



ITEM 25

223 Silverwood Way Special Permit

PZST23-00010

Strategic Goal 3.

Promote the Visual Image of
El Paso





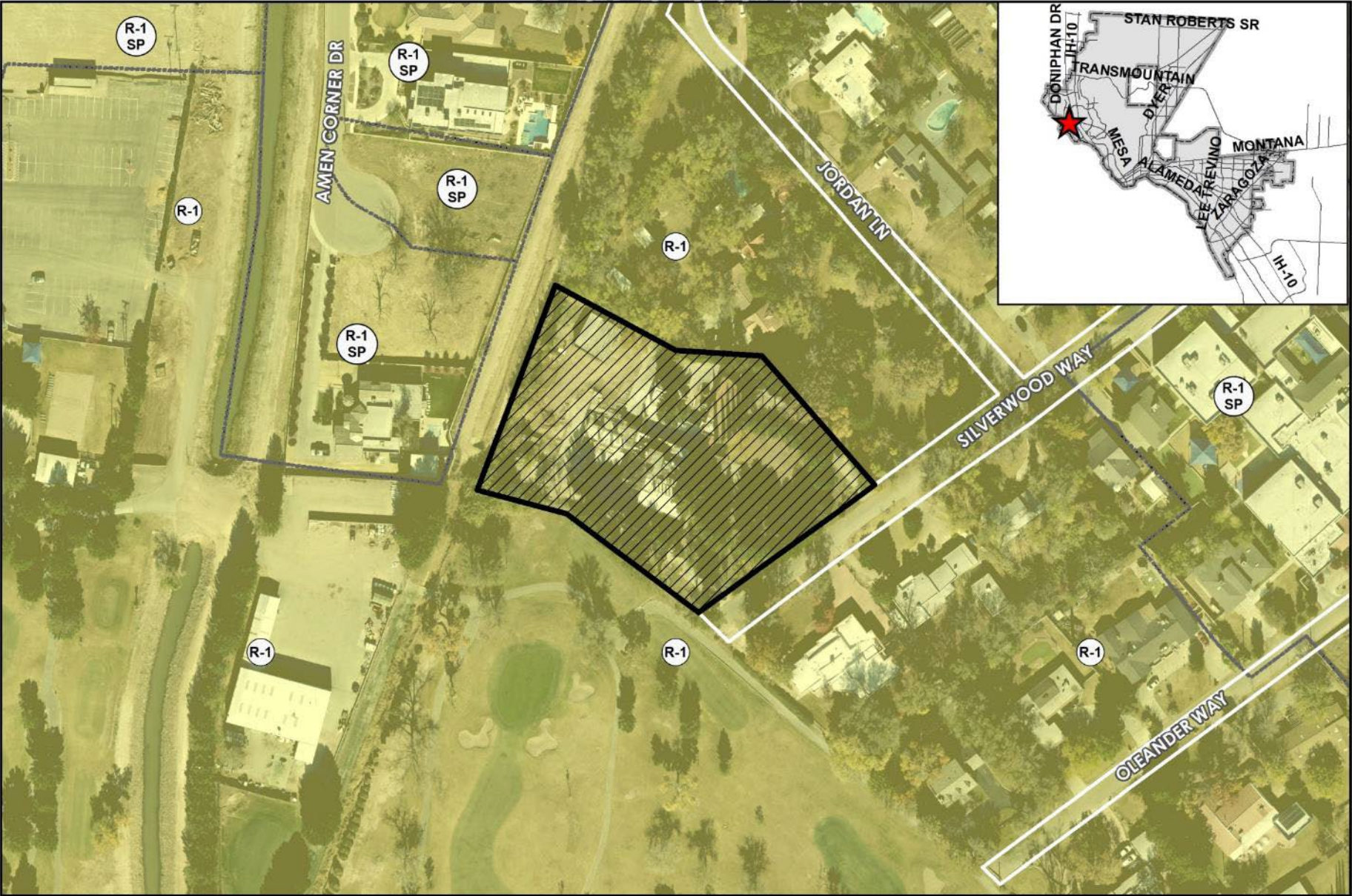
Aerial

This map is designed for illustrative purposes only. The features depicted here are approximate, and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.



 Subject Property





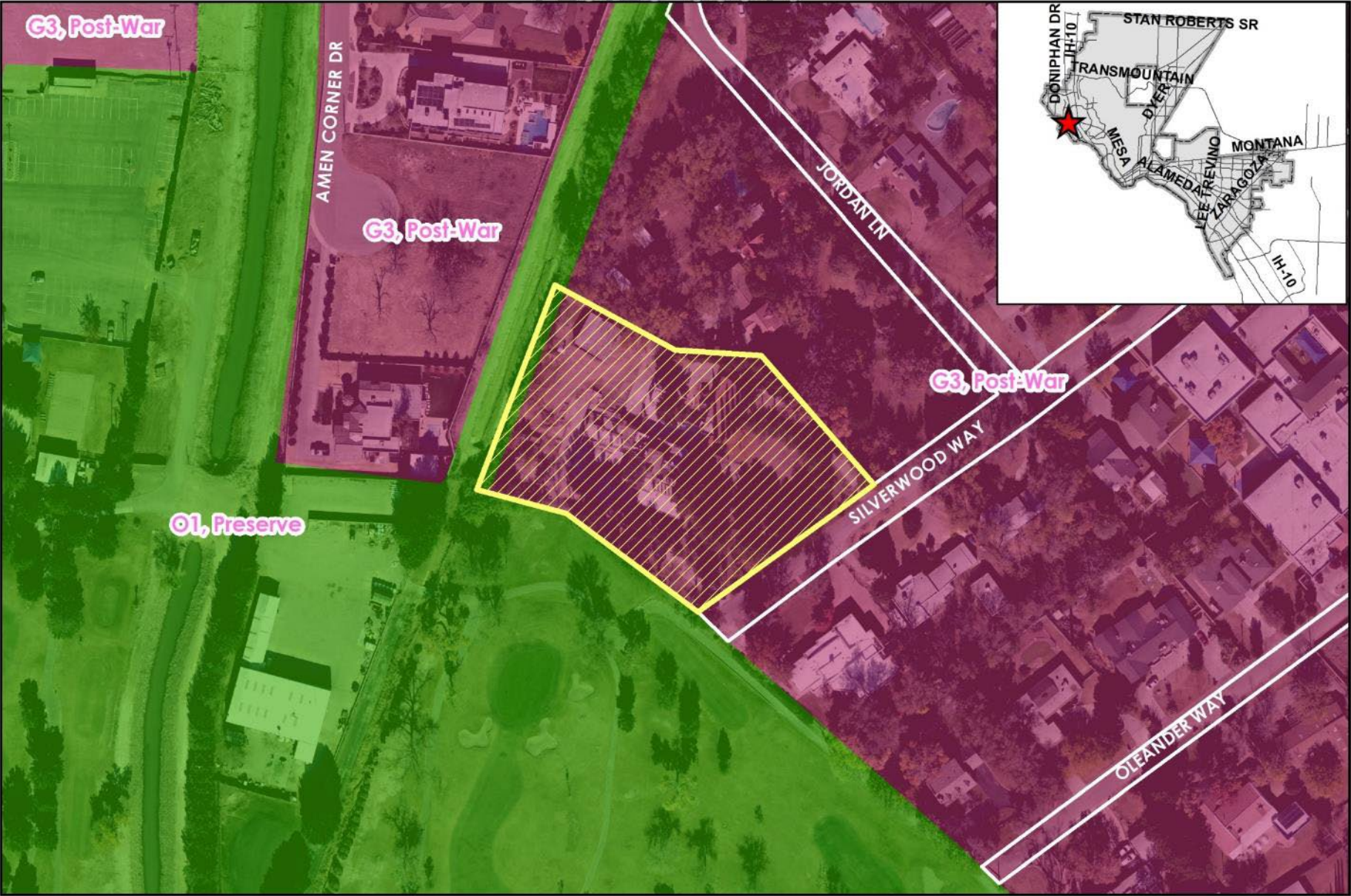
Existing Zoning

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 Subject Property



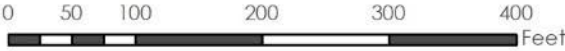


Future
Land
Use

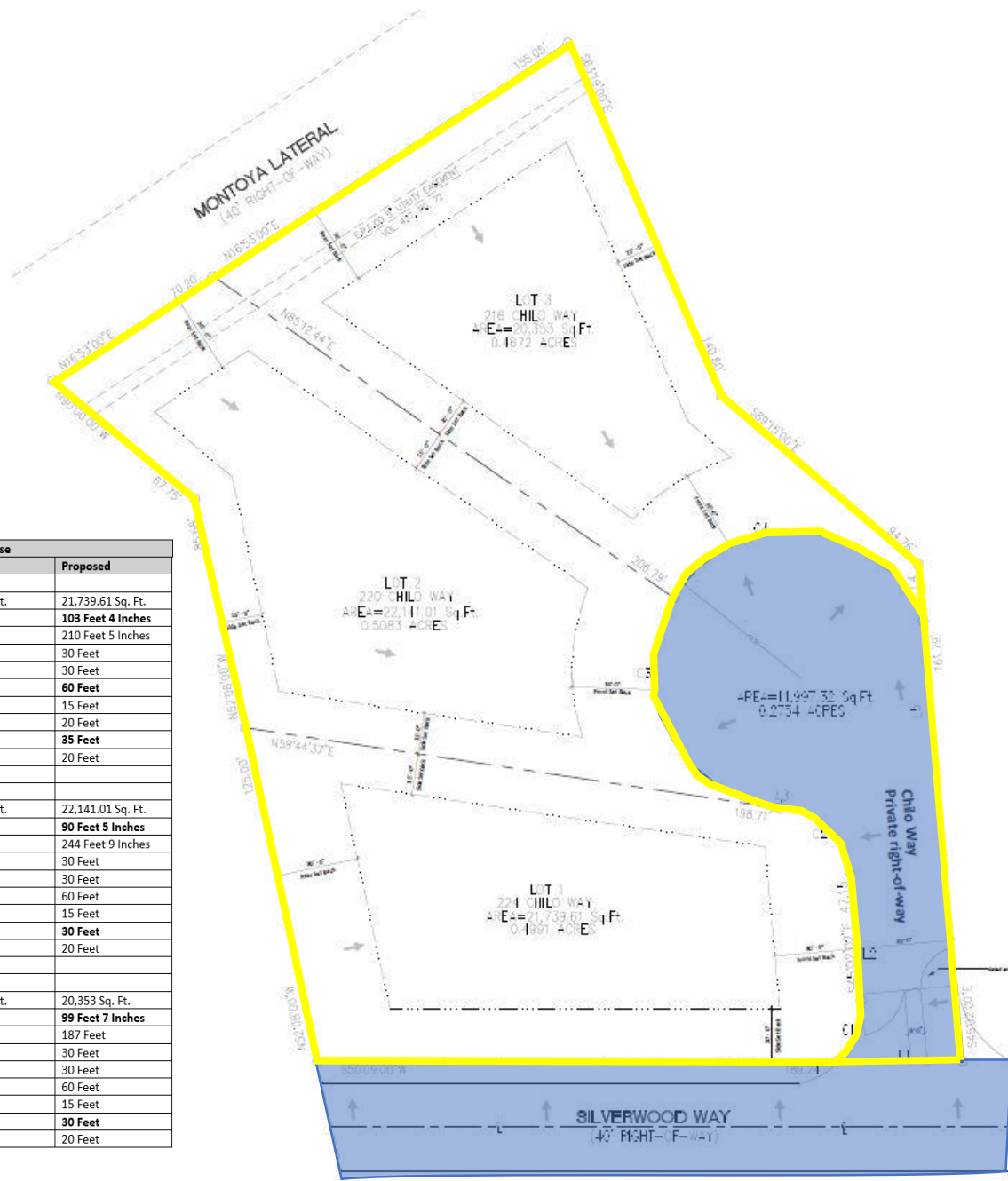
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Subject Property



R-1 (District) Zone District - Use		
Density/Dimensional Standard	Required	Proposed
LOT 1		
Lot Area (min.)	20,000 Sq. Ft.	21,739.61 Sq. Ft.
Lot Width (average min.)	125 Feet	103 Feet 4 Inches
Lot Depth (min.)	150 Feet	210 Feet 5 Inches
Front Yard Setback (min.)	30 Feet	30 Feet
Rear Yard Setback (min.)	30 Feet	30 Feet
Cumulative Front & Rear Yard Setback (min.)	100 Feet	60 Feet
Side Yard Setback (min.)	15 Feet	15 Feet
Side Street Yard Setback (min.)	20 Feet	20 Feet
Cumulative Side Yard Setback (min.)	40 Feet	35 Feet
Height (max.)	35 Feet	20 Feet
LOT 2		
Lot Area (min.)	20,000 Sq. Ft.	22,141.01 Sq. Ft.
Lot Width (average min.)	125 Feet	90 Feet 5 Inches
Lot Depth (min.)	150 Feet	244 Feet 9 Inches
Front Yard Setback (min.)	30 Feet	30 Feet
Rear Yard Setback (min.)	30 Feet	30 Feet
Cumulative Front & Rear Yard Setback (min.)	100 Feet	60 Feet
Side Yard Setback (min.)	15 Feet	15 Feet
Cumulative Side Yard Setback (min.)	40 Feet	30 Feet
Height (max.)	35 Feet	20 Feet
LOT 3		
Lot Area (min.)	20,000 Sq. Ft.	20,353 Sq. Ft.
Lot Width (average min.)	125 Feet	99 Feet 7 Inches
Lot Depth (min.)	150 Feet	187 Feet
Front Yard Setback (min.)	30 Feet	30 Feet
Rear Yard Setback (min.)	30 Feet	30 Feet
Cumulative Front & Rear Yard Setback (min.)	100 Feet	60 Feet
Side Yard Setback (min.)	15 Feet	15 Feet
Cumulative Side Yard Setback (min.)	40 Feet	30 Feet
Height (max.)	35 Feet	20 Feet



1. No existing sitewalls and no proposed new sitewalls.
2. Existing is a private citizen.
3. Sitewall entrance.

Legend: Line Plan

————— Property Line

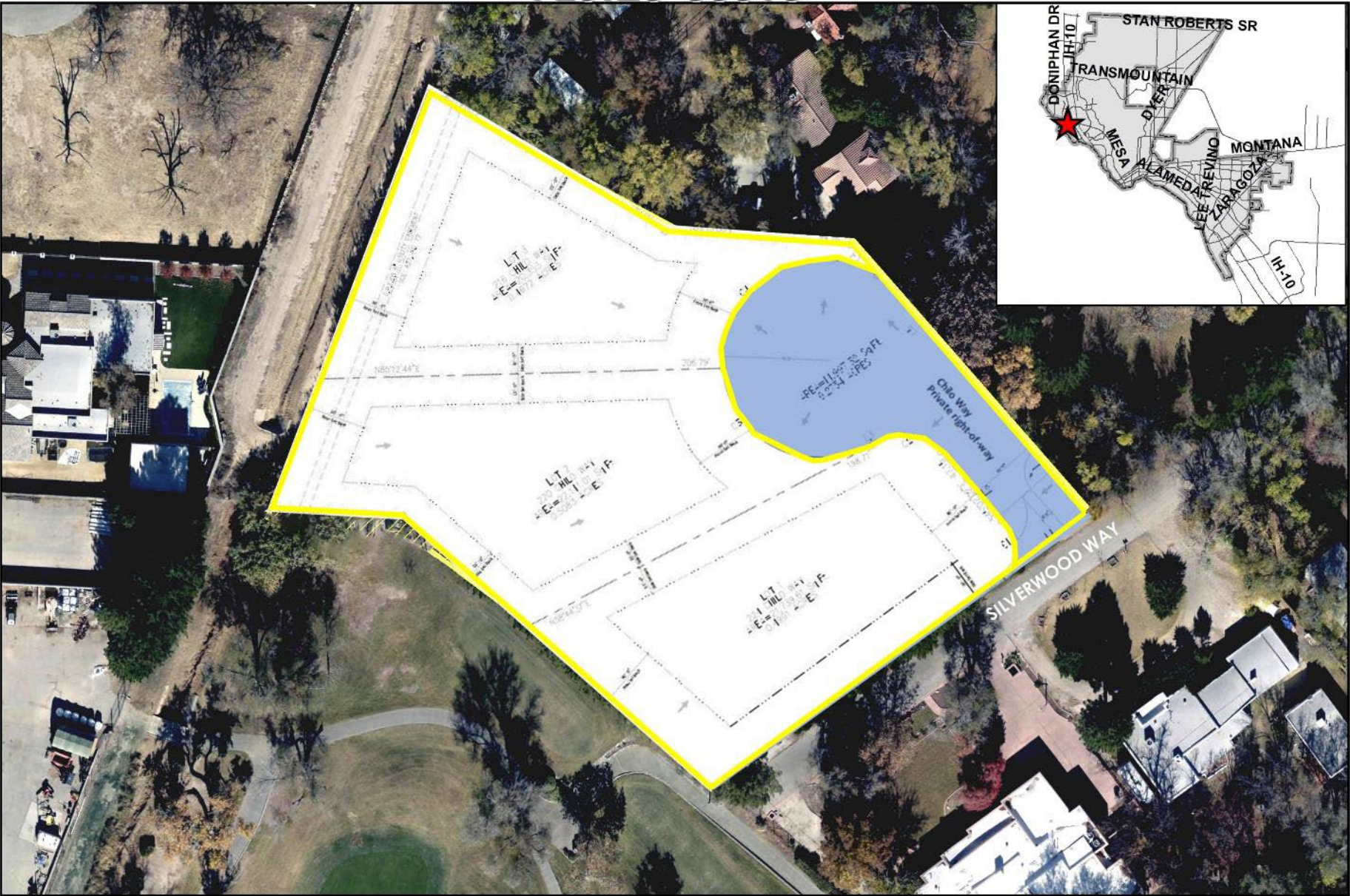
..... Utility Easement

Overall Site Plan



3/28/2017 • 1:40 PM

Detailed Site Development Plan

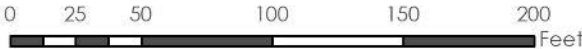


Aerial with Site Plan

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 Subject Property



Subject Property



Surrounding Development



N



W

S

E



Public Input

- Notices were mailed to property owners within 300 feet on July 12, 2023.
- The Planning Division has received 2 in person comments and 1 email in support in support of the special permit request, and 2 emails in opposition to the special permit request.





Recommendation

- Staff and CPC (7-0) recommend **approval** of the special permit and detailed site development plan requests



Mission

Deliver exceptional services to support a high quality of life and place for our community



Vision

Develop a vibrant regional economy, safe and beautiful neighborhoods and exceptional recreational, cultural and educational opportunities powered by a high performing government



Values

Integrity, Respect, Excellence, Accountability, People

