



ITEM 6

8300 Burnham Rd. Detailed Site Development Plan

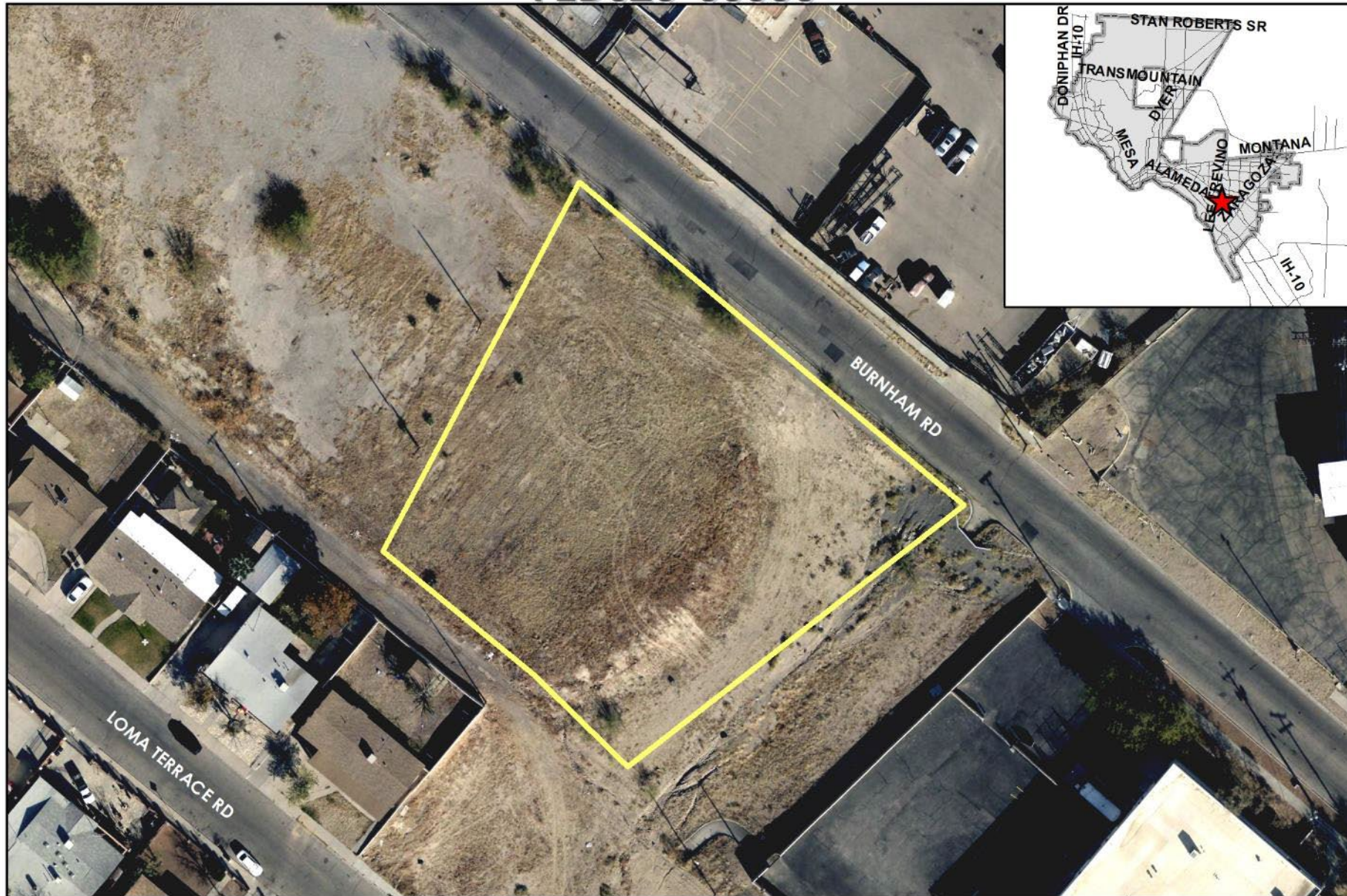
PZDS23-00030

Strategic Goal 3.

Promote the Visual Image of
El Paso



PZDS23-00030



Aerial

This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

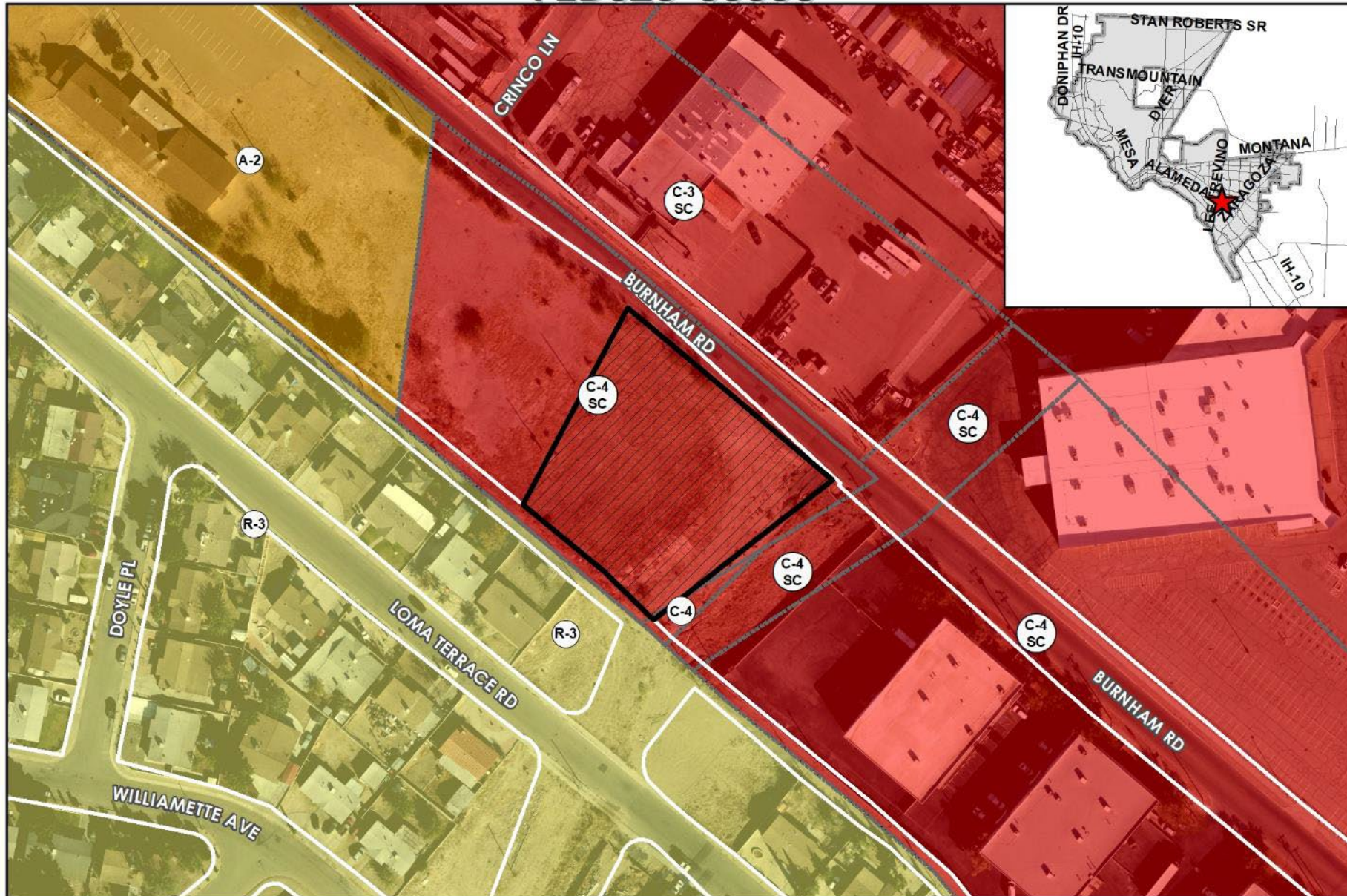


Subject Property

0 25 50 100 150 200 Feet



PZDS23-00030



Existing Zoning

This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

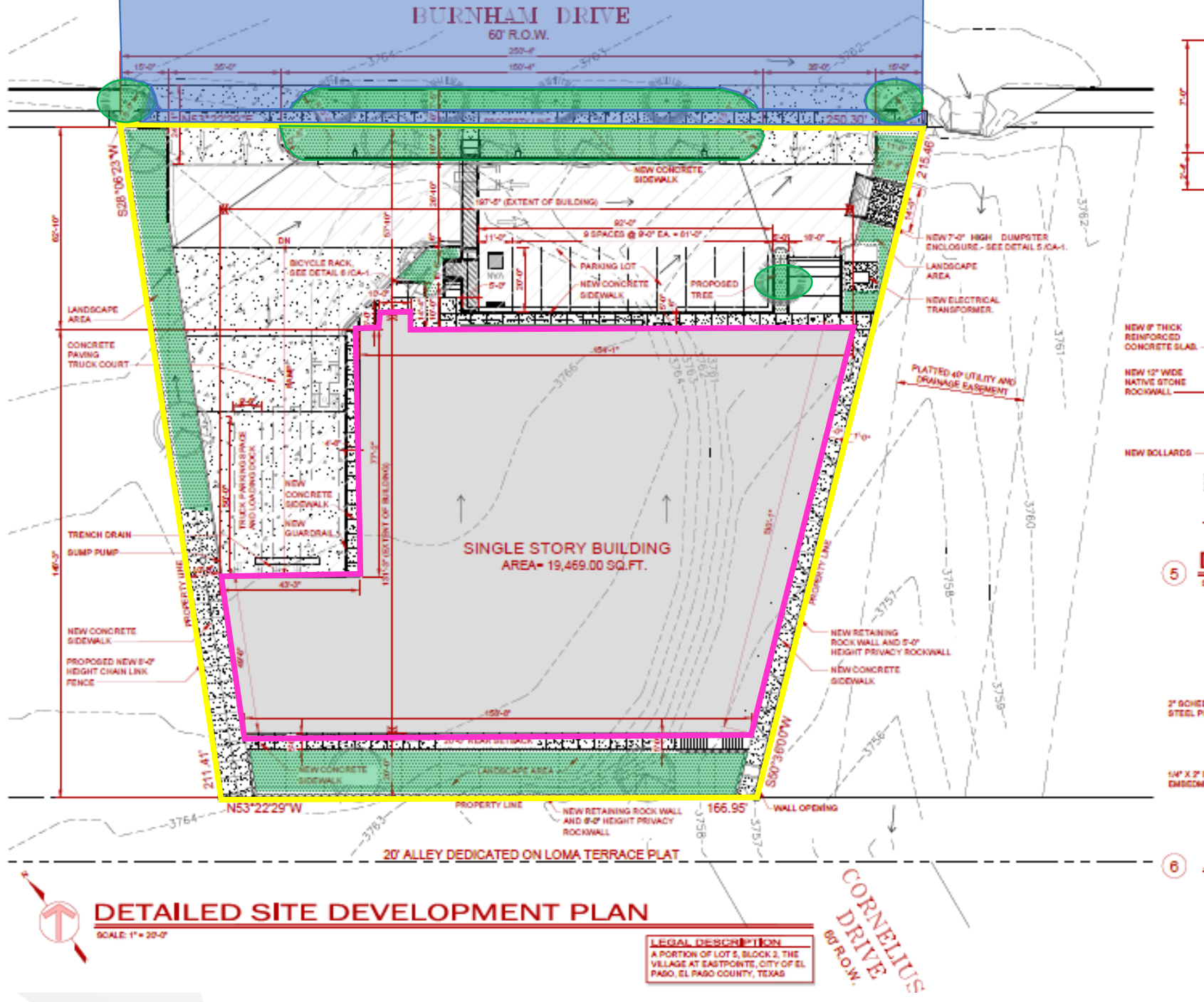


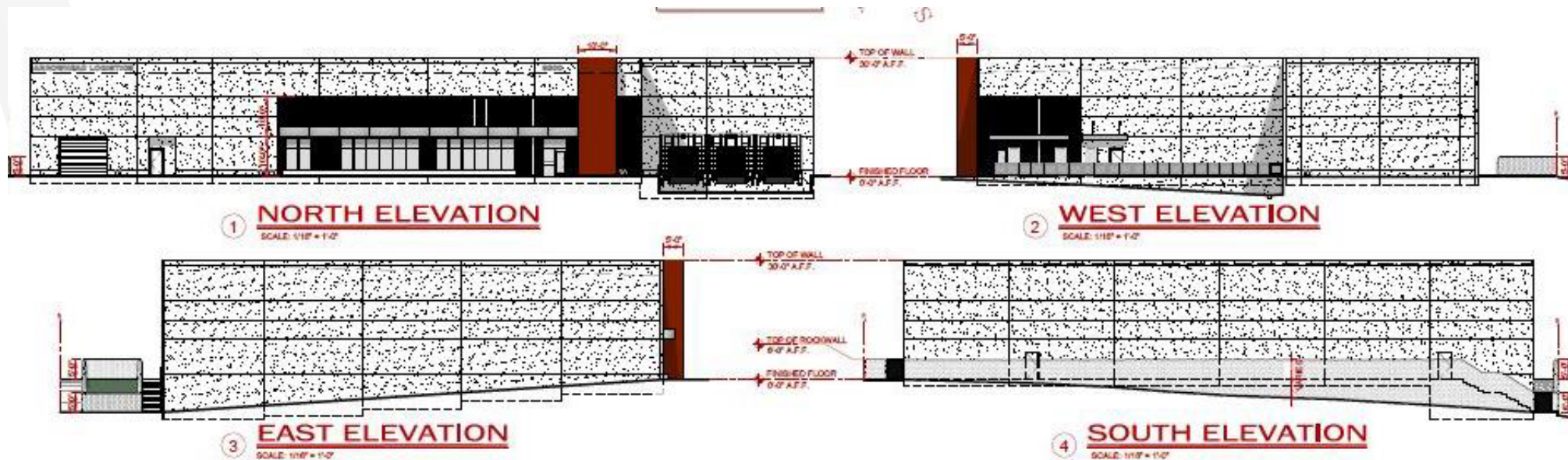
Subject Property

0 45 90 180 270 360 Feet



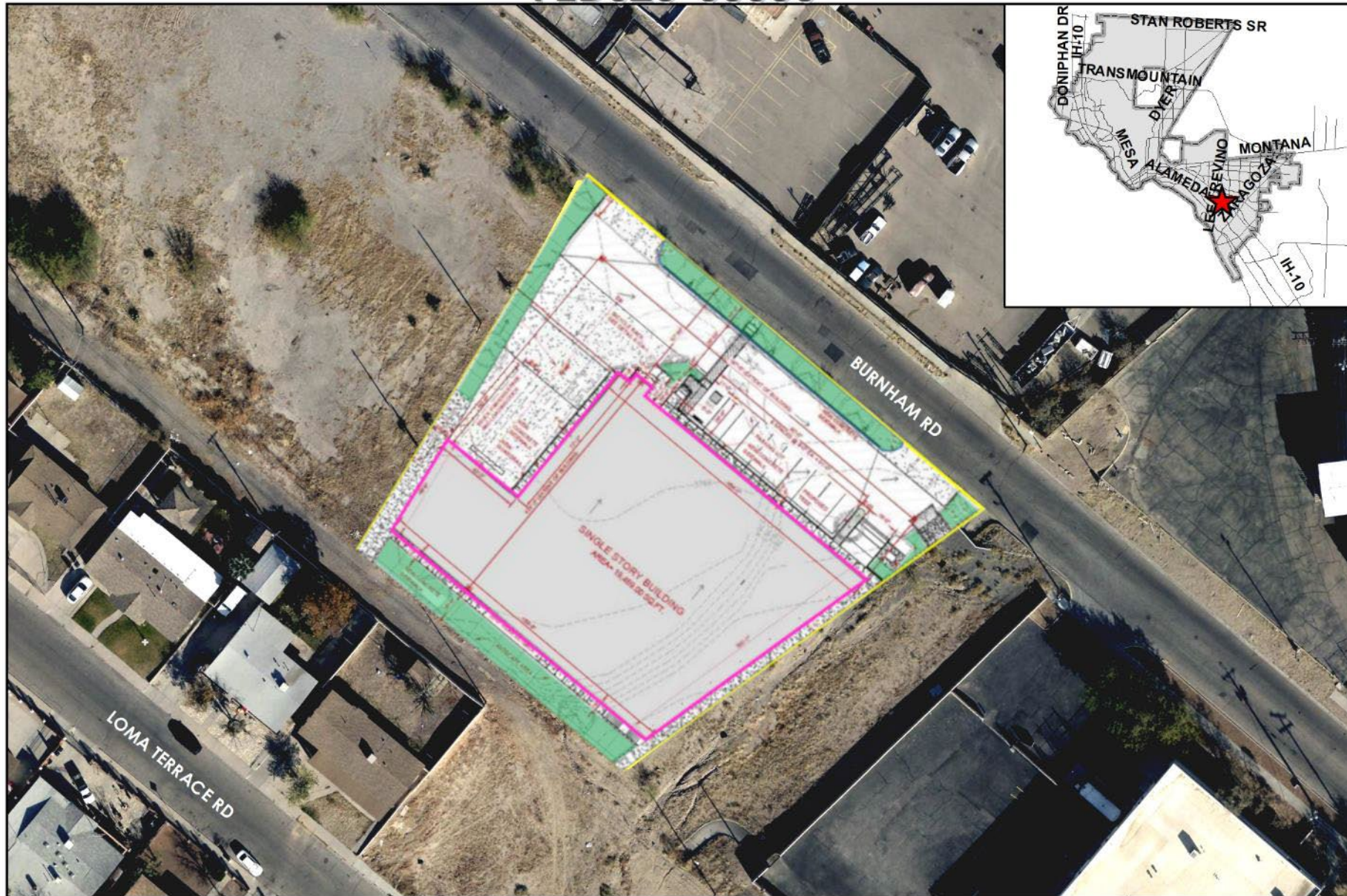
Detailed Site Development Plan





Elevations

PZDS23-00030



Aerial with Site Plan

This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.



Subject Property

0 25 50 100 150 200 Feet



Subject Property

Surrounding Development



N



W

S

E





Recommendation

- Staff and CPC (5-0) recommend approval of the Detailed Site Development Plan



Mission

Deliver exceptional services to support a high quality of life and place for our community



Vision

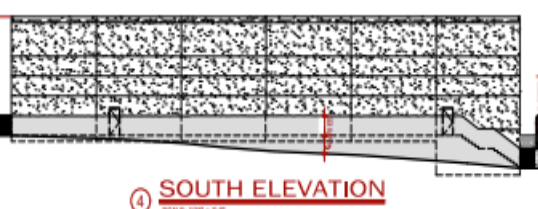
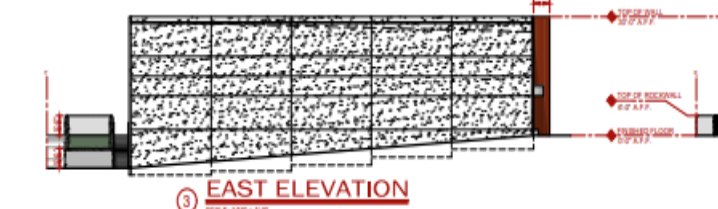
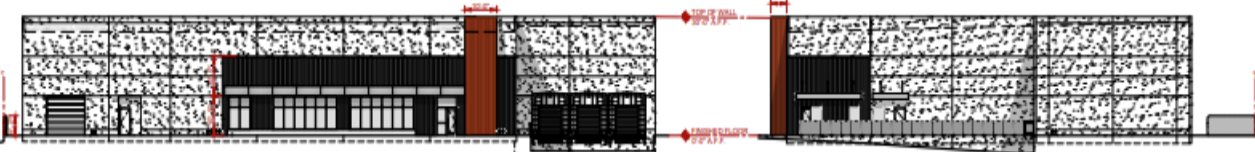
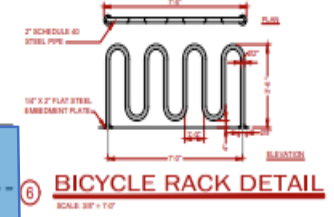
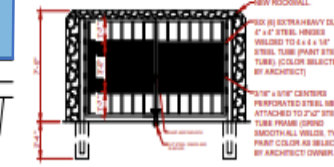
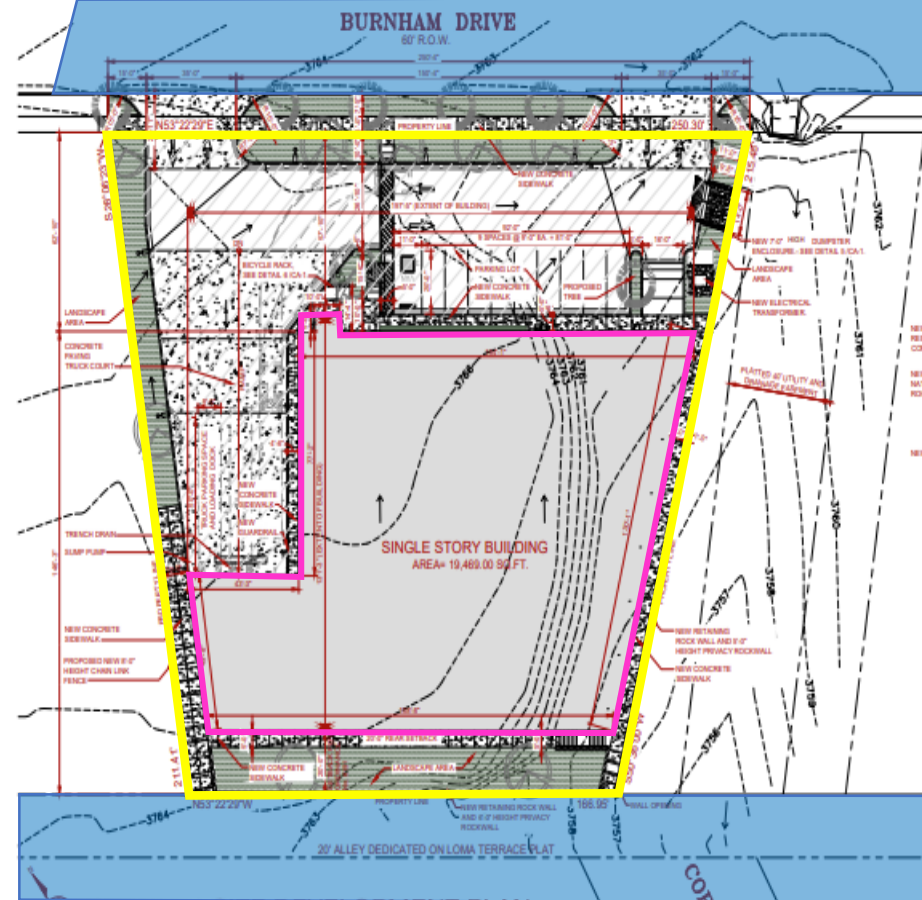
Develop a vibrant regional economy, safe and beautiful neighborhoods and exceptional recreational, cultural and educational opportunities powered by a high performing government



Values

Integrity, Respect, Excellence, Accountability, People

Detailed Site Development Plan



PROJECT DATA	
ADDRESS	8330 BURNHAM DR. EL PASO, TEXAS 79907
BUILDING CODES:	AS APPROVED AND AMENDED BY THE CITY OF EL PASO, TEXAS: 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL FIRE CODE 2021 TEXAS ACCESSIBILITY STANDARDS
BUILDING OCCUPANCY	S-1 (STORAGE)
CONSTRUCTION TYPE	I-B
SPRINKLERED	YES
ZONING	C-4 SC
ZONING DISTRICT	COMMERCIAL DISTRICT
LOT SIZE	43,630.00 SQ. FT.
SETBACKS:	MINIMUM FRONT YARD REQUIRED: 0' 0" FT. FRONT YARD PROVIDED: 0' 0" FT. MINIMUM REAR YARD REQUIRED: 0' 0" FT. PER ORDINANCE NO. 8781 REAR YARD PROVIDED: 0' 0" FT. MINIMUM SIDE YARD REQUIRED: 0' 0" FT. WEST SIDE YARD PROVIDED: 10' 0" FT. EAST SIDE YARD PROVIDED: 0' 0" FT.
ALLOWABLE BUILDING HEIGHT PER MUNICIPAL CODE	TITLE 20 - ZONING APPENDIX B
TABLE OF DENSITY AND DIMENSIONAL STANDARDS	C-4 DISTRICT:
MAX. ALLOWABLE BUILDING HEIGHT	35'-0" FT.
PROVIDED BUILDING HEIGHT	35'-0" FT.
BUILDING SQUARE FOOTAGE	23,469.00 SQ. FT.
OFFICES SQUARE FOOTAGE	3,861.00 SQ. FT.
WAREHOUSE SQUARE FOOTAGE	25,608.00 SQ. FT.
OCCUPANCY LOAD	57 PEOPLE
OFFICE: MAX. + 1 PER 60 S.F. 100 GROSS 3,861.00 / 60 = 64.35 = 64 PEOPLE	
WAREHOUSE: MAX. + 1 PER 60 S.F. 100 GROSS 25,608.00 / 60 = 426.80 = 426 PEOPLE	
PARKING REQUIREMENTS:	
OFFICE: MAX. + 1 PER 60 S.F. OF G.P.A. OFFICE: MAX. + 3,861.00 S.F. = 64.35 = 64	
OFFICE: MAX. + 1 PER 60 S.F. OF G.P.A. OFFICE: MAX. + 3,861.00 S.F. = 64.35 = 64	
WAREHOUSE: MAX. + 1 PER 100 S.F. OF G.P.A. WAREHOUSE: MAX. + 10,000.00 S.F. = 100 = 100	
WAREHOUSE: MAX. + 1 PER 100 S.F. OF G.P.A. WAREHOUSE: MAX. + 10,000.00 S.F. = 100 = 100	
HEAVY TRUCK: MIN. + 1 PER 100.00 S.F. OF G.P.A. HEAVY TRUCK: MIN. + 10,000.00 S.F. = 100 = 100	
TOTAL ACCESSIBLE PARKING SPACES REQUIRED = 2 SPACES	
TOTAL ACCESSIBLE PARKING SPACES PROVIDED = 2 SPACES	
BICYCLE: MIN. PROVIDED = 3 SPACES	
BICYCLE: MIN. PROVIDED = 3 SPACES	
MINIMUM PARKING SPACES REQUIRED = 5 SPACES	
MINIMUM PARKING SPACES PROVIDED = 23 SPACES	
TOTAL PARKING SPACES PROVIDED = 23 SPACES	
LANDSCAPE CALCULATIONS	
LOT AREA = 43,630.00 SQ. FT.	
BUILDING AREA = 23,469.00 SQ. FT.	
REQUIRED LANDSCAPABLE AREA = 20,161.00 S.F. = 3,623.00 SQ. FT.	
LANDSCAPABLE AREA PROVIDED = 3,623.00 SQ. FT.	
LANDSCAPE AREA PROVIDED	
ASPHALT PAVED AREA	
PLANT QUANTITIES	
REQ.	PROPOSED
F - STREET TREES (100 L. FT.) = 100	8
G - BULB TREES (100 L. FT.) = 100	8
C - CONCEPT TREES (100 L. FT.) = 100	1
P - PROJECT TREES (20,000 SQ. FT.) = 3,623.00 SQ. FT. (1000)	3.6
TOTAL TREES	19.6
QTY. OF BARRIERS - UNITS OF PLANT MATERIAL, 5' (3' X 5' X 10')	100
SYMBOLS	
NEW 10' TYP. HEIGHT LIGHT POLE	
PROPOSED DRAINAGE COURSE	
EXISTING DRAINAGE FLOW PATTERNS	
PROPOSED DRAINAGE FLOW PATTERNS	

7100 W. 10th St. Suite 100 El Paso, TX 79915 Ph (915) 995-7000 nrgroup.com

Member of the American Council of Engineers

A New Office & Warehouse Building for:

TREVAR PROPERTIES

25000 Burnham Dr. El Paso, TX 79907

Drawn By: September 18th, 2023

Project Number: 2018

Designed By: Checked By: JMT

Sheet Title: **Detailed Site Development Plan**

Sheet Number: **CA-1R**

SHEET 1 OF 1