar in nature."		01 -
	10	Text Box	jrvcillo	insert "or other owner approved format similar in nature."		01 -
	11	Cloud+	jrvcillo	Should we not just publish the City UGC as part of the front of this specifications to avoid conflicts?		01 -
	C0.0M_CIVIL GENERAL NOTES	RFI	Rudy Barba	Will City coordinate with on site art museum, to verify operations do not effect any art pucses?		01 -
	C1.0M_CIVIL DEMOLITION PLAN	Length Measurement	Rudy Barba	79'-4 1/2"		01 -
	12	Cloud+	jrvcillo	This looks like an allowance line item (no action required by A/E- discussion only)		01 -
	C2.0M_ENLARGED GRADING PLAN	Length Measurement	Rudy Barba	73'-5 1/2"		01 -
	14	Text Box	jrvcillo	insert "as indicated in the drawings"		01 -
	15	Cloud+	jrvcillo	unless indicated otherwise.		01 -
	16	Text Box	jrvcillo	as indicated on the drawings or as specified.		01 -
	16	Text Box	jrvcillo	or		01 -
	16	Cloud+	jrvcillo	This would need to be an allowance item.		01 -
	17	Cloud+	jrvcillo	Do we mean floor surfaces? this could potentially create thousands of items otherwise or will be ignored.		01 -
	17	Cloud+	jrvcillo	We can create an allowance for this as a team, but this is not an enforceable item in a contract.		01 -
	A100.1L SUB-BASEMENT -EXISTING DEMO PLAN	Contractor	Parker	CONTRACTOR TO REMOVE MILLWORK SHELVES 009 CONTRACTOR TO REMOVE CABINET(S) 011 CONTRACTOR TO REMOVE WINDOW 015 CONTRACTOR TO REMOVE DOOR(S)		01 -
	A100.1L SUB-BASEMENT -EXISTING DEMO PLAN	02 40 00 - Demolition & Structural Moving	eespalin	Demolition contract must provide a plan to include engineered shoring drawings before concrete floor removal can start.		01 -
	A100.2L BASEMENT - EXISTING DEMO PLAN	02 40 00 - Demolition & Structural Moving	eespalin	Demolition contract must provide a plan to include engineered shoring drawings before concrete floor removal can start.		01 -
	19	Text Box	jrvcillo	Not applicable in this contract		01 -
	A100.7L ENLARGED DEMO STAIR PLAN & DETAILS	02 40 00 - Demolition & Structural Moving	eespalin	Include all selective demolition for staircase Per Detail 1, 2, 3, and 4 / A100.7L		01 -
	A100L_SITE PLAN NEW	08 40 00 - Entrances, Storefronts, & Curtain Walls	jrheuberger	Library entrance		01 -
	A100L_SITE PLAN NEW	04 00 00 - Masonry	jrheuberger	Rock wall at library		01 -
	A100.8M DEMO ELEVATIONS - EXTERIORELEVATIONS	RFI	SPerez	Reference keynote 926 and 928. Kiosk and bench need to be removed for construction. Please confirm if items are to be protected and turned over to the owner.		01 -
	A103M_FLOOR PLAN - LEVEL 1	Area Measurement	jrheuberger	1,619.51 sf		01 -

	A103M_FLOOR PLAN - LEVEL 1	Area Measurement	Rudy Barba	5,168.47 sf		01 -
	A104M_FLOOR PLAN - LEVEL 2	Constructability Issue	jrheuberger	P9, P10 are not on the finish schedule		01 -
	A106M_ROOF PLAN - NEW TPO BELOW PAVERS	Area Measurement	Rudy Barba	7.492 sf		01 -
	A110M_ROOF PLAN - THIRD LEVEL NEW ROOFS	Constructability Issue	SPerez	In regards to General Note No. 2, this is a Hard Bid Requirement. Please remove or edit to be align with CMAR contract.		01 -
	A301L_BUILDING SECTIONS -CURTAIN WALL ENTRANCE	RFI	SPerez	02/A301L calls for Walk Off Mat as specified. Please provide specifications for the recessed mat. (Please reference 01/A404L as well)		01 -
	A403L_ENLARGED WALKWAY	08 40 00 - Entrances, Storefronts, & Curtain Walls	jrheuberger	Spandrel Glass		01 -
	A403L_ENLARGED WALKWAY	08 40 00 - Entrances, Storefronts, & Curtain Walls	jrheuberger	Transverse Walkway		01 -
	A202M_EXTERIOR ELEVATIONS	Length Measurement	jrheuberger	29'-11 3/4"		01 -
	A202M_EXTERIOR ELEVATIONS	Length Measurement	jrheuberger	4'-0"		01 -
	A204M_EXTERIOR ELEVATIONS	Length Measurement	Rudy Barba	13'-7 3/4"		01 -
	A204M_EXTERIOR ELEVATIONS	Length Measurement	Rudy Barba	43'-11 3/4"		01 -
	M100L_LEGEND, NOTES SCHEDULES AND DETAILS	Constructability Issue	Rudy Barba	Detail 4/M1000 - change flex duct max length to match General Note 12 sheet M100L to equal 5'.		01 -
	M201L_BASEMENT DEMOLITION MECHANICAL PLAN	Constructability Issue	Rudy Barba	All HVAC sheets coordinate Keyed Notes so as each note always has the same scope of work, add note ID numbers as needed.		01 -
	A523M_INTERIOR CONSTRUCTION DETAILS	10 14 00 - Signage	SPerez	interior steel lettering by Signage		01 -
	S101M_QUALITY ASSURANCE	31 00 00 - Earthwork	jrheuberger	Overex and engineered fill to limits required by structure and geotech report		01 -
	S600M_FOUNDATION DETAILS	Length Measurement	Rudy Barba	3'-3/4"		01 -
	E1.0M_SITE PLAN NEW.MACC Cleveland Square	Callout	Christine.Skaglund	Coordinate all convenience outlets and underground conduit with tree planting plans: L4.01M & L4.02M		01 -
	E1.0M_SITE PLAN NEW.MACC Cleveland Square	Callout	Christine.Skaglund	Coordinate this Z1 pole with the tree planting plan: L4.01M		01 -
	E1.0M_SITE PLAN NEW.MACC Cleveland Square	Callout	Christine.Skaglund	Provide power to relocated city kiosk.		01 -
	E1.0M_SITE PLAN NEW.MACC Cleveland Square	Text Box	Christine.Skaglund	Refer to L5.00M for light pole layout in this location		01 -
	192	Callout	nehermesch	07 4229 2.3.B Please provide details of Horizontal and vertical support profiles. Or call out the manufacturer's product and model number.		01 -
	192	Cloud+	nehermesch	07 4229-6 2.3.B Terracotta wall panel attachment. Conflicts with drawings and manufacturer details. - Configuration is "J - ALUM Girt" per Dtl 2/A500M and not Zee or Hat channel. - Member Depth - is not indicated on drawings. Please provide.		01 -
	393	Constructability Issue	SPerez	Please confirm Food Service Equipment is Contractor Furnish Contractor Install.		01 -
	439	Constructability Issue	Rudy Barba	21 0000 para. 2.A - O & W, plus all specs noting site fire hydrants and underground work do Not apply to this project, there is no UG Fire Piping.		01 -
10	C0.0	Cloud+	Rudy Barba	C0.0 18.44.090 WARRANTY - Not applicable to this project, there should only be a single building permit.	C	02 No
16	C4.0	Test Box	Rudy Barba	Sheet C4.0, detail 4 - Where are the concrete flumes to be located and what lengths, please detail?	NC	02 No
38		Callout	Daniela Quesada CID	We're keeping the limestone cladding that's here, right?	C	02 No

44	A103	Cloud+	oytrueba	No interior elevation for loading dock receiving cabinets. Provide type of cabinets and details.	C	02 No
47		Callout	jrheuberger	Need to add cricket in front of elevator shaft	C	02 No
85	S101	Text Box	Rudy Barba	Sheet S101 - There no reference to drilled concrete pier foundations for new structures as noted in the Geotechnical report (20' to 48' VLF), please confirm requirements	C	02 No
96	S402	Callout	Rudy Barba	Sheet S402 Rooftop 3rd level floor framing - No details are found for the stub column heights and top and bottom tie in details; what are the requirements, please detail?	C	02 No
42	A100.9 - DEMO PLAN - ROOF	Cloud+	oytrueba	New roof plan does not show solar panels-relocation plan/details. What type of solar panels? For new connections DETAILS NEEDED?	NC	02 No
43	A103 - FLOOR PLAN - LEVEL 1	Cloud+	oytrueba	No interior elevation for loading dock receiving cabinets. Provide type of cabinets and details.	NC	02 No
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HALvarado	Sheet A122 - Locate new door opening, door not shown on door schedule	NC	02 No
49	A122 - DIMENSION PLAN -LEVEL 1	Cloud+	Daniela Quesada CID	high large window shown in Missouri elevation? not shown in plans	NC	02 No
57	A145 - FURNITURE PLAN -LEVEL 1	Text Box	Daniela Quesada CID	Can we get the update furniture count? All the new/refurbished furniture, as well the built-in furniture that is already being included in the cost?	NC	02 No
57	A145 - FURNITURE PLAN -LEVEL 1	Cloud+	oytrueba	Furniture is not included, please provide details and specs if needed to include.	NC	02 No
58	A146 - FURNITURE PLAN -LEVEL 2	Text Box	Daniela Quesada CID	Can we get the update furniture count? All the new/refurbished furniture, as well the built-in furniture that is already being included in the cost?	NC	02 No
98	A601 - SCHEDULES	Cloud+	oytrueba	missing Door marks 225, 241, 246, 247?	NC	02 No
9	C0.0 - CIVIL GENERAL NOTES	Cloud+	RAB	(Comment not resolved from DD Set) C0.0 18.44.090 WARRANTY - Not applicable to this project, there should only be a single building permit.	C	02 No
9	C0.0 - CIVIL GENERAL NOTES	Callout	RAB	(Comment not resolved from DD Set) Sheet C0.0, NOTE - As designed all existing... Sundt Construction is not the Designer of record and cannot be held liable for existing construction or new design elements. Sundt will be liable for constructing and elements not to design.	C	02 No
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Constructability Issue	HALvarado	Confirm if bike racks are surface mounted or cast in concrete as relocation may not be possible.	NC	02 No
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Cloud+	oytrueba	Sheet C1.1, Existn Storm Manhole #1 - After our 30-Sept. site visit & discussion w/Sergio Castillo there does not seem to be an existing manhole. Are we to assume adding a new manhole.	NC	02 No
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Callout	oytrueba	Sheet .1 EXISTING 12" DRAIN PIPE - As shown here and subsequent sheets and as noted on Sheet C1.0 this line is to be partially demolished and left capped at the north section left in place. Where is water to flow? What is required at the south end of the removed section?	C	02 No
12	C2.0 - SHEET TITLE ENLARGED GRADING PLAN	Text Box	jmrivera	can this be less than 4.9% to give more tolerance? also, please verify to not exceed 5% throughout	NC	02 No
13	C3.0 - SHEET TITLE ENLARGED DRAINAGE PLAN	Text Box	jmrivera	what do ADA requirements call out for level landings on areas with continous 5%?	NC	02 No
14	C3.1 - SHEET TITLE STORM WATER LINE 1 PLAN VIEW & PROFILE	Callout	oytrueba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - There does not seem to be an existing manhole, please clarify the required scope of work.	NC	02 No
15	C4.0 - SHEET TITLE DETAILS	Text Box	RAB	Sheet C4.0, detail 4 - Where are the concrete flumes to be located and what lengths, please detail?	C	02 No
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Text Box	jtstrub	FA Notes C - Delete Note - What constitutes Equal Performance need more description.	NC	02 No
157	ED1.2 - SHEET TITLE DEMOLITION 2ND FLR.	Callout	ladams	E3.2 does not show the new solar panel locations	NC	02 No
157	ED1.2 - SHEET TITLE DEMOLITION 2ND FLR.	Callout	ladams	Relocation will require new feeders. What size? Where are they fed from?	NC	02 No
159	ESDI .0 - SHEET TITLESITE PLAN NEW.MACC DEMOLITION	26.100 - Electrical	jtstrub	Fixture type 11 - change designate to adjust fixture elevation to match final ground elevation.	NC	02 No

159	ESDI .0 - SHEET TITLESITE PLAN NEW.MACC DEMOLITION	26.100 - Electrical	jtrstrub	Does the owner really want the light pole / bollard to be returned to them? Where are they taking them? Provide an address.	NC	02 No
8	G123 - Life Safety - Second Floor	Text Box	jmrivera	please verify location/quantity of fire extinguishers	NC	02 No
125	M101	Callout	ladams	Verify need for double layer wrap.	NC	02 No
126	M102	Text Box	ladams	Provide control diagram for kitchen hood system. Interconnect of hood to MUA and KEF.	NC	02 No
132	P100	21.100 - Fire Protection	nehermesch	P100: Fire Sprinkler System is included in the specifications, but no New or Existing Fire Sprinkler information is given. 1. What type of system is the existing Fire Sprinkler System? 2. Do we anticipate relocating any of the mains or branch lines? Common reasons for this include: Ceiling height changes and conflicts with added or changed ductwork. 3. Will the final feeds to sprinkler heads be replaced or remain in use? 2. How is Fire Water being supplied to the addition? By branching off of the existing mains? If so, please provide the location of the tap, the size, and please confirm the expected flow rate of Fire Water Supply to the addition is achievable from the existing system. 3. Will the Fire Sprinkler System remain active throughout construction? Is the area to be renovated under a separate zone that can be monitored separately? If not, any work on the active lines must be done in coordination with the Local Fire Department, during which the Fire Alarm will need to be placed in test mode and monitored at all times and put back into full service upon completion of the work or at the end of each work day.	NC	02 No
132	P100	Text Box	Rudy Barba	Sheet P100 & E2.0: There are no site utility plans included and all plumbing and electrical plans show all new domestic power, water and sanitary sewer points of demarcation within the existing building. Is the same true for Natural Gas and Fire Sprinkler lines, please confirm and show new to existing points of connection?	NC	02 No
132	P100	21.100 - Fire Protection	nehermesch	See Spec Section 21 0000 1.4F: Please provide "Preliminary flow test information... ..from the Water District for estimating purposes."	NC	02 No
132	P100	22.100 - Plumbing	nehermesch	Please provide details for Roof Drain and Overflow Drain including, Size, Material, and Overflow Drain wall outlet dimensions. The Architectural Drawings call for these drains to be hidden in furr-outs near the columns.	NC	02 No
135	P202	Text Box	ladams	Need water and drains to all humidifiers in gallery area. Coord quantities and locations w/ MECH	NC	02 No
135	P202	Callout	ladams	Need water to sink. Verify piping shown is drainage and provide size.	NC	02 No
135	P202	Cloud+	ladams	Verify kitchen plumbing requirements. Need gas for cookline, floor drains, etc	NC	02 No
99	S100 - SHEET TITLE STRUCTURAL NOTES	RFI	Rudy Barba	Sheet S100 Note 10. on AESS requires Mockups yet the referenced details are not specified, please coordinate and provide details.	NC	02 No
99	S100 - SHEET TITLE STRUCTURAL NOTES	05.100 - Steel	Rudy Barba	Sheet S100 Notes "STEEL JOISTS" Consider removing "by a member of SJI" for the Erector only, as this is a very small joist job.	NC	02 No
99	S100 - SHEET TITLE STRUCTURAL NOTES	05.100 - Steel	Rudy Barba	Sheet S100 Notes "STEEL JOIST GIRDERS" Consider removing "by a member of SJI" for the Erector only, as this is a very small joist job.	NC	02 No
99	S100 - SHEET TITLE STRUCTURAL NOTES	01.000 - General Conditions	nehermesch	Please provide Geotech Report as referenced on S100.	R	02 No
100	S101 - SHEET TITLE QUALITY ASSURANCE	05.100 - Steel	Rudy Barba	Sheet S101 Structural Inspections - per contract fielding testing is by the owner, please note as such herein.	NC	02 No
101	S102 - SHEET TITLE STRUCTURAL DETAILS	Callout	Rudy Barba	Detail 3/S102: Reference Sheet S100 Foundation Note 10. - Vapor barrier placement constructability comment.	NC	02 No
101	S102 - SHEET TITLE STRUCTURAL DETAILS	03.000 - Structural Concrete (Turnkey	nehermesch	Detail 6/S102 - Should this say "BOT. OF FTG. EL" in lieu of "FIN. FLR. EL" at the bottom of the footing?	NC	02 No
103	S104 - SHEET TITLE STRUCTURAL DIAGRAMS	Text Box	Rudy Barba	Sheet S104 Detail 1 - Structural Diagrams: this plan view has no reference sections or notes, please define scopes of work.	NC	02 No
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	In S200, walls to be demolish, Please identify in bold lines the specific wall boundaries, currently only a corner is pointed.	NC	02 No
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Callout	Rudy Barba	S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Do not show any demo at the West and East existing stairwells. Please identify, note, and detail the required scopes of work.	NC	02 No
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	Rudy Barba	Sheet S200 Does not Note or Detail the required structural demolition for new structural foundations, please clearly define and detail this scope of work.	NC	02 No
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Callout	Rudy Barba	S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Include only Note #1. Please identify, key note, and detail all required demolition scopes of work.	NC	02 No
107	S300 - SHEET TITLE FOUNDATION PLAN	Constructability Issue	HAivarado	Coordinate the grid lines with Structural drawings gridlines do not match between disciplines.	NC	02 No

107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Provide details for drill piers on existing walls.	NC	02 No
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	Rudy Barba	Sheet S300 PLAN NOTES "WX" - The referenced wall schedule does not seem to be included.	NC	02 No
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Details are not showing foundation details for the stairs, please clarify	NC	02 No
115	S600 - SHEET TITLE FOUNDATION DETAILS	Text Box	Rudy Barba	Structural Sheets S600, S601, S700, S701, S800, & S801 Section Details: are not referenced to the plan drawings, please coordinate.	NC	02 No
116	S700 - SHEET TITLE TYPICAL FRAMING DETAILS	Cloud+	Rudy Barba	Sheet S700, Detail 7 Composite Beam Construction: Please define the locaiton where this detail is to be applied?	NC	02 No
20	SHEET L1.00 - SHEET TITLE OVERALL SITE PLAN	Cloud+	oytrueba	Revised notes A/B	C	02 No
23	SHEET L2.01 - SHEET TITLE HARDSCAPE DETAILS	Text Box	jmrivera		C	02 No
23	SHEET L2.01 - SHEET TITLE HARDSCAPE DETAILS	Image	jmrivera		C	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Callout	Daniela Quesada CID	for MACC logo, please match the font and style from the branding established by the City	NC	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	I beam detail 5/L2.10 sign letters height changed from 1' to 2'	C	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	Revised note/detail light to be mounted not with channel	C	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	1/L2.10 Complete new detail	C	02 No
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	oytrueba	Sign Revised and reduced (Less letters)	C	02 No
34	SHEET L4.02 - SHEET TITLE PLANTING PLAN	Text Box	Daniela Quesada CID	Coordinate the landscape plan as needed with EPE to keep the 10' easement needed for re-routing of switch.	NC	02 No
Specifications 50% CD						02 No
1		Text Box	Rudy Barba	All Spec Sections: - coordinate proper CSI numbering system and order e.g., 01 26 00 or 01 2600 - consistently number each page of each section e.g., 1 of 12	NC	02 No
1		Cloud+	oytrueba	Revise title on TOC for Steel Roof decking vs Steel Floor decking on TOC	NC	02 No
2		Cloud+	oytrueba	097200 dry erase wall covering missing in TOC and package, please confirm deleted scope?	NC	02 No
16		Highlight	Rudy Barba	Spec 01 1200 3.1.B.: Beginning of restoration Work means acceptance of existing conditions.	NC	02 No
20		Callout	Rudy Barba	01 3000 - 1.2.B. insert, "design of" after Verify.	NC	02 No
28		Highlight	Rudy Barba	Spec 01 5100 - 1.3 TEMPORARY ELECTRICITY A. Refer to General Conditions of the Contract; paragraph 5.20 OBLIGATION FO TEMPORARY ELECTRICAL POWER. Please note there is no such paragraph in the Contract. Should this read "7.03 Services, Materials, and Equipment..."?	NC	02 No
29		Highlight	Rudy Barba	Spec 01 5100 - 1.9 FACSIMILE SERVICE A. Provide, maintain and pay for facsimile service... Fax machines and service are obsolete, please strike this requirment.	NC	02 No
29		Text Box	Rudy Barba		NC	02 No
30		Highlight	Rudy Barba	Spec 01 5550 - 1.3 ACCESS ROADS A. Construct and maintain temporary roads accessing public thoroughfares to serve construction area. This requiremnt is not aplicable to this site, please strike.	NC	02 No
54		Highlight	Rudy Barba	SECTION 03 100 - Correct Spec title to read 03 10 00	NC	02 No
60		31.100 - Earthwork	Rudy Barba	Geotech by LOI 5.6 SOG - 18" compacted select fill 5.10 Deep Foundation piers = 20' min to 45' 5.11 Seismic - class C 4.4 Soil Stratigraphy & 5.12 Select Fill - Stratum A top 15' to 41.5' are acceptable soil.	NC	02 No
60		Callout	Rudy Barba	Spec 31 05 13 - 3.1.B. There may not be room to stockpile topsoil on site thus may be more efficient to load, haul off site and replace. Please add to have this option	NC	02 No
73		03.210 - Concrete Reinforcing Material	Rudy Barba	03 30 01 - 2.3.: Please add a paragraph for standard "black steel" milled reinforcing.	NC	02 No
76		03.000 - Structural Concrete (Turnkey)	Rudy Barba	Spec 03 30 01 - 2.6. - Requirements to not fully match the noted requirements on Structural Drawing Sheet S100, "CONCRETE", please coordinate.	NC	02 No

91	07.100 - Waterproofing & Joint Sealant		Rudy Barba	03 30 01 - 3.12. - Please add this scope of work to SECTION 07 90 00 JOINT SEALERS and reference it in this the concrete spec.	NC	02 No
95		03.300 - Concrete Place & Finish	Rudy Barba	03 30 01 - 3.14.E.1.: Please specify requirements for Floor "Flatness" (FF FL). Note Spec 09 64 30 WOOD ATHLETIC FLOORING 1.1 A. Wood Athletic Flooring. 1.2 RELATED WORK A. Section 03 3000 - Cast-In-Place Concrete, for concrete and concrete finishing... 4. Floor Flatness and Floor Levelness (FF and FL) numbers are not recognized.	NC	02 No
96		Highlight	Rudy Barba	0316329 - Correct page number for Spec 31 63 29 in lieu of "0316329"	NC	02 No
97		Cloud+	Rudy Barba	Spec 31 63 29 - 2.1.B. references 03 30 00, yet there is not noted section coordinate with Spec 03 30 01.	NC	02 No
102		Highlight	Rudy Barba	SECTION 03 200 - Correct Spec title to read 03 20 00	NC	02 No
131		Cloud+	Rudy Barba	Spec 06 41 00 - 1.4. A. reference Spec sections not included in the documents, please coordinate.	NC	02 No
133		Cloud+	Rudy Barba	Spec 05 41 00 - 2.4.D. references Solid Surface Spec 12 36 60 not included in this manual, please coordinate.	NC	02 No
136		Text Box	Rudy Barba	Hydrotech - paver system for Roof Top Flooring data sheets with various styles and color options, are included between Spec Sections 06 41 00 and 07 21 30. Please add a spec section with specific requirements, selections, and other listed manufacturers.	NC	02 No
152		Cloud+	Rudy Barba	Spec 07 42 29.00 - 1.2.A.2. & .3. Reference SS and Alum. support members, please coordinate drawings to match this requirement.	NC	02 No
154		07.400 - Metal Panels	nehermesch	Spec Section 07 42 29.00 1.7.D: Terracotta Wall System: Please provide Mockup Drawings. The mockup is not detailed nor shown in the Drawings as suggested by the specifications. This is a very important feature and installation variances between contract drawings and Manufacturer requirements must be worked out in a detailed mockup. Please add mockup details sheet for all mockups including the terra cotta exterior envelope to the contract drawings.	NC	02 No
154		Highlight	nehermesch	Mockups: Build mockups as detailed and shown in the Contract Documents to verify selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for fabrication and installation. 1. If mockup is not detailed and shown in the Contract Documents, construct a terracotta cladding installation area not less than 10 feet by 10 feet in area on a wall provided. a. Include typical installation components, attachment to building structure, and installation techniques. 2. Build mockup of typical terracotta panel rainscreen wall system, including, supports, attachments, and accessories. 3. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing. 4. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.	NC	02 No
157		Highlight	nehermesch	TERRACOTTA WALL PANEL ATTACHMENT COMPONENTS A. General: All metal supporting members shall be fabricated from 304 Stainless Steel or 6063 T6 Aluminum for resistance to corrosion. B. Horizontal Support Profile: 1. Material: 304 Stainless Steel or 6063 T6 Aluminum 2. Thickness: As required for structural performance of the terracotta panel rainscreen wall system, 0.050 minimum. 3. Finish: Manufacturer's standard. 4. Configuration: Zee or Hat Channel shape 5. Member Depth: As indicated on Drawings 6. Member Vertical Spacing: As required for structural performance of the terracotta panel rainscreen wall system.	NC	02 No
157		07.400 - Metal Panels	nehermesch	Spec Section 07 42 29.00 2.3.B: Terracotta Wall System: Dtl 2/A500 and this spec section conflicts with Manufacturer Recommendations. The 'J' Girt Horizontal Support Profile recommended by Terreal is not mentioned. More details are needed regarding exact sizing, configuration, and fastening requirements for the Horizontal Support Profile. The Manufacturer recommend profile is considered a 'J' Girt and has 3 screws at each connection point. Note 5 calls for Configuration to be a 'Zee' or 'Hat' Channel for the Horizontal support (behind the vertical 'Hat' channel) and vertical spacing is not provided. Recommend going with the Manufacturer's recommendations to ensure a proper substructure.	NC	02 No
163		07.500 - Roofing	Rudy Barba	Spec 07 53 00 - 1.06 requires a 20 year warranty, assume for new roof areas. Assume warranties on patching for new work on the existing roofing be included in the project 1 year warranty, please specify.	NC	02 No
169		Cloud+	Rudy Barba	Spec 07 53 00 - 3.03.A.1. requirements for metal deck are specified in the Single Ply Roofing section, please move to spec 05 31 30 and refer herein.	NC	02 No
172		Cloud+	Rudy Barba	Spec 07 53 00 - 13. delete reference to 22 ga. for steel decking and note reference Spec Sec 05 31 30.	NC	02 No
177		Cloud+	Rudy Barba	Spec 07 53 00 - 3.09.A.11. Electrical conduit drilling requirements, please move to Div 26 and reference herein.	NC	02 No
199		08.100 - Doors, Frames & Hardware	Rudy Barba	Spec 08 21 10-.1.11.A. Wood Doors, the specified warranty is for the "Life of Installation" change to a set period of time.	NC	02 No
200		Cloud+	Rudy Barba	Spec 08 21 10 - 3.2.E. references 08 11 50, which is not included in this manual, please coordinate.	NC	02 No

204		Cloud+	Rudy Barba	Spec 08 22 90 1.09.d. Automatic Entrances - Specify the required warranty period	NC	02 No
207		Cloud+	Rudy Barba	Spec 08 22 90 - .2.07.2. Finalize selection of fastener material for Automatic Entrances	NC	02 No
243		Cloud+	oytrueba	Empty spec section 09 0000 Color Schedule, please revise/delete or match with Finish schedule on drawings (A600) and with Spec section 09 9000 Painting schedule 3.06 and 3.07	NC	02 No
264		03.000 - Structural Concrete (Turnkey	Rudy Barba	Spec 09 64 30 - 1.2.A.1. - .6. "Section 03 3000 Cast-In-Place Concrete" Requires Concrete specifications that are not coordinate with Div 03. Please move all concrete specifications to Div 03 and reverence in Div 09 to Div 03. to eliminate conflicts.	NC	02 No
275		Cloud+	oytrueba	Spec section 096850 is calling for Interface manufacture and Finish schedule calls for different manufacturer (tarkett , avant galvanized pewter 10X36), please revise and confirm the correct product.	NC	02 No
279		Cloud+	oytrueba	Concrete stain is not in the finish schedule or drawings, please revise or delete concrete stain specs in spec 09 9000	NC	02 No
282		Cloud+	oytrueba	Revise Exterior surfaces schedule to match finish schedule on drawings A600	NC	02 No
283		Cloud+	oytrueba	Revise Interior surfaces schedule to match finish schedule on drawings A600	NC	02 No
284		Cloud+	oytrueba	Concrete floors (Painted or stained) not in finish schedule on drawings, please revise or delete.	NC	02 No
286		10.140 - Signage & Directories	Rudy Barba	Spec 10 44 20 - .3.03.A Correct Metal Letters Schedule for this project.	NC	02 No
287		Callout	Rudy Barba	Spec 10 16 00.2.01A. and .2.05.B Metal Toilet Compartments: require Baked Enamel and Stainless Steel partitions. What is the required partition finish?	NC	02 No
290		Text Box	Rudy Barba	Spec 10 22 00 Folding Partition: Not found in the drawings is any reference to a folding partition, remove this spec.	NC	02 No
299		10.440 - Fire Extinguishers & Cabinet	Rudy Barba	Spec 10 52 20.2.03.A. - .C. Fire Extinguisher Accessories: Which accessories are required and applicable to this project?	NC	02 No
300		10.440 - Fire Extinguishers & Cabinet	Rudy Barba	Spec 10 52 20.3.03.A. Fire Extinguisher Schedule: requires 27 total. 1st floor Plan Sheet G122 shows 13 each, verify the quantities for the 2nd floor and new rooftop areas.	NC	02 No
304		Cloud+	oytrueba	N/A??	NC	02 No
309		Text Box	Rudy Barba	Spec 14 24 00 - 2.01.A.: Elevator manufactures add "or equal" language to this paragraph.	NC	02 No
319		21.100 - Fire Protection	nehermesch	Spec Section 21 0000 1.4F: Spec calls for "Preliminary flow test information shall be obtained from the Water District for estimating purposes." Please provide flow test information in order to estimate the design requirements of the additional fire sprinkler piping in the addition.	NC	02 No
319		Highlight	nehermesch	Preliminary flow test information shall be obtained from the Water District for estimating purposes.	NC	02 No
320		Text Box	Rudy Barba	Spec 21 00 00 Fire Sprinkler System - 2.B.: There are no site utility plans showing the location of new fire lines or the point of demarcation to the existing City waterline, please define and detail this scope of work.	NC	02 No
325		Text Box	Rudy Barba	Spec 21 00 00 Fire Sprinkler System: Reads as if for a completely new building not a remodel and addition project. Will use of the existing fire protection system be included and defined by this designer as allowed to be reused, extended... please confirm?	NC	02 No
326		Text Box	Rudy Barba	Division 22 Plumbing Specifications, are written for a new building installation, please add requirements for how the existing systems are to be dealt with.	NC	02 No
327		Text Box	Rudy Barba	Spec 22 00 00 - 2.4.D.: Requires site sanitary lines... No site sanitary lines are found on the drawings, please confirm there are none.	NC	02 No
328		Text Box	Rudy Barba	Spec 22 00 00 - 2.7.A.: Requires gas distribution system... as indicated on the drawings... No gas distribution system is found on the drawings, please confirm there is no gas distribution requiured for this project?	NC	02 No
329		Text Box	Rudy Barba	Spec 22 00 00 - 2.9.A.: Requires site domestic water lines... No site water lines are found on the drawings, please confirm there are none.	NC	02 No
334		Cloud+	Rudy Barba	Spec 22 05 00 - 2.1.A. requires payment of tax, this is a tax exempt project.	NC	02 No
334		Cloud+	Rudy Barba	Spec 22 05 00 - 2.1.A. requires the "Mechanical contractor to include all work per code" weather designed or shown. Please add prior to this statement the mechanical bidder will inform CMAR of any code required missing scopes of work prior to submitting a bid.	NC	02 No
342		Text Box	Rudy Barba	Spec 22 05 00 - Part 3 - Execution - requirements are for HVAC systems not plumbing, please correct.	NC	02 No
347		Text Box	Rudy Barba	Division 23 HVAC Specifications, are written for a new building installation, please add requirements for how the existing systems are to be dealt with.	NC	02 No
358		Cloud+	Rudy Barba	Spec 23 05 00 - 2.1.A. requires payment of tax, this is a tax exempt project.	NC	02 No
371		Pen	Rudy Barba)	NC	02 No
371		23.100 - Mechanical	Rudy Barba	Spec 23 05 93 test and Balance seems to allow with the certified supervisor to be able to accomplish the TAB requirements. 3.2. Guarantee requires the NEBB firm guarantee TAB work to be done per NEBB. Is an independent NEBB firm hired by the mechanical subcontractor acceptable, please confirm and specify?	NC	02 No
375		Text Box	Rudy Barba	Spec 23 09 00 Building Automation System para. 1.1.A. lists only one approved bidder, modify to include other qualified bidders.	NC	02 No
472		Text Box	eespalin	Missing City of El Paso Technology Design and Construction Standards	NC	02 No

43	A103 - FLOOR PLAN - LEVEL 1	Constructability Issue	HALvarado	Coordinate the grid lines with Structural drawings gridlines do not match between disciplines.	NC	02 No
82	A600	Cloud+	oytrueba	verify vinyl base with all floor finishes (The information for all restrooms and green rooms don't have base finishes, please confirm.)	C	03 NC
10	C0.0	Cloud+	Rudy Barba	Sheet C0.0 NOTE, ADA T.A.S. walk requirements - "newly designed" ... in lieu of "existing and proposed"	NC	03 NC
11	C1.0	Text Box	Rudy Barba	Sheet C1.0 Note 32 - Isn't the electrical transformer/gear to be relocated by EP Electric?	C	03 NC
12	C1.1	Text Box	Rudy Barba	All Civil, Landscape, and Structural Drawings - Coordinate all to show matching details and requirements.	C	03 NC
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1, Project area - As the site is very tight some or all of this area may be needed to properly complete the construction. Will this be possible?	NC	03 NC
15	C3.1	Cloud+	Rudy Barba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - All new work in the existing right-of-way (walk & street) will require close coordination with all existing utilities, their locations and the providers.	C	03 NC
44	A104 - FLOOR PLAN - LEVEL 2	Text Box	Daniela Quesada CID	In Room 406 (artist in residence studio) please include the removable dance bar wall hardware	NC	03 NC
9	C0.0 - CIVIL GENERAL NOTES	Cloud+	RAB	Sheet C0.0 NOTE, ADA T.A.S. walk requirements - "newly designed" ... in lieu of "existing and proposed"	C	03 NC
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Constructability Issue	HALvarado	Existing condition indicates a sloped concrete ramp, relocation of these drains maybe required.	C	03 NC
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Text Box	oytrueba	All Civil, Landscape, and Structural Drawings - Coordinate all to show matching details and requirements.	NC	03 NC
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Constructability Issue	HALvarado	Existing condition indicates a sloped concrete ramp, relocation of these drains maybe required.	C	03 NC
14	C3.1 - SHEET TITLE STORM WATER LINE 1 PLAN VIEW & PROFILE	Cloud+	oytrueba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - All new work in the existing right-of-way (walk & street) will require close coordination with all existing utilities, their locations and the providers.	NC	03 NC
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	26.100 - Electrical	jtstrub	General Notes / Note O. Add Whips are to be no longer than 6' in length. Additionally, if code allows utilizing MC Cable might be a cost savings to the project.	NC	03 NC
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Internal Discussion Item	jtstrub	Add General Note J to architectural drawings.	NC	03 NC
152	E5.0 - SHEET TITLE ELECTRICAL RISER DIAGRAM	26.100 - Electrical	nehermesch	E5.0 New Riser Diagram: Does the existing MSB have capacity to feed additional panels on 3rd floor per the New Electrical Riser Diagram?	NC	03 NC
152	E5.0 - SHEET TITLE ELECTRICAL RISER DIAGRAM	Text Box	ladams	Is there a coordination study? Panel schedules do not include an AIC rating. Will any existing breakers need to be replaced or settings changed?	NC	03 NC
155	ED1.0 - SHEET TITLE DEMOLITION 1ST FLR.	RFI	jtstrub	Note 10 - Contractor to relocate to new elevator machine room. Coordinate with manufacturer to ensure circuit continuity. -- This is asking for an electrical change order and would be best if Electrical Engineer & Architect coordinate with elevator consultant.	NC	03 NC
19	L0.00 - SHEET TITLECOVER SHEET	Constructability Issue	HALvarado	Notes 2 and 3 will require coordination with Landscape architect and notification if required (48 Hours), prior to work commencing.	NC	03 NC
36	L5.00 - SHEET TITLESITEFURNISHINGS	Callout	Daniela Quesada CID	Have these outdoor furniture elements been discussed with MCAD? where are they stored?	NC	03 NC
126	M102	Cloud+	ladams	Coord w/ ELEC. Verify Wattstopper sensors have aux contacts for DDC connection.	NC	03 NC
129	M202	Callout	ladams	Shouldn't there be stainless steel ductwork downstream of humidifiers?	NC	03 NC
131	M204	Cloud+	ladams	Exhaust must be a minimum of 10' from MUA intake	NC	03 NC
25	SHEET L2.10 - SHEET TITLE HARDSCAPE SECTIONS	Cloud+	RAB	Sheet L2.10 detail 5, I Beam - Welding beam to column tops without consideration of thermal expansion may be detrimental. Coordinate structural drawings to take precedence over landscape drawings.	NC	03 NC
3		Cloud+	oytrueba	Spec title shows "(OFCl). Please confirm. (there is no note in the drawings). 11 4100 Residential Appliances was provided but not in TOC.	C	04 Yes
12	C1.1	Callout	Rudy Barba	Sheet C1.1 New Stairs Plan View - The referenced Concrete Flume detail does not seem to fit the stair detail, please explain.	R	04 Yes
1	Cover	Callout	Rudy Barba	L0.00 (Index): Sheet A500 is not yet listed in the Index.	R	04 Yes
1	Cover	Callout	Rudy Barba	L0.00 (Index): Sheet S600 is not yet listed in the Index.	R	04 Yes
1	Cover	Text Box	Rudy Barba	L0.00 (Index): Plumbing sheets P100 thru P401 are not yet incorporated in this set.	R	04 Yes
1	Cover	Text Box	Rudy Barba	L0.00 (Index): Landscape sheets L3.00 thru L3.11 are not yet incorporated in this set.	R	04 Yes

1	Cover	Text Box	Rudy Barba	L0.00 (Index): All Electrical Sheet Page Bookmarks are incorrectly set, please reorder and remove unused.	R	04 Yes
2	G100	Callout	Alondra	Contractor needs to comply with COVID 19 Regulations	R	04 Yes
2	G100	Callout	Kelton Matthews	Possible Schedule Impact Coordination with owner required	R	04 Yes
2	G100	Callout	Kelton Matthews	Will a walk through be coordinated prior to bidding?	R	04 Yes
2	G100	Callout	Kelton Matthews	to include pricing in GC	R	04 Yes
2	G100	Callout	Kelton Matthews	if after hours work might be required for noisy activities	R	04 Yes
2	G100	Callout	Kelton Matthews	Is there an additional cost for badging and what are the requirements?	R	04 Yes
2	G100	Text Box	Rudy Barba	Correct all electronic sheet labels and indexing.	R	04 Yes
2	G100	Text Box	Rudy Barba	G100 (Notes): There are many Design Bid Build (DBB) "Gotcha" notes that are not applicable to a Construction Manager At Risk (CMAR) contract vehicle and many notes that may be contrary to this CMAR contract, as noted in the Phase 1 Library review; please edit to fit a cooperative contract approach!	R	04 Yes
10	C0.0	Cloud+	Rudy Barba	C0.0 GENERAL NOTES - Clauses stated In the CMAR Contract agreement should not also be in the drawings, there may be a conflict, unless all language is an exact match.	R	04 Yes
10	C0.0	Cloud+	Rudy Barba	C0.0 GENERAL DEMO NOTES - City of El Paso in lieu of DOT.	R	04 Yes
10	C0.0	Callout	Rudy Barba	C0.0, NOTE - As designed all existing... Sundt Construction is not the Designer of record and cannot be held liable for existing construction or new design elements. Sundt will be liable for constructing and elements not to design.	NC	04 Yes
11	C1.0	Cloud+	Rudy Barba	Sheet C1.0 Remove existing 36" storm line - If not in conflict with new 30" concrete drilled piers, is it possible to abandoned 36" storm pipe in place and fill pipe with a lean cement flowable fill? To excavate, shore/shotcrete the building side of the excavation, remove the pipe and re-compact will increase the cost and construction duration of the project. +/-21' at Entry & 31' at south building line.	NC	04 Yes
11	C1.0	Cloud+	Rudy Barba	C1.0 New storage room areas - What is the extent of the exterior demolishing required in preparation of the new storage rooms, please denote?	R	04 Yes
11	C1.0	Callout	Rudy Barba	C1.0 NOTE 28/1 - the three flag poles are noted to be relocated to the "Company E" monument location, yet the General Note outside of the work area reads, "EVERYTHING OUTSIDE THE LIMITS OF CONSTRUCTION (LOC) TO REMAIN (PROTECTED IN PLACE OR IMPROVEMENTS BY OTHERS).	R	04 Yes
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1, Existing Storm Manhole #1 - After our 30-Sept. site visit & discussion w/Sergio Castillo there does not seem to be an existing manhole. Are we to assume adding a new manhole.	NC	04 Yes
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1 EXISTING CROSSWALK - Are the removal or repainting of the existing Franklin Ave. public street markings to be included in this contract?	R	04 Yes
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1 NEW CROSSWALK - Are the new Franklin Ave. public street markings to be included in this contract?	R	04 Yes
12	C1.1	Callout	Rudy Barba	C1.1 EXISTING 12" DRAIN PIPE - As shown here and subsequent sheets and as noted on Sheet C1.0 this line is to be partially demolished and left capped at the north section left in place. Where is water to flow? What is required at the south end of the removed section?	C	04 Yes
12	C1.1	Cloud+	Rudy Barba	Sheet C1.1 reference 2/C4.1 - 2nd reference arrow does not seem to make sense, please explain.	R	04 Yes
12	C1.1	Callout	Rudy Barba	Sheet C1.1 Drainage Piping for Site Walls - Designate locations of drain lines and points of connection to the new storm drain system.	C	04 Yes
15	C3.1	Callout	Rudy Barba	Sheet C3.1, detail 1, Storm Water Line 1 Profile - There does not seem to be an existing manhole, please clarify the required scope of work.	C	04 Yes
20	L1.00	Cloud+	Daniela Quesada CID	these 2 hatches are very similar	R	04 Yes
22	L2.00	Callout	Rudy Barba	Sheet L2.00, detail 12, Landscape Boulders - Not found in the drawings is a the referenced Hardscape plan to know locations, size, and quantity of boulders	NC	04 Yes
25	L2.01	Callout	Daniela Quesada CID	Is this spelled out or abbreviated to MACC? # of letters make a difference...	R	04 Yes
25	L2.01	Cloud+	Rudy Barba	Sheet L2.10 detail 5, I Beam - Very expensive detail to rout beam, it may be better to have the lighting design to included a hidden fixture detail.	R	04 Yes
27	L3.01	Cloud+	Rudy Barba	All irrigation and landscape sheets - Correct scale to 1:20 in lieu of 1"=1/8"	R	04 Yes
35	C4.10	Cloud+	Rudy Barba	Sheet L4.10 detail 5 Splash Block - Salt River? Change to locally available cobble	R	04 Yes
36	L5.00	Cloud+	Rudy Barba	Sheet L5.00 - Site Furnishing - No specifications or manufacturers are noted.	R	04 Yes
36	L5.00	Callout	Daniela Quesada CID	Have these outdoor furniture elements been discussed with MCAD? where are they stored?	R	04 Yes
37		Callout	Kelton Matthews		R	04 Yes
38		Cloud+	Daniela Quesada CID	Note to salvage the donor bricks in the pavement?	R	04 Yes
38		Callout	Kelton Matthews	Pedestrian Access?	R	04 Yes
38		Callout	Kelton Matthews	Pedestrian Access?	R	04 Yes
38		Callout	Kelton Matthews	Electrical Side Demolition Plan indicates work in this area. Construction Limits need to be coordinated.	R	04 Yes
39	C100.3	Cloud+	Rudy Barba	Sheet A100.3 Existing Transformer to be relocated, By others, EPE.	R	04 Yes
40		Callout	Kelton Matthews	Is demolition required to the floor?	R	04 Yes

40	C100.4	Cloud+	Rudy Barba	Sheet A100.4 - reference section location?	R	04 Yes
40	C100.4	Text Box	Rudy Barba	A100.4 Existing Theater - What are the required demolition scopes of work within the theater?	R	04 Yes
43	A103.9	Cloud+	oytrueba	New roof plan does not show solar panels relocation plan/details. What type of solar panels? For new connections?	NC	04 Yes
44	A103	Cloud+	Daniela Quesada CID	the glazing goes through to the projection and control room? We can't move this to the back wall?	R	04 Yes
44	A103	Callout	Kelton Matthews	Coordinate Millwork w/ existing column.	R	04 Yes
44	A103	Callout	Kelton Matthews	Is access required through this wall?	R	04 Yes
44	A103	Callout	Kelton Matthews	Concrete Patching Could be required for columns.	C	04 Yes
44	A103	Callout	Kelton Matthews	Need Plumbing & gas service in this area.	C	04 Yes
44	A103	Callout	Kelton Matthews	Air requirements not shown in plumbing.	C	04 Yes
44	A103	Callout	Kelton Matthews	Is outlet required shown behind steel cabinet.	NC	04 Yes
44	A103	Callout	Kelton Matthews	Table saw power requirements?	R	04 Yes
44	A103	Cloud+	oytrueba	provide type of countertop	C	04 Yes
44	A103	Cloud+	Rudy Barba	Sheet A103, Existing roof drain tie into new storm line, Civil and Plumbing drawings do not show the new points of connections.	C	04 Yes
45		Cloud+	oytrueba	Provide window dimensions for new sunshades.	C	04 Yes
45		Cloud+	oytrueba	Provide elevation for sun Shade	C	04 Yes
45	C104 General Notes, 2	Cloud+	Rudy Barba	Sheet A104 General Notes, 2. - 4. - reference incomplete schedules for: Partitions (not included), Doors (not completed), Toilet Accessory (not included).	R	04 Yes
45	C104, Key Notes, Window Shades - 164	Cloud+	Rudy Barba	Sheet A104, Key Notes, Window Shades - 164 manual window sun shades and 165 motorized window sun shades - are the blinds only required on the noted 2nd floor windows, please confirm?	R	04 Yes
46		Cloud+	Daniela Quesada CID	What does this hatch mean?	R	04 Yes
46		Text Box	Daniela Quesada CID	Can we include the hatch legend here as well?	R	04 Yes
46		Cloud+	oytrueba	IS THIS HATCH REPRESENTS THE PEDESTAL PAVERS AREA?	R	04 Yes
46		Cloud+	Rudy Barba	Sheet A105 Rooftop Egress - What is the construction of the roof top egress, exterior exposed walkway or enclosed and air conditioned?	C	04 Yes
46		Cloud+	Rudy Barba	Sheet A105 New rooftop egress and existing HVAC unit - will the new construction be in conflict with maintenance clearance for the existing HVAC unit?	C	04 Yes
46	C105 New 3	Callout	Rudy Barba	Sheet A105 New 3rd level elevator shaft wall does not align with the new 1st and 2nd floor new shaft walls.	R	04 Yes
47		Text Box	Daniela Quesada CID	Where are these?	R	04 Yes
47		Text Box	oytrueba	Solar panels relocation?	R	04 Yes
47		Cloud+	Rudy Barba	Sheet A110 Roof pedestal pavers - No roof paver specifications have been given.	C	04 Yes
47		Cloud+	Rudy Barba	Sheet A110 Existing Roof - at all areas of new construction to patch only may be impractical and will require complete new roofing.	R	04 Yes
52		Cloud+	oytrueba	Please delete or clarify if is included?	R	04 Yes
52		Cloud+	oytrueba	Verify/ Add sealed concrete hatch	R	04 Yes
52		Cloud+	oytrueba	verify finish?	R	04 Yes
52		Cloud+	oytrueba	provide Elevator flooring finish	C	04 Yes
52		Cloud+	oytrueba	confirm sealed concrete stairs finish?		04 Yes
52	C142 General Note 2	Callout	Rudy Barba	Sheet A142 General Note 2. - Equipment Schedule sheets A-132 & A-133 are not yet included.	R	04 Yes
52	C142 Wood Floor finish - is the Black Box flooring to be the specified Spec SECTION 09	Cloud+	Rudy Barba	Sheet A142 Wood Floor finish - is the Black Box flooring to be the specified Spec SECTION 09 6430 WOOD ATHLETIC FLOORING?	R	04 Yes
52	C142 - Wood Sports Flooring - note 1	Callout	Rudy Barba	Sheet A142 - Wood Sports Flooring - note 1 5/8" plus transition strip will be required at all Black Box room openings.	R	04 Yes
53		Callout	Daniela Quesada CID	vinyl instead of ceramic tile?	R	04 Yes
53		Cloud+	oytrueba	Existing restrooms get new floors? please verify hatch, currently is asking for vinyl.	R	04 Yes
53	C143 Wood Floor finish - is the 2	Cloud+	Rudy Barba	Sheet A143 Wood Floor finish - is the 2nd floor Dance/Acting Studio flooring to be the specified Spec SECTION 09 6430 WOOD ATHLETIC FLOORING?	R	04 Yes
53	C143 - Wood Sports Flooring - note 1	Callout	Rudy Barba	Sheet A143 - Wood Sports Flooring - note 1 5/8" plus transition strip will be required.	R	04 Yes
54	A144	Cloud+	Daniela Quesada CID	hatch pattern?	R	04 Yes
54	A144	Cloud+	oytrueba	verify/ add hatch with sealed concrete	R	04 Yes
54	A144	Cloud+	oytrueba	verify /add hatch for quarry tile	R	04 Yes
54	A144	Cloud+	oytrueba	Verify/add hatch for sealed concrete or pedestal pavers	R	04 Yes
54	A144	Cloud+	oytrueba	verify/add finish floor sealed concrete?	R	04 Yes
54	A144	Cloud+	oytrueba	verify sealed concrete finish floor?	R	04 Yes

54	A144	Cloud+	oytrueba	schedule is referencing Room ID 404 for Existing Women's restroom not Stairs, please verify finish floor sealed concrete?	R	04 Yes
54	A144	Cloud+	oytrueba	Please provide Room ID number and finishes for this corridor	R	04 Yes
56	C160.2	Callout	Rudy Barba	Sheet A160.2 RCP Circles & Arcs - On all the existing RCP, what are the drafted circles and arcs representing, please clarify?	R	04 Yes
57	A163	Cloud+	Daniela Quesada CID	what is this lattice?	C	04 Yes
58	A164	Cloud+	Daniela Quesada CID	What are these? light fixtures? are these linear wood panels?	C	04 Yes
58	A164	Cloud+	Daniela Quesada CID	What is this box?	C	04 Yes
58	A164	Callout	jrheuberger	It appears a wall needs to be added at the new elevator. I do not believe you can run duct through a elevator shaft	R	04 Yes
59	A169	Text Box	Daniela Quesada CID	Where are the canopies?	R	04 Yes
59	A169	Callout	Daniela Quesada CID	finishes?	R	04 Yes
60	A200	Cloud	Daniela Quesada CID		R	04 Yes
60	A200	Callout	Daniela Quesada CID	what happens here? material selection?	R	04 Yes
60	A200	Cloud	Daniela Quesada CID		R	04 Yes
60	A200	Cloud	Daniela Quesada CID		R	04 Yes
60	A200	Cloud	Daniela Quesada CID		R	04 Yes
60	A200	Callout	Daniela Quesada CID	planters here are being removed?	R	04 Yes
60	A200	Cloud+	Daniela Quesada CID	Are the aluminum panels painted/coated?	R	04 Yes
60	A200	Text Box	Rudy Barba	Sheet A200, Terracotta Rain Screen - Specifications are not yet included in the project manual.	R	04 Yes
60	A200	Callout	Rudy Barba	Sheet A200 Keyed Notes1, 161 & Elevation 2 - Digital LED Screen - As there are no specs or mounting details is the complete system to be by others, (OFOI), please confirm?	NC	04 Yes
60	A200	Cloud+	oytrueba	height dimension and Levels are not the same? Please verify	R	04 Yes
60	A200	Cloud+	oytrueba	Verify Height and Levels on exterior elevations.	R	04 Yes
60	A200	Cloud	oytrueba		R	04 Yes
64	A213	Cloud+	oytrueba	Provide type of countertop?	R	04 Yes
66	A320	Cloud+	Rudy Barba	Sheet A320, detail 3 - What is detail for the new wall construction at backed filled earth and landscape?	R	04 Yes
66	A320	Cloud+	Rudy Barba	Sheet A320 detail 4 - coordinate detailing of storefront and SOG/foundation	R	04 Yes
67	A321	Cloud+	Rudy Barba	Sheet A321 detail 1 - New parapet wall detail - what is the construction scope of work for the new parapet wall and railing fastening, please detail?	R	04 Yes
68	A322	Cloud+	Daniela Quesada CID	this opening in the screen wall will remain? what about debris getting in?	R	04 Yes
68	A322	Callout	Rudy Barba	Sheet A322 detail 3 New Screen Wall - What are the details and locations for the new screen wall support tie ins to the existing structure?	R	04 Yes
69	A400	Cloud+	oytrueba	E2?	C	04 Yes
69	A400	Cloud+	oytrueba	Level 14?	R	04 Yes
70	A401	Cloud+	oytrueba	Level 14?	R	04 Yes
70	A401	Cloud+	oytrueba	Provide height elevation/ Level; scaling is 10', please confirm?	R	04 Yes
71	A402	Cloud+	oytrueba	E2?	R	04 Yes
72	A403	Length Measurement	oytrueba	11'-1/4"	R	04 Yes
72	A403	Cloud+	oytrueba	Confirm or provide height elevation/ Parapet Level	R	04 Yes
74	A405	Cloud+	oytrueba	E2? 8" CMU?	R	04 Yes
74	A405	Length Measurement	oytrueba	11'-10 1/4"	R	04 Yes
74	A405	Cloud+	oytrueba	Provide Height/ Level	R	04 Yes
74	A405	Cloud+	oytrueba	not complete	R	04 Yes
75	A407	Cloud+	Daniela Quesada CID	This will be a prep area, not a cafe area	R	04 Yes
75	A407	Cloud+	oytrueba	Revise notes	R	04 Yes
75	A407	Cloud+	oytrueba	Keynotes are referencing something else Not Appliances/ Equipment	R	04 Yes
75	A407	Cloud	oytrueba		R	04 Yes
76	A408	Cloud+	oytrueba	mark in elevations	R	04 Yes
80	A504	Cloud+	oytrueba	Complete	R	04 Yes
82	A600	Cloud+	oytrueba	Verify vinyl base on all floor finishes.	R	04 Yes
82	A600	Cloud+	oytrueba	Provide information for hardwood flooring. Specs are calling for a wood athletic flooring, please confirm.	R	04 Yes
82	A600	Cloud+	oytrueba	Provide sealed concrete spec.	R	04 Yes
82	A600	Cloud+	oytrueba	Please clarify if F7 is Travertine per schedule or pedestal pavers per keynotes in finish plans	R	04 Yes
82	A600	Cloud+	oytrueba	Only vinyl base thru all materials?	R	04 Yes
83	A601	Cloud	Daniela Quesada CID		R	04 Yes
83	A601	Callout	Daniela Quesada CID	Aren't these a little short for the gallery doors?	R	04 Yes
89	S200	Callout	jrheuberger	Need to coordinate what is happening at the new elevator shaft, looks like a pit will need to be added.	R	04 Yes
92	S300	Callout	jrheuberger	Confirm foundation type, Geotech report states to match existing which are drilled piers	C	04 Yes
92	S300	Cloud+	Rudy Barba	Sheet S300 New Entry Trellis and Gateway - what are the requirements for foundations, structure, trellis, finishes , etc.?	R	04 Yes

92	S300	Cloud+	Rudy Barba	Sheet S300 and all foundation drawings, continuous foundations - What are the required foundation details and schedules?	R	04 Yes
96	S402	Callout	Jrheuberger	Should there be deck on the third floor framing?	R	04 Yes
98	S500	Cloud+	Rudy Barba	Sheet S500 - Are the East, South, and West walls of the new Black Box construction missing steel beams, columns, and footings, please detail?	R	04 Yes
102	S801	Callout	Jrheuberger	This does not match the architectural elevations	R	04 Yes
103	S900	Callout	Jrheuberger	Are we putting a new foundation under the existing stairs?	R	04 Yes
114	E2.0	Cloud	Daniela Quesada CID		R	04 Yes
114	E2.0	Cloud+	Daniela Quesada CID	J1 not included in schedule	R	04 Yes
114	E2.0	Cloud+	Daniela Quesada CID	E not included in schedule	R	04 Yes
115	E2.1	Cloud+	Daniela Quesada CID	Lighting plan?	R	04 Yes
115	E2.1	Cloud+	Daniela Quesada CID	lighting plan?	R	04 Yes
115	E2.1	Text Box	Daniela Quesada CID	Artist in residence doesn't get new lighting?	R	04 Yes
115	E2.1	Text Box	Daniela Quesada CID	Hands-on studio not included in new lighting plan?	R	04 Yes
116	E2.2	Text Box	Daniela Quesada CID	Align plans properly	R	04 Yes
117	E3.3	Callout	Kelton Matthews	Table saw power requirements?	R	04 Yes
117	E3.3	Callout	Kelton Matthews	Is outlet required shown behind steel cabinet.	R	04 Yes
117	E3.3	Arrow	Kelton Matthews		R	04 Yes
117	E3.3	Callout	Kelton Matthews	Power requirements for sump sink?	R	04 Yes
118	E3.1	Cloud+	Daniela Quesada CID	Artist in residence and hands-on studios left out	R	04 Yes
120	E4.1	Text Box	Daniela Quesada CID	Symbol legend? Ares security cameras being included in "special systems"?	R	04 Yes
4		Callout	Kelton Matthews	What are the Piping requirements for air compressor	R	04 Yes
1		Text Box	Rudy Barba	Team: Please review the Specifications. The session will be open until Monday 12-Oct-2020 close of business.	R	04 Yes
2		Cloud+	oytrueba	Provide Masonry Spec	C	04 Yes
3		Cloud+	oytrueba	Please provide clarification on the motorized roller shades. There are details missing on specification regarding Fabrics, the type of motor, the mounting detail, j-box locations, etc.	C	04 Yes
3		Cloud+	oytrueba	08 4229 Automatic Sliding Entrances provided in package and missing in TOC.	C	04 Yes
3		Cloud+	oytrueba	102600 SS Corner Guards 10 44 20 Metal Dimensional Letters 10 2200 - Folding Partitions 10 9000 Exterior Aluminum Screens spec sections are included in the package and missing here in the table of content. Please confirm these scopes and revise TOC.	R	04 Yes
3		Cloud+	oytrueba	Different title in spec: 09 5200 Softsound Suspended Ceiling	C	04 Yes
3		Cloud+	oytrueba	Provide Conveying Systems Spec	R	04 Yes
3		Cloud+	oytrueba	09 72 00 Dry Erase Wallcovering is included in the package and missing in the TOC.	C	04 Yes
3		Text Box	Rudy Barba	TOC Div 9 - is missing SECTION 09 6430 WOOD ATHLETIC FLOORING	R	04 Yes
3		Text Box	Rudy Barba	TOC Div 10 is missing SECTION 10900 ALUMINUM DECORATIVE SCREENS	R	04 Yes
4		Cloud+	oytrueba	Earthwork and Landscape Specs are missing	R	04 Yes
4		Cloud+	oytrueba	Div. Structural specifications "03100 - 03123" Not Provided. Revise Spec section number	R	04 Yes
5		Cloud+	oytrueba	03 123 Fill Not Provided. Out of order.	R	04 Yes
5		Cloud+	oytrueba	Concrete Reinforcing, structural specs are repeated. Delete	R	04 Yes
5		Cloud+	oytrueba	Landscape specs missing	R	04 Yes
250		Cloud+	oytrueba	please clarify three buildings at staircases?	C	04 Yes
250		Cloud+	oytrueba	Provide custom pattern	C	04 Yes
250		Cloud+	oytrueba	Not in business	C	04 Yes
252		Cloud	oytrueba			04 Yes
253		Cloud+	oytrueba	Owner resp.	C	04 Yes
255		Cloud+	oytrueba	Provide quantities or revise drawings with accurate notes for food services equipment	R	04 Yes
257		Cloud	oytrueba		C	04 Yes
258		Cloud+	oytrueba	By Owner	C	04 Yes
259		Cloud+	oytrueba	Confirm quantities for appliances	C	04 Yes
38	A100.3 - SITE PLAN NEW, MACC Cleveland Square	Cloud+	Daniela Quesada CID	Is this being detailed/counted elsewhere?	C	04 Yes
39	A100.4 - DEMO PLAN - FIRST FLOOR	Clarification	HAAlvarado	Sheet A100.4 - New finish plans indicate the entire floor to be new, confirm if seats are to be removed.	NC	04 Yes
39	A100.4 - DEMO PLAN - FIRST FLOOR	Internal Discussion Item	HAAlvarado	Additional demolition might be required to access the concrete slab within the walls. Demo contractor will need to be made aware of this.	C	04 Yes
40	A100.5 - DEMO PLAN - SECOND FLOOR - EXISTING	RFI	HAAlvarado	Please confirm if this window to remain, all wall supports is indicated to be removed. Exterior Demolition Sheet A100.5 indicate window to be removed.	NC	04 Yes
40	A100.5 - DEMO PLAN - SECOND FLOOR - EXISTING	RFI	HAAlvarado	Architectural sheet A104 indicates a new exterior wall in this area, please confirm if wall and windows needs to be demo'd or if it is to remain.	NC	04 Yes
42	A100.9 - DEMO PLAN - ROOF	Cloud+	oytrueba	Openings are not Coordinated with Structural	NC	04 Yes

[illegible]

49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HALvarado	Sheet A122 - Provide grid line for steel columns in this area.	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HALvarado	Sheet A122 - Provide door type and opening dimensions.	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HALvarado	Sheet A122 - Provide dimensions: @ base @ midpoint of slant @ top of wall slant	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Constructability Issue	HALvarado	Sheet A122 - Consider moving wall to flat surface, which will provide a cleaner construction joint at radius	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	HALvarado	?	C	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Cloud+	Daniela Quesada CID	No controlled entry into the open space behind trash/recycling room?	NC	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	vgarcia	?	R	04 Yes
49	A122 - DIMENSION PLAN -LEVEL 1	Dimension	vgarcia	?	R	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Constructability Issue	HALvarado	Sheet A123 - Provide dimensions: @ base @ midpoint of slant @ top of wall slant	NC	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	HALvarado	?	C	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Cloud+	Daniela Quesada CID	clarification needed to the final elevator layout.	NC	04 Yes
50	A123 - DIMENSION PLAN -LEVEL 2	Dimension	vgarcia	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HALvarado	?	C	04 Yes

51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAivarado	Sheet A124 - Tie dimension to a gridline	NC	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAivarado	Sheet A124 - Provide missing dimension for proper wall layout.	NC	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAivarado	Sheet A124 - Dimension does not match measurement above please clarify what this dimension to snapping to.	NC	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Constructability Issue	HAivarado	Sheet A124 - Dimension does not match measurement below please clarify what this dimension to snapping to.	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
51	A124 - DIMENSION PLAN -LEVEL 3	Dimension	HAivarado	?	C	04 Yes
52	A130 - EQUIPMENT PLAN -LEVEL 1	Clarification	HAivarado	Sheet A130, please confirm if food service drawings will be provided.	NC	04 Yes
52	A130 - EQUIPMENT PLAN -LEVEL 1	Constructability Issue	HAivarado	Sheet A130 - Coordinate power requirements for all equipment.	NC	04 Yes
52	A130 - EQUIPMENT PLAN -LEVEL 1	Constructability Issue	HAivarado	Sheet A130 - Users of toilet stalls will be exposed to the public with this layout	C	04 Yes
54	A142 - FINISH PLAN - LEVEL1	Constructability Issue	HAivarado	Sheet A142 - New finish plans indicate the entire floor to be new, confirm if seats are to be removed in this area.	C	04 Yes
54	A142 - FINISH PLAN - LEVEL1	Callout	Rudy Barba	Sheets A103, A104, and A105 GENERAL NOTE 4.: Requires Corner Guards at elevator lobby and all corridors, Sheet A103 1st Floor Plan with note "C.G." all (11) locations for the corner guards. Sheets A104 & A105 2nd and roof top floor plans do not designate any "C.G." locations, please loose all 2nd and roof top "C.G." locations	C	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	What is this box?	NC	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	what is this ceiling symbol?	NC	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	provide ceiling symbol?	NC	04 Yes
63	A164 - REFLECTED CEILING PLAN -LEVEL 2	Cloud+	oytrueba	what is this? please provide ceiling details?	NC	04 Yes
67	A201 - EXTERIOR ELEVATIONS	Cloud+	Daniela Quesada CID	Do you think we need some control (i.e. gate) into this open area behind the rain screen?	NC	04 Yes
68	A202 - EXTERIOR ELEVATIONS	07.400 - Metal Panels	nehermesch	A202: Please provide widths of Terracotta panels and spacing of vertical support members provided with terracotta rainscreen system.	NC	04 Yes
73	A300 - BUILDING SECTIONS	Text Box	jmrivera	is this beam on structural?	NC	04 Yes
74	A320 - WALL SECTIONS	Dimension	HAivarado	?	C	04 Yes
74	A320 - WALL SECTIONS	Dimension	HAivarado	?	C	04 Yes
74	A320 - WALL SECTIONS	Dimension	HAivarado	?	C	04 Yes
74	A320 - WALL SECTIONS	Constructability Issue	HAivarado	Sheet A320 - Provide dimension: @ Base @ Midpoint @ Top of Parapet	NC	04 Yes

74	A320 - WALL SECTIONS	05.100 - Steel	nehermesch	Dtl 4/A320: Both Architectural and Structural Details don't indicate whether the new Pergola framing is separate from, or attached to the existing building structure. Care must be taken to design the connection detail so it can be properly flashed and sealed and allow for minor movement of the structure.	NC	04 Yes
76	A322 - WALL SECTIONS	Constructability Issue	HALvarado	Sheet A322 - Please provide framing information in this area to support flooring	NC	04 Yes
79	A400 - ENLARGED STAIR PLANS - NORTH & SOUTH STAIRS	Text Box	DIANTE Rudy Barba	Sheets A400 - A404.1: Coordinate Stair titles "East and West" in lieu of "North and South" with plan orientation and to match Structural drawings.	NC	04 Yes
84	A405 - ELEVATOR SECTIONS	Cloud+	oytrueba	Is the new elevator in the existing shaft? or is a new elevator shaft, A103 is showing new layout and walls.	NC	04 Yes
84	A405 - ELEVATOR SECTIONS	Cloud+	oytrueba	Provide pavers specifications	NC	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	Image	nehermesch		C	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	Cloud+	nehermesch	See Dtl PS-003-f from Terreal website.	C	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	05.100 - Steel	nehermesch	Detail 7/A500: Structural Details don't indicate whether the new Pergola framing is separate from, or attached to the existing building structure. Care must be taken to design the connection detail so it can be properly flashed and sealed and allow for minor movement of the structure.	NC	04 Yes
88	A500 - EXTERIOR ENVELOPE DETAILS	07.400 - Metal Panels	nehermesch	Dtl 2/A500: Conflict with manufacturer recommendations. Note calls for "Terreal Piterak Slim 30 Terracotta" Terreal Piterak Slim 30 Terracotta weighs 12 lbs / sf per spec section 07 42 29. Due to this substantial weight and the wide spacing of the vertical supports that are part of the Terracotta Rainscreen System, the "CONT. 'Z' FURRING" will not properly support the Terracotta Rainscreen system. Installation details from the manufacturer's website call for "Girt Segments" with 3 fasteners into the structure. Dtl 2/A500 only shows 'Z' Furring and one fastener. Typical 'Z' Furring is galvanized which conflicts with 07 42 29 Terracotta specification section 2.3.B Horizontal Support Profile, which calls for this member to be Stainless Steel or Aluminum. Loading from the Terracotta could also affect sizing and spacing of structural metal studs. However, there is no specification to determine sizing of the exterior wall metal studs. Normally we would see this in specification 05 40 00 Cold Formed Metal Framing. Please show details of members that will adequately support the Terracotta.	NC	04 Yes
97	A600 - SCHEDULES	07.500 - Roofing	nehermesch	Please specify Pedestal Paver system. NOTE: System must be compatible with a Built Up TPO Roof. Specifically the TPO insulation must meet compressive strength (psi) requirements of the pedestal pavers, in order to support the pavers. Typically only the 1/2" cover board has high enough compressive strength.	NC	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Provide Spec Section for the Travertine.	C	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	New Ceramic Tile (Was not shown on DD set) Sundt to revise pricing for changes	C	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Specs are for Dimond polishing not for sealed concrete, please confirm. (Sundt to revise pricing for changes per specs)	C	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Confirm 331 & 341 Stairs flooring are existing to remain, and only to change the base correct?	NC	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Several Areas/SF changed or added spaces/rooms, Sundt to revise pricing on Flooring and new Layout	C	04 Yes
97	A600 - SCHEDULES	Cloud+	oytrueba	Wall partition E2 is 8" CMU, Provide Specs for Masonry	C	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Cloud+	RAB	Sheet C1.0 Remove existing 36" storm line - If not in conflict with new 30" concrete drilled piers, is it possible to abandoned 36" storm pipe in place and fill pipe with a lean cement flowable fill? To excavate, shore/shotcrete the building side of the excavation, remove the pipe and re-compact will increase the cost and and construction duration of the project. +/-21 at Entry & 31' at south building line.	R	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Length Measurement	oytrueba	10'-10"	R	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Internal Discussion Item	HALvarado	Should Limits of Construction be modified to include the demolition of wall and roof drains shown in the Loading Dock Area?	R	04 Yes
10	C1.0 - SHEET TITLE CIVIL DEMOLITION PLAN	Cloud+	RAB	Sheet C1.1, Project area - As the site is very tight some or all of this area may be needed to properly complete the construction. Will this be possible?	R	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Length Measurement	oytrueba	10'-9"	R	04 Yes

11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Clarification	HAAlvarado	Is this new area new work?	NC	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	RFI	HAAlvarado	Provide dimensions for concrete layout.	NC	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Dimension	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Text Box	HAAlvarado	Provide dimensions	NC	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Typewritten Text	HAAlvarado	?	C	04 Yes
11	C1.1 - SHEET TITLE DIMENSIONAL CONTROL & PAVEMENT PLAN	Callout	RAB	Sheet C1.1 Drainage Piping for Site Walls - Designate locations of drain lines and points of connection to the new storm drain system.	NC	04 Yes
140	E1.0 - SHEET TITLESITE PLAN NEW.MACC Cleveland Square	Text Box	Daniela Quesada CID	Are there missing/turned off layers in the electrical site-plan?	C	04 Yes
147	E3.2 - SHEET TITLE POWER PLAN 3RD FLOOR	Cloud+	Daniela Quesada CID	Is this where you are relocating the solar panels?	NC	04 Yes
147	E3.2 - SHEET TITLE POWER PLAN 3RD FLOOR	Callout	ladams	Section cut does not exist on E2.3, what is this?	NC	04 Yes
147	E3.2 - SHEET TITLE POWER PLAN 3RD FLOOR	Cloud+	ladams	Provide power for RR exhaust fans, coordinate starter requirements with MECH	NC	04 Yes
149	E4.1 - SHEET TITLE SPECIAL SYSTEMS PLAN 2ND FLOOR	Internal Discussion Item	jtstrub	2nd floor special notes. #8 - Delete OR EQUAL APPROVED BY OWNER and provide list of manufacturer / model number of equal products.	NC	04 Yes

151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Internal Discussion Item	jtsrtrub	Please delete note 4. Sundt will handle the mean/methods of contracting electrical and low voltage subcontractors. Removing this note will eliminate back and forth between subcontractors.	NC	04 Yes
151	E4.4 - SHEET TITLE SPECIAL SYSTEMS DETAILS	Internal Discussion Item	jtsrtrub	Communications Room Notes #1 - Please add to an architectural drawing so that carpentry and painter sees notes associated with plywood on the walls.	NC	04 Yes
36	L5.00 - SHEET TITLESITEFURNISHINGS	Cloud+	oytrueba	Sheet L5.00 - Site Furnishing - No specifications or manufacturers are noted?	NC	04 Yes
132	P100	21.100 - Fire Protection	nehermesch	P100 Note 21: Please provide a location for the new Fire Hydrant listed in note 21 on P100.	NC	04 Yes
132	P100	Text Box	ladams	Provide Isometric drawings for water, drainage, and gas Confirm health department requirements for food service areas including hot water temperatures, hand washing, and grease trap needs.	NC	04 Yes
135	P202	Constructability Issue	HALvarado	Architectural drawings indicate drains to daylight at Loading Dock. Existing conditions show sloped concrete ramp, please confirm if this is correct.	NC	04 Yes
136	P203	Callout	ladams	Need water and drainage for sink	NC	04 Yes
137	P204	22.100 - Plumbing	nehermesch	New Hot & Cold water lines are shown supplying water to Rooms 501 and 502 on the Rooftop level, but no sewer lines are shown. Please provide routing and locations for these sewer lines.	NC	04 Yes
137	P204	Text Box	ladams	Will there be any floor sinks for the bar or food prep areas? Drainage not shown for any. Confirm no dishwashing or sanitizing in food prep area, if required additional 140 degree water will be needed.	NC	04 Yes
139	P401	Callout	ladams	MUA requires gas, water, and drainage, RE: MECH	NC	04 Yes
139	P401	Text Box	ladams	Coordinate routing of storm drains down to 1st floor and tie-ins to civil. Verify architectural furrows will accommodate pipe sizes with required supports.	NC	04 Yes
99	S100 - SHEET TITLE STRUCTURAL NOTES	Text Box	Rudy Barba	Structural Drawings - Replace all pending requirements noted by "X..." with required specifications.	NC	04 Yes
99	S100 - SHEET TITLE STRUCTURAL NOTES	03.000 - Structural Concrete (Turnkey	Rudy Barba	Spec 03 30 01 - .2.6. - Requirements to not fully match the noted requirements on Structural Drawing Sheet S100, "CONCRETE", please coordinate.	NC	04 Yes
101	S102 - SHEET TITLE STRUCTURAL DETAILS	03.000 - Structural Concrete (Turnkey	nehermesch	S102: Please provide a detail for penetrations through footings including max sizes and reinforcing details. At a minimum, there are Roof Drains that must penetrate the footings	NC	04 Yes
101	S102 - SHEET TITLE STRUCTURAL DETAILS	Cloud+	oytrueba	Revise and confirm Pier Schedule to match with Structural Drawings. and provide Pier details.	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Callout	Rudy Barba	Sheets S20, 201, & S202 STRUCTURAL DEMOLITION: 2nd General note and Key Note #1 require demolition of existing walls without delineation of materials, types of construction or structural/non structural designations. Please specify, note and detail the required scopes of work.	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Callout	Rudy Barba	S200-Foundation, S201-2nd Floor, & S203-Roof Structural Demolition Plans: Do not define the existing elevator shaft demolition requirements. Please identify, note, and detail the required scopes of work.	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	Per A100.4 New Slab 11X12' to be demo and excavate a pit, 12" or as required for new work. Please coordinate with Architectural drawings	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	Per A100.4 is referencing to structural with new note: DEMO SIDEWALK AND EXCAVATE FOR NEW FLOOR SLAB, however there is no details in structural, please provide	NC	04 Yes
104	S200 - SHEET TITLE FOUNDATION DEMOLITION PLAN	Cloud+	oytrueba	coordinate architectural demolition openings for new elevator	NC	04 Yes
105	S201 - SHEET TITLE SECOND FLOOR FRAMING DEMOLITION PLAN	Cloud+	oytrueba	Per A100.5 note: 15' X 11' DEMO AN OPENING IN FLOOR FOR NEW STAIRS - COORDINATE W/ ABOVE Provide details in structural, coordinate with Architectural	NC	04 Yes
105	S201 - SHEET TITLE SECOND FLOOR FRAMING DEMOLITION PLAN	Cloud+	oytrueba	Per A100.5: 10'x12' DEMO SLAB AND EXCAVATE AN ELEVATOR PIT Coordinate with Architectural drawings.	NC	04 Yes
105	S201 - SHEET TITLE SECOND FLOOR FRAMING DEMOLITION PLAN	Cloud+	oytrueba	coordinate architectural demolition openings for new elevator	NC	04 Yes

107	S300 - SHEET TITLE FOUNDATION PLAN	03.100 - Concrete Forming	nehermesch	S300: The pier callouts are not explained in the structural notes nor in any details. For Clarity, please confirm if the typical Pier Call-outs are as follows: - Pier Type - Embedment depth (into gray limestone) - Top of Pier Elevation	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	RFI	oytrueba	Provide revised Pier locations, dimensions and details. Per conversation with the Architect, to be revised to 45' not 97'.	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Revise pier drills in foundation plans to match pier schedule and details	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Add column line	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Text Box	Rudy Barba	Sheets S300, S301, S400 & S401 Foundation and 2nd Floor plan views are missing detail references and Key Notes to define the required scopes of work.	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	Cloud+	oytrueba	Is this a new elevator shaft? Provide foundation details	NC	04 Yes
107	S300 - SHEET TITLE FOUNDATION PLAN	03.100 - Concrete Forming	nehermesch	S300: Drawings do not show any thickened slab or other type of footing for the pergola framing. Please confirm this is or is not required.	NC	04 Yes
109	S400 - SHEET TITLE SECOND FLOOR FRAMING PLAN	05.100 - Steel	nehermesch	S400: The columns for the pergola framing are not shown. Please confirm locations and material type and size for pergola columns.	NC	04 Yes
109	S400 - SHEET TITLE SECOND FLOOR FRAMING PLAN	Callout	Rudy Barba	Structural Drawings: The new to existing construction scopes of work, details, notes, connections, demolition.. are not developed or defined.	NC	04 Yes
109	S400 - SHEET TITLE SECOND FLOOR FRAMING PLAN	Text Box	Rudy Barba	Structural Sheets S400, S401, S402, S403, PLAN NOTES with key lettered items referencing details on S700 are not shown.	NC	04 Yes
111	S402 - SHEET TITLE THIRD FLOOR FRAMING PLAN	Callout	vgarcia	Hoist beam size and orientation?	NC	04 Yes
111	S402 - SHEET TITLE THIRD FLOOR FRAMING PLAN	Cloud+	oytrueba	Coordinate elevator shaft/ extension with Architectural changes	NC	04 Yes
113	S500 - SHEET TITLE ROOF FRAMING PLAN	Cloud+	oytrueba	Coordinate with Architectural drawings, new elevator shaft? not only an extension??	NC	04 Yes
113	S500 - SHEET TITLE ROOF FRAMING PLAN	Callout	jmriviera	decking termination?	NC	04 Yes
115	S600 - SHEET TITLE FOUNDATION DETAILS	Callout	Rudy Barba	Sheet S600, all Details 1 - 5: Reference Sheet S100 Foundation Note 10. - Vapor barrier placement constructibility comment.	NC	04 Yes
118	S800 - SHEET TITLE ROOF FRAMING DETAILS	Callout	jmriviera	is this at max loading?	NC	04 Yes
118	S800 - SHEET TITLE ROOF FRAMING DETAILS	Callout	jmriviera	frequency of kickers/does this replace bridging?	NC	04 Yes
118	S800 - SHEET TITLE ROOF FRAMING DETAILS	Callout	jmriviera	to avoid elevation issues why not include elevations on structural as well	NC	04 Yes
120	S900 - SHEET TITLE STAIR PLANS	Cloud+	oytrueba	Stair foundation details are not showing foundations details. Please confirm or revise	NC	04 Yes
120	S900 - SHEET TITLE STAIR PLANS	Text Box	Rudy Barba	Sheets S900 & S 902 West and East Stairs: It was my understanding at one of the site visits the new 2nd floor to roof top stairwells may not require any reinforcing foundation and 2nd floor work. With the West and East Stair well drawings not showing any progression between the DD and SD Drawings has the determination not yet been made, please confirm?	NC	04 Yes
123	S903 - SHEET TITLE BRACE FRAME ELEVATIONS	Text Box	Rudy Barba	Sheet S903 Detail A - SCREEN WALL ELEVATION: Not show are details of each end walls that turn North, steel to foundation details, nor new screen structure tie into existing building details, please denote, section, and detail.	NC	04 Yes
22	SHEET L2.00 - SHEET TITLE HARDSCAPE DETAILS	Callout	oytrueba	Sheet L2.00, detail 12, Landscape Boulders - Not found in the drawings is a the referenced Hardscape plan to know locations, size, and quantity of boulders.	NC	04 Yes
22	SHEET L2.00 - SHEET TITLE HARDSCAPE DETAILS	32.140 - Unit Pavers	HALvarado	Provide 2 finish colors, per detail 9/L2.00	NC	04 Yes
23	SHEET L2.01 - SHEET TITLE HARDSCAPE DETAILS	Text Box	jmriviera	should have chamfered edges to get a cleaner look. 90 degree will probably have to be rubbed and patched.	NC	04 Yes

1	05.400 - Cold-Formed-Metal-Framed Stru	nehermesch	Specification section 05 40 00 Cold Formed Metal Framing is missing. This section is needed to size exterior walls and parapets as well as any walls that provide structural support.	NC	04 Yes
1	Cloud+	oytrueba	Provide specs, Wall types is calling for an 8" CMU	NC	04 Yes
1	Text Box	eespalin	Are Sustainable Design Requirements needed?	NC	04 Yes
1	Callout	oytrueba	015550 Construction Facilities spec section	NC	04 Yes
1	Cloud+	oytrueba	Spec section Missing	NC	04 Yes
1	Callout	oytrueba	03 30 01 - Cast in place - Civil Site	NC	04 Yes
1	Arrow	oytrueba		NC	04 Yes
2	Cloud+	oytrueba	Spec section 11 4100 residential appliances missing or not needed?	NC	04 Yes
2	Callout	oytrueba	08 4229 Automatic Sliding entrances (Double up with 08 2290??	NC	04 Yes
4	Cloud+	oytrueba	Revised with actual title: Geotechnical Engineering Study June 22, 2020	NC	04 Yes
6	Text Box	Rudy Barba	Spec 01.0000 - 1.4.C. & D.: OFOI and OFCI are not applicable.	NC	04 Yes
9	Text Box	Rudy Barba	Spec 01 0390 - 1.3 E. & F.: coordinate owner occupancy post substantial completion and correction of defective work and Punch List???	NC	04 Yes
18	Highlight	Rudy Barba	SECTION 01 22 00 UNIT PRICES - Are unit prices applicable to this project; AIA please remove?	NC	04 Yes
28	Highlight	Rudy Barba	Spec 01 5100 - 1.6.F.F. Permanent building lighting may [not] be utilized during construction. This requirement is above and beyond Contract requirements and may not be possible in every room/area. , strike or reword from "not" to "not desired and to be coordinated on an as required basis".	NC	04 Yes
31	Highlight	Rudy Barba	Spec 01 5550 - 1.7 FIELD OFFICES AND SHEDS. There is no room for a separate filed office/trailer on site, current estimates include the use of existing interior space for construcion temp office.	NC	04 Yes
49	Highlight	Rudy Barba	Spec 02 4113 - 6.a. Houses, sheds, warehouses, barns, trailer houses, etc. This paragraph is not applicable to this project, please strike.	NC	04 Yes
49	Highlight	Rudy Barba	Spec 02 41 13 - "c. Underground disposal system associated with the building" and "d. Filling or removing septic tanks and cesspools". These paragraphs are not applicable to this project, please strike.	NC	04 Yes
49	Cloud+	Rudy Barba	Spec 02 4113 - 6.b. "fireplaces" are not applicable to this project, please strike.	NC	04 Yes
50	Highlight	Rudy Barba	Spec 02 4113 - 6.e. Capping wells. This paragraph is not applicable to this project, please strike.	NC	04 Yes
50	Highlight	Rudy Barba	Spec 02 4113 - 1.4.B.8. The contractor... shall be responsible for increasing structural supports or adding new supports as may be required as a result of any cutting, removal, or demolition work preformed... Please note Sundt is not the designer of record and is only responsible for complete scopes of work including structural supports designed in the contract documents, in lieu of "as may be required" replace with "as shown".	NC	04 Yes
51	Callout	Rudy Barba	Spec 02 4113 - 3.3.C. & D. UG concrete tanks are not applicable to this project, please strike.	NC	04 Yes
52	Cloud+	Rudy Barba	Spec 01 4113 3.4.C. "cellars" are not included in this contract, please strike this requirement.	NC	04 Yes
52	Highlight	Rudy Barba	Spec 02 4113 3.5.C. change entity to "City of El Paso" in lieu of "MACC"	NC	04 Yes
53	31.100 - Earthwork	Rudy Barba	02 4113 3.8.C. "Fill shall be made with existing earth..." Geotech by LOI: 4.4 Soil Stratigraphy - Stratum A top 15' to 41.5' are acceptable soil.	NC	04 Yes
53	02.100 - Demolition	Rudy Barba	02 4113 3.8.D. "Concrete and aggregate may, with Engineer's approval, be used as fill material..."	NC	04 Yes
65	Highlight	Rudy Barba	Spec 31 23 23 - 3.5.A. Perform laboratory material tests according to contract documents. Per contract field testing is by Owner, Sundt will coordinate for owner all testing.	NC	04 Yes
78	03.300 - Concrete Place & Finish	Rudy Barba	03 30 01 - 2.8.1. The thickness of curing blanks should be a means and methods decision, please delete this requirement.	NC	04 Yes
106	Cloud+	oytrueba	Finish schedule and DD Documents are calling for Sealed concrete, not dimond polishing floors, please confirm (Sundt to revise pricing for Added scope)	NC	04 Yes
116	05.100 - Steel	Rudy Barba	05 31 30 What is the minimal required deck thickness, please specify. Also coordinate with requirements in other spec sections, ()	NC	04 Yes
131	Cloud+	Rudy Barba	Spec 06 41 00 - 1.2.B. references Spec sections 12 36 60 not included in the documents, please coordinate.	NC	04 Yes
157	Cloud+	Rudy Barba	Spec 07 42 29.00 - 2.2.B.10. & 11. require various colors and textures, please narrow the required selections to minimize added cost.	NC	04 Yes
51	Highlight	Rudy Barba	Spec 02 4113 - 3.3.G. Cap wells. There are no wells shown in the contract documents, please strike this requirement.	NC	04 Yes

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