

916 S. Ochoa

Zoning Board of Adjustment — August 10, 2026



CASE NUMBER: PZBA25-00031
CASE MANAGER: Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov
PROPERTY OWNER: Jose Salcido
REPRESENTATIVE: Jose Salcido
LOCATION: 918 S. Ochoa St. (District 8)
ZONING: A-3 (Apartment)
REQUEST: Special Exception B (Two or More Nonconforming Lots)
PUBLIC INPUT: None received as of August 4, 2026

SUMMARY OF REQUEST: Applicant requests a Special Exception under Section 2.16.050 B (Two or More Nonconforming Lots) and Section 2.16.050 K (In Existence Fifteen Years or More) to allow to legalize an existing single-family dwelling encroaching into the front, rear and side setbacks in an A-3 (Apartment) zone district.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the special exception requests as the requested encroachments are less than the encroachments into the setbacks already present on at least two other neighboring properties and have existed for at least fifteen (15) years or more.

PZBA25-00031



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargement of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.



Subject Property

0 25 50 100 150 200 Feet



Figure A. Aerial of Subject Property & Immediate Surroundings

DESCRIPTION OF REQUEST: The applicant is requesting a special exception to allow to legalize the construction of an existing single-family home, which extends 10 feet into the required front yard setback for 162.5 square feet of total encroachment, 4 feet into the left side setback for 193.75 square feet of encroachment, 4 feet into the right-side setback for 62 square feet of total encroachment, and 29 feet 4 inches into the rear yard setback for 760 square feet of total encroachment. Of these 760 square feet, 325 square feet were pre-existing and not built by the current owner and 435 square feet were built by the current owner.

BACKGROUND: The minimum front setback is 10 feet in the A-3 (Apartment) zone district and the required rear setback for the subject property is 30 feet to meet the cumulative front and rear setback of 40 feet in the A-3 (Apartment) zone district. The required side setbacks are 4 feet in the A-3 (Apartment) zone district.

Through site visits and aerial imagery, it was determined that there are two (2) properties on the same block that encroach into their rear setbacks, with encroachments equal to or larger than those on the subject property (435 square feet encroachment). These properties are located on 907 Virginia Street (965 square feet encroachment) and 917 Virginia Street (480 square feet encroachment).

According to El Paso Central Appraisal District records, the existing single-family dwelling was built in 1949. The existing property owner was not responsible for the encroachments into the front, side, and rear setbacks, but is responsible for the partial encroachment of an addition into the rear yard setback that was built in 2021. The subject property is currently registered as Legal Non-Conforming for the lack of sufficient lot width required in the A-3 (Apartment) zone district for the use of a single-family dwelling.

SETBACKS	REQUIRED SETBACK	REQUESTED SETBACK
Front	10 Feet	0 Feet
Rear	30 Feet	8 Inches
Cumulative Front & Rear	40 Feet	8 Inches
Side (Left)	4 Feet	0 Feet
Side (Right)	4 Feet	0 Feet
Cumulative Side	N/A	N/A

COMPLIANCE WITH SPECIAL EXCEPTION 2.16.050.B CRITERIA

The Zoning Board of Adjustment is empowered under Section 2.16.050.B to:

Permit the modification of setback requirements as the board deems necessary to secure an appropriate development of a lot, provided the following criteria is met:

Criteria	Does the Request Comply?
1. The lot is in a legally recorded and developed subdivision of at least ten years;	Yes. The lot is within a legally recorded subdivision of at least ten years.
2. There are two or more lots that do not conform to Title 20 located within the same block on the same side of the street or within the block directly across and abutting the street;	Yes. Through aerial photos and site visits, it was established that two (2) properties on the same block or abutting street contain structures located in the rear yard setback larger than those on the subject property and with 0 feet rear yard setbacks.
3. The modifications are in the same nature as the existing nonconforming lots and do not permit construction less conforming than the least conforming of the nonconforming lots;	Yes. 907 Virginia Street and 917 Virginia Street have structures that extend into their respective rear yard setbacks and are in the same nature as the subject property.
4. If the subject lot is located at the intersection of two streets (a corner lot), then nonconforming lots within the same block on the same side of either intersecting street or directly across and abutting either intersecting street, but not lots located diagonally from the subject lot, may be	Yes. Only applicable lots are being considered.

used in determining the nonconforming lot restrictions of this special exception.	
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PUBLIC COMMENT: Public notice was sent on July 30, 2026 to all property owners within 300 feet of subject property. The Planning Division has not received any communications in support or opposition to the special exception request.

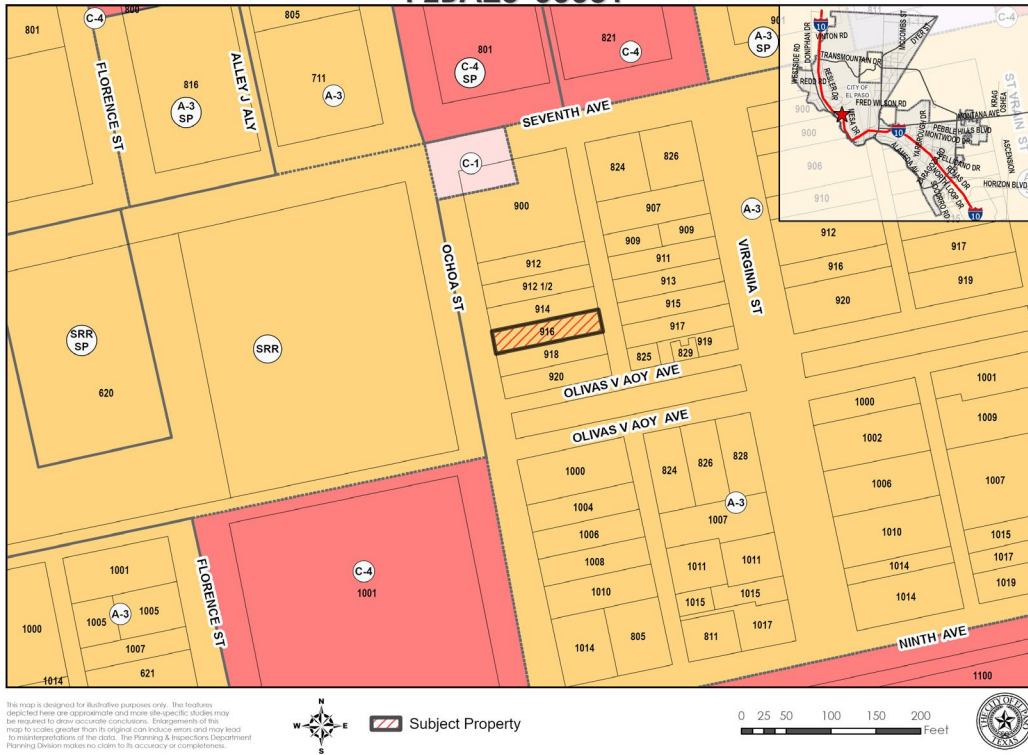
ZONING BOARD OF ADJUSTMENT OPTIONS:

The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The Zoning Board of Adjustment (ZBA) has the authority to grant a special exception to the zoning code only as provided in El Paso City Code Titles 2 and 20. In evaluating the request, the ZBA may take any of the following actions:

1. **Approval** of the special exception request, finding that the request is in in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which the property is located, that the public convenience and welfare will be substantially served, and that the use of neighboring property will not be substantially injured. (Staff Recommendation)
2. **Approval with Modifications** of the special exception request to bring the request into conformance as provided in El Paso City Code Titles 2 and 20 as the board deems appropriate.
3. **Denial** of the special exception request, finding that the request does not conform to the review criteria as provided in El Paso City Code Titles 2 and 20.

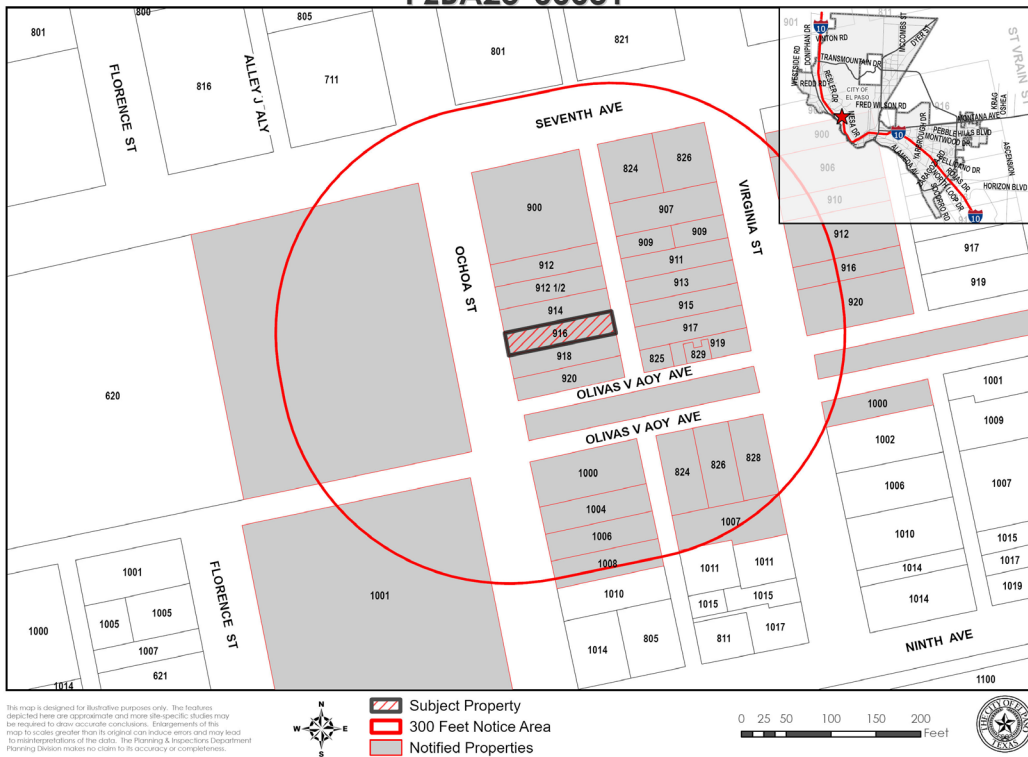
ZONING MAP

PZBA25-00031

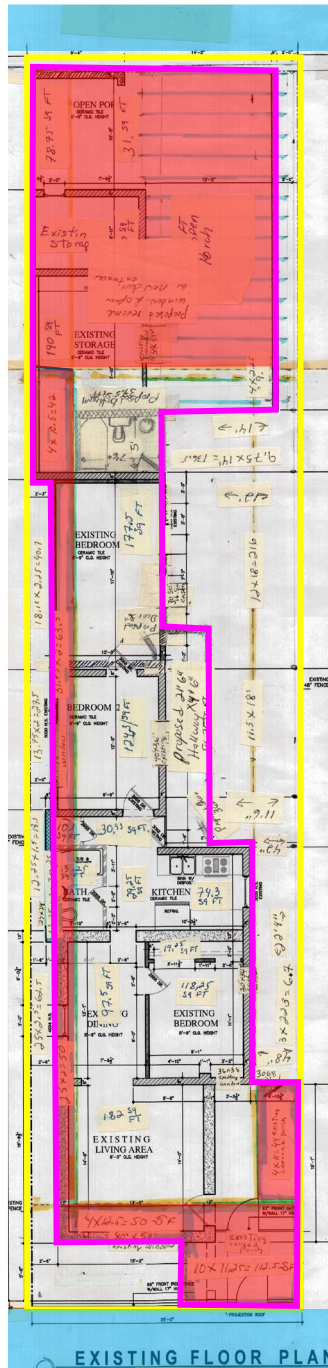


NEIGHBORHOOD NOTIFICATION MAP

PZBA25-00031



SITE PLAN



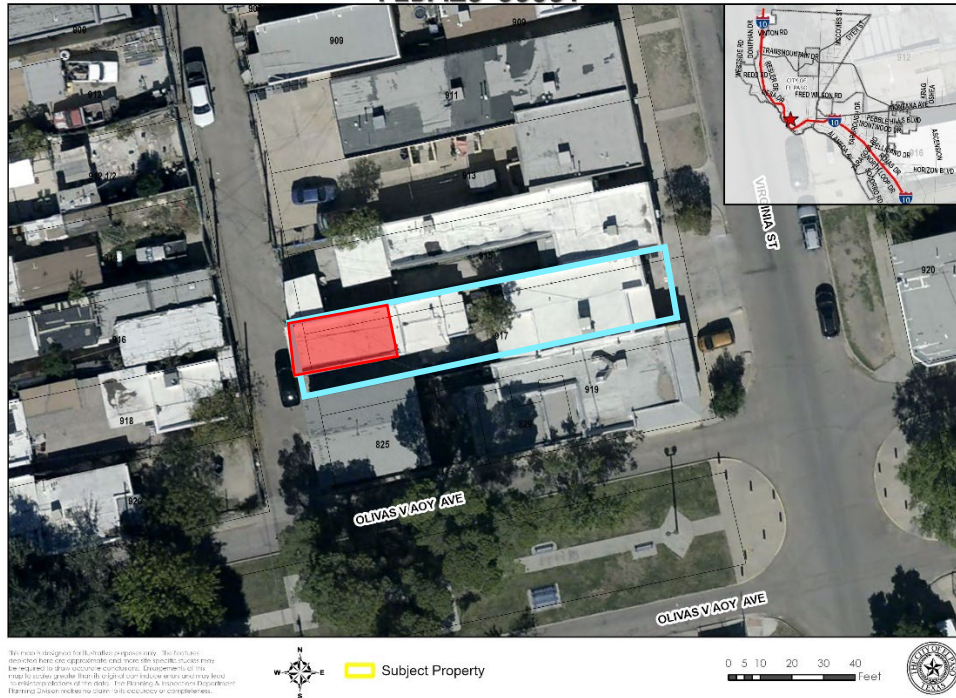
NONCONFORMING LOTS

PZBA25-00031



NONCONFORMING LOT 1

PZBA25-00031



NONCONFORMING LOT 2

PZBA25-00031



PZBA25-00031

