

NEW BUILDING SITE
(115,520 SQ.FT. - 11,378 SQ.FT.) X 0.15 = 15,622 SQ.FT.
TOTAL REQUIRED = 15,622 SQ.FT.
TOTAL NEW PROVIDED = 17,468 SQ.FT.
TOTAL FRONTAGE = 597 LN. FT.
USABLE FRONTAGE = 539 LN. FT.

NOTES CORRESPONDING TO ZONING

PROPERTY IS CURRENTLY ZONED IN DISTRICT C-4c

MINIMUM BUILDING SET BACKS REQUIRED FOR:

FRONT YARD.....	<u>0'</u>
REAR YARD.....	<u>10'</u>
CUMULATIVE FRONT & REAR YARD.....	<u>N/A</u>
SIDE YARD	<u>10' when</u>
<u>abutting a residential or apartment district.</u>	
SIDE STREET	<u>10'</u>
MAXIMUM HEIGHT	<u>60'</u>

60', MAY EXCEED 35 FEET WHEN ADDITIONAL SETBACK OF ONE FOOT IS PROVIDED FROM ALL ADJACENT YARD LINES FOR EACH FOOT OF HEIGHT IN EXCESS OF 60'.

	TREE
	5 GALLON SHRUB
	STORM WATER FLOW
	LIGHT POLE, 25 ft High
	ELECTRIC TRANSFORMER
	SIDEWALK
	BIKE RACK

ANTICIPATED USE OF BUILDINGS:
SHOPPING CENTER AND DINING



SHOPPING CENTER: 5,378 SQ.FT.
RESTAURANTS: 6,000 SQ.FT.

SHOPPING CENTER PARKING CALCULATIONS:
MINIMUM PARKING REQUIRED = $5,370 / 288 = 19$ SPACES.
MAXIMUM PARKING REQUIRED = $5,370 / 200 = 27$ SPACES.

RESTAURANT PARKING CALCULATIONS
MINIMUM PARKING REQUIRED = $6000 / 144 = 42$ SPACES.
MAXIMUM PARKING REQUIRED = $6000 / 100 = 60$ SPACES.

TOTAL REQUIRED:
MINIMUM = 61 SPACES
MAXIMUM = 87 SPACES
BICYCLE SPACES= 3 SPACES

TOTAL PROVIDED:
130 REGULAR AND 8 ADA SPACES.
BIKE SPACES = 6

3154 NORTH ZARAGOZA ROAD	EL PASO, TEXAS 79938
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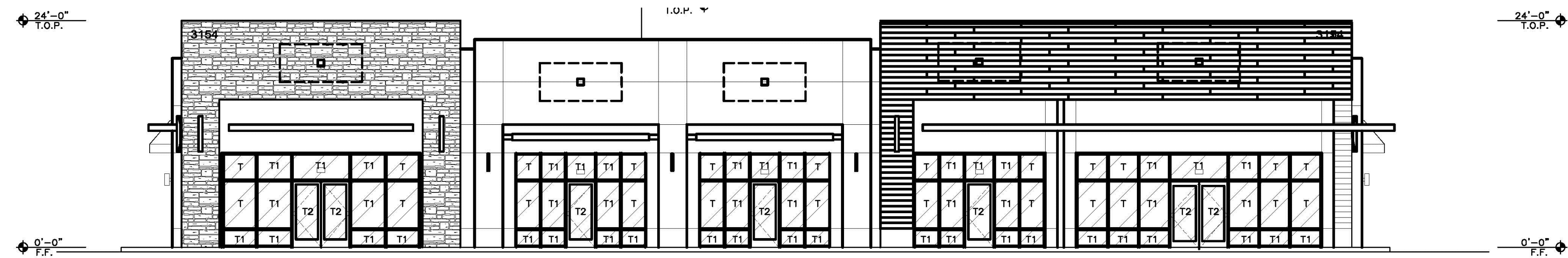


01/28/23

SHEET TITLE

DETAILED SITE PLAN REVIEW

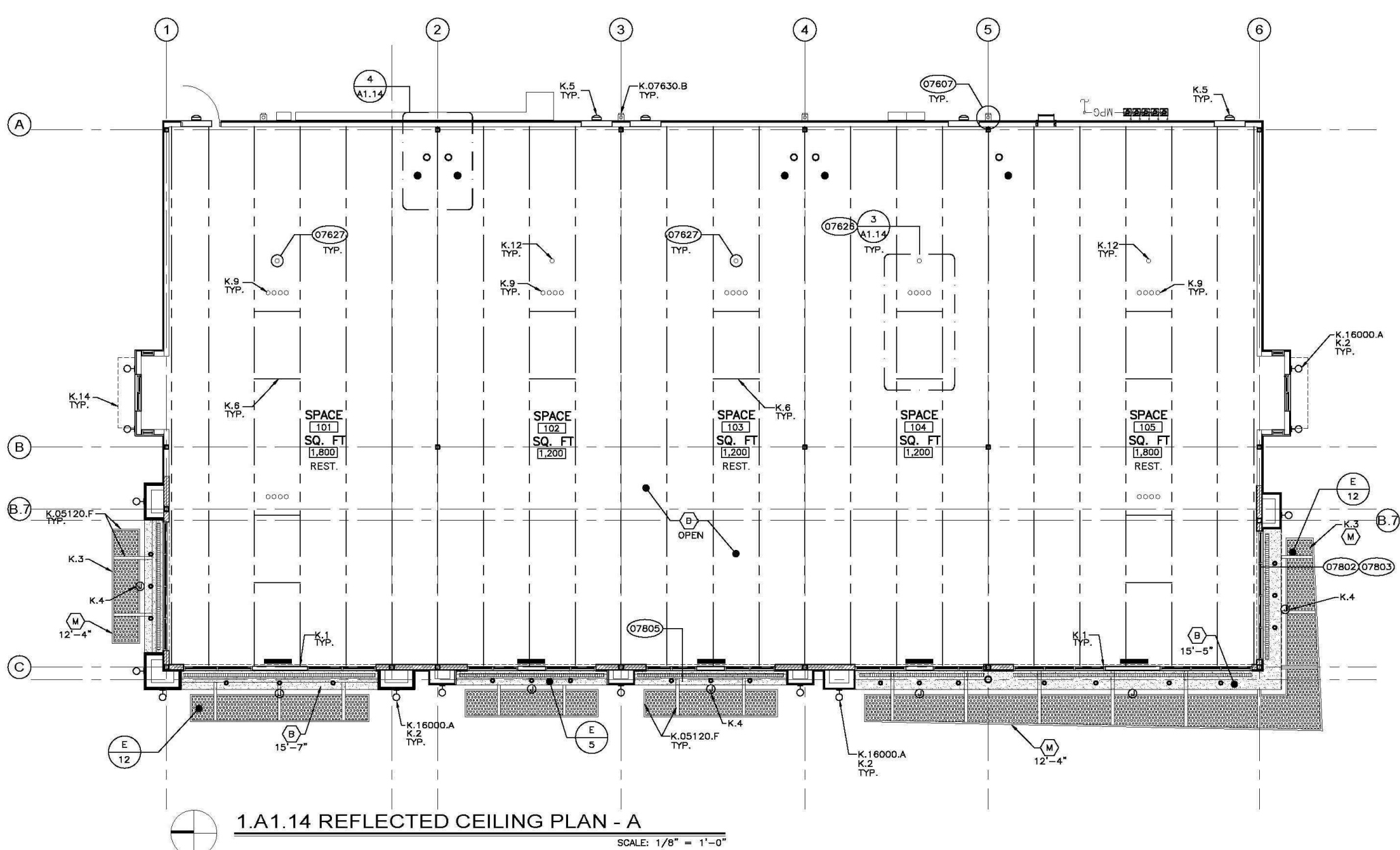
DSP-1.0 of 2



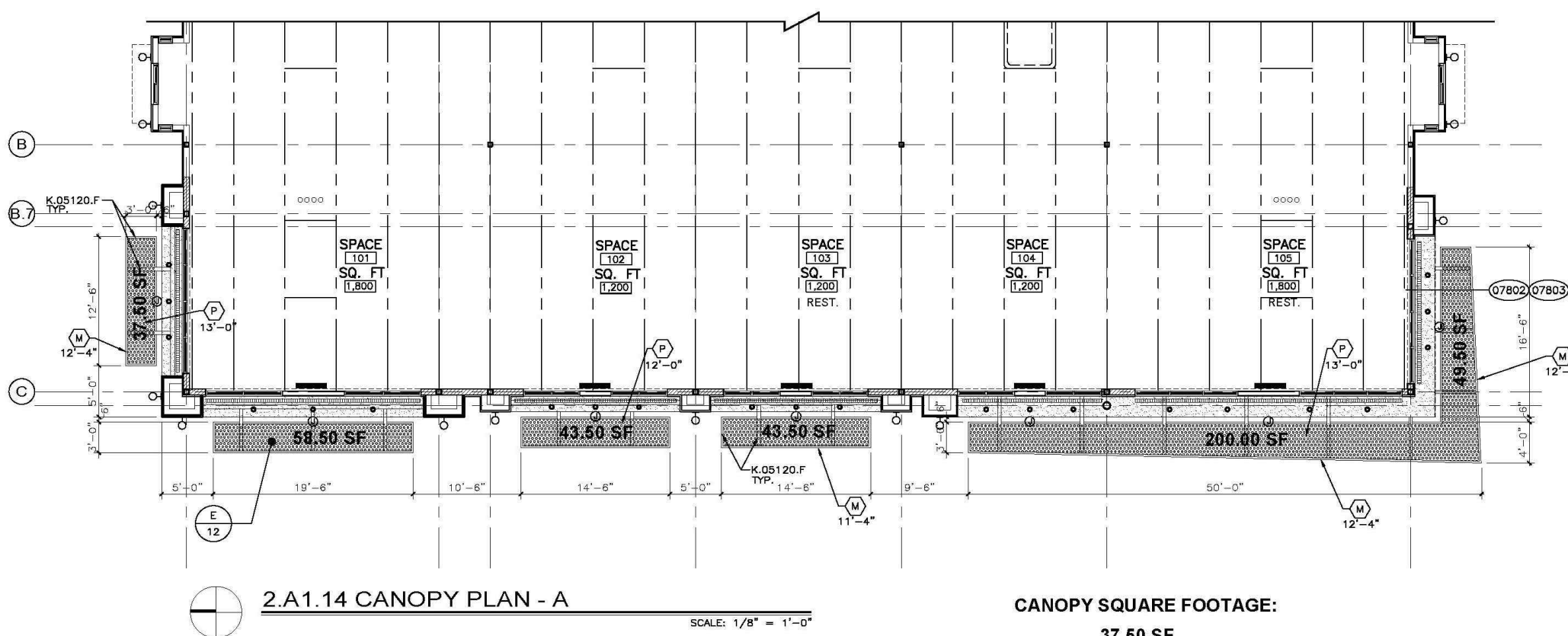
1.A1.2 WEST ELEVATION A
SCALE: 1/8" = 1'-0"



2.A1.2 NORTH ELEVATION A
SCALE: 1/8" = 1'-0"



1.A1.14 REFLECTED CEILING PLAN - A
SCALE: 1/8" = 1'-0"



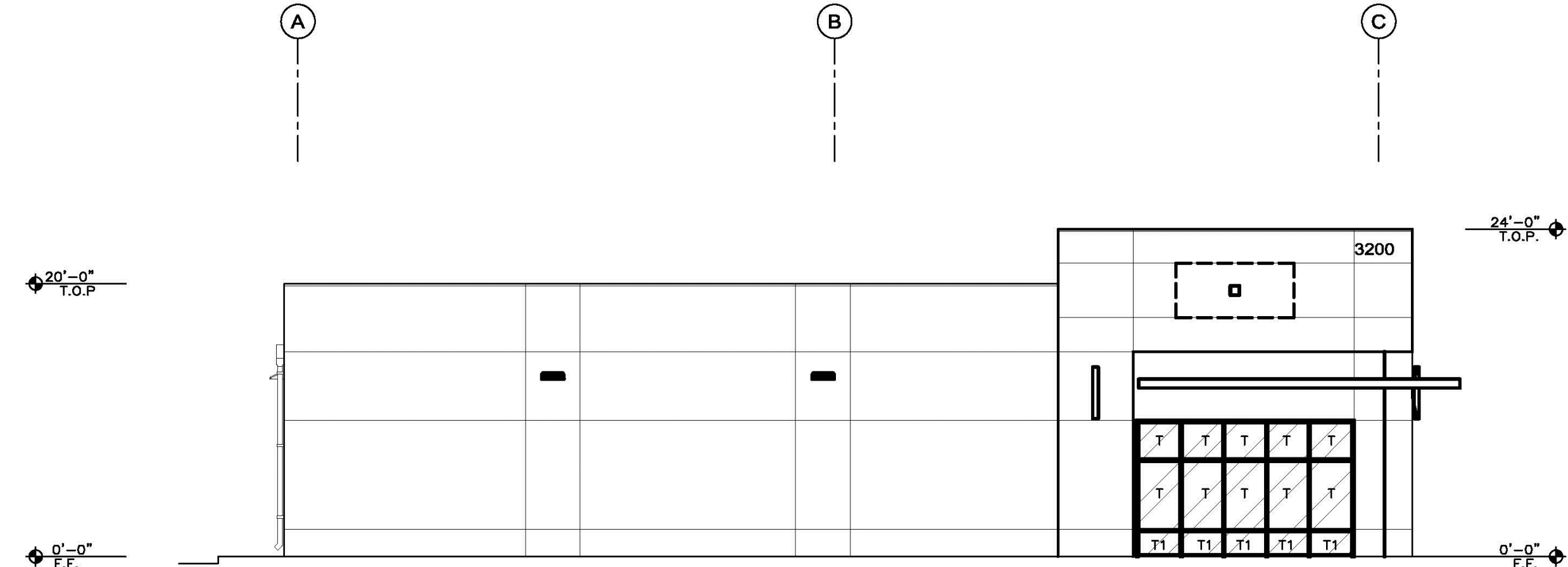
2.A1.14 CANOPY PLAN - A
SCALE: 1/8" = 1'-0"

CANOPY SQUARE FOOTAGE:
37.50 SF
55.50 SF
43.50 SF
43.50 SF
200.00 SF
49.50 SF
432.50 SF

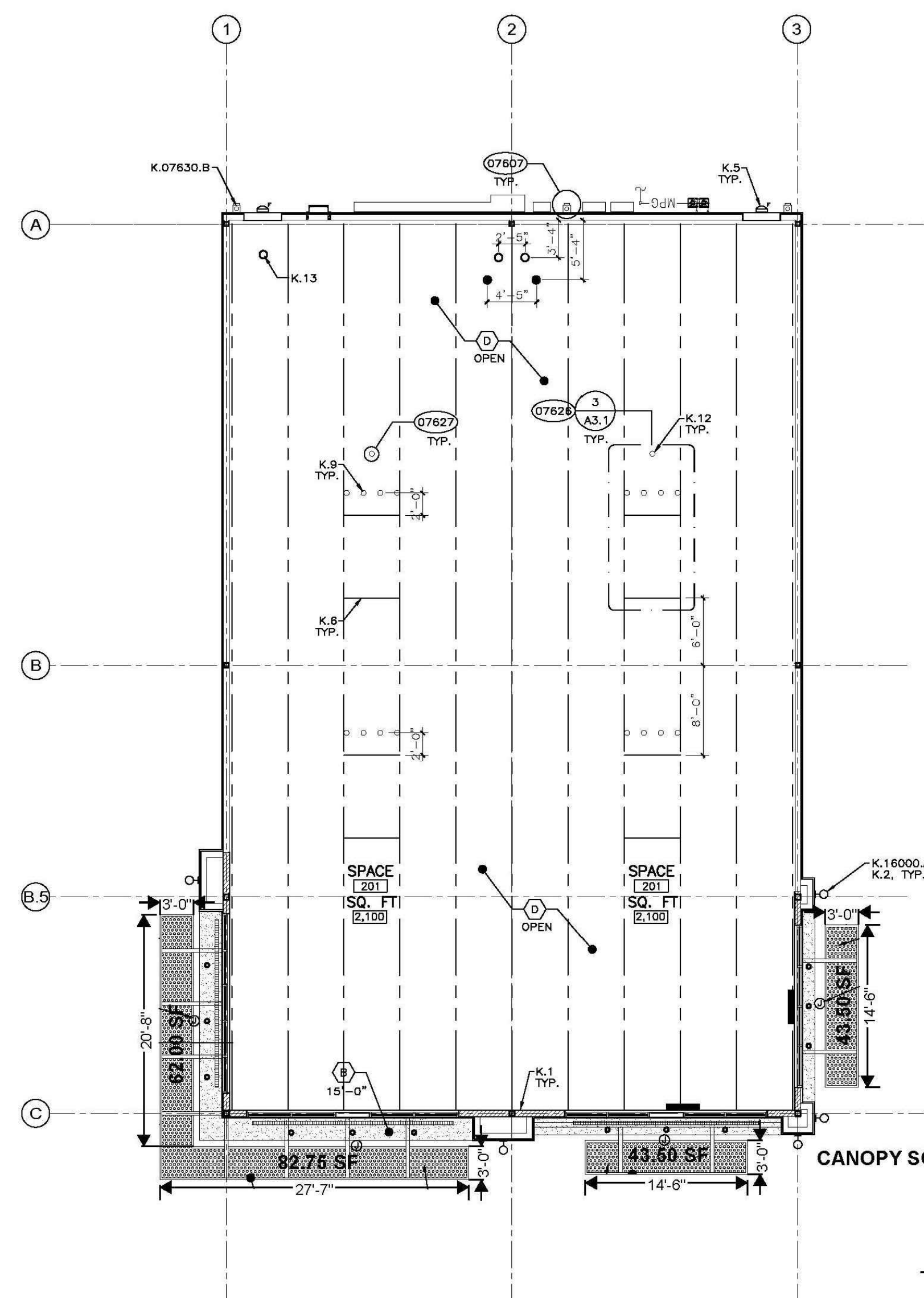
BUILDING A



1.A2.2 WEST ELEVATION - B
SCALE: 1/8" = 1'-0"



2.A2.2 NORTH ELEVATION - B
SCALE: 1/8" = 1'-0"



2.A2.1 REFLECTED CEILING PLAN - BUILDING B
SCALE: 1/8" = 1'-0"

CANOPY SQUARE FOOTAGE:
62.00 SF
82.75 SF
43.50 SF
43.50 SF
231.75 SF

BUILDING B

REVISIONS		DATE		BY	
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

PROJECT NAME		PEBBLE HILLS SQUARE SHOPPING CENTER	
CIVIL ENGINEERS	LAND SURVEYORS		
LAND PLANNERS			
6600 WESTWIND DRIVE EL PASO, TEXAS (915) 584-4457		A. 13748 acres, more or less, out of Lot 1, Block 5, TIERRA COMERCIAL UNIT FIVE, an addition to the City of El Paso, El Paso County, Texas, according to the Plat thereof on file under Clerk's File No. 2009004345, filed January 29, 2009, Real Property Records in El Paso County, Texas.	
SLI ENGINEERING, INC.		3154 NORTH ZARAGOZA ROAD EL PASO, TEXAS 79935	
SLI LICENSE NO. F-1902			
SHEET TITLE		DETAILED SITE PLAN REVIEW	
DSP-2.0 of 2			