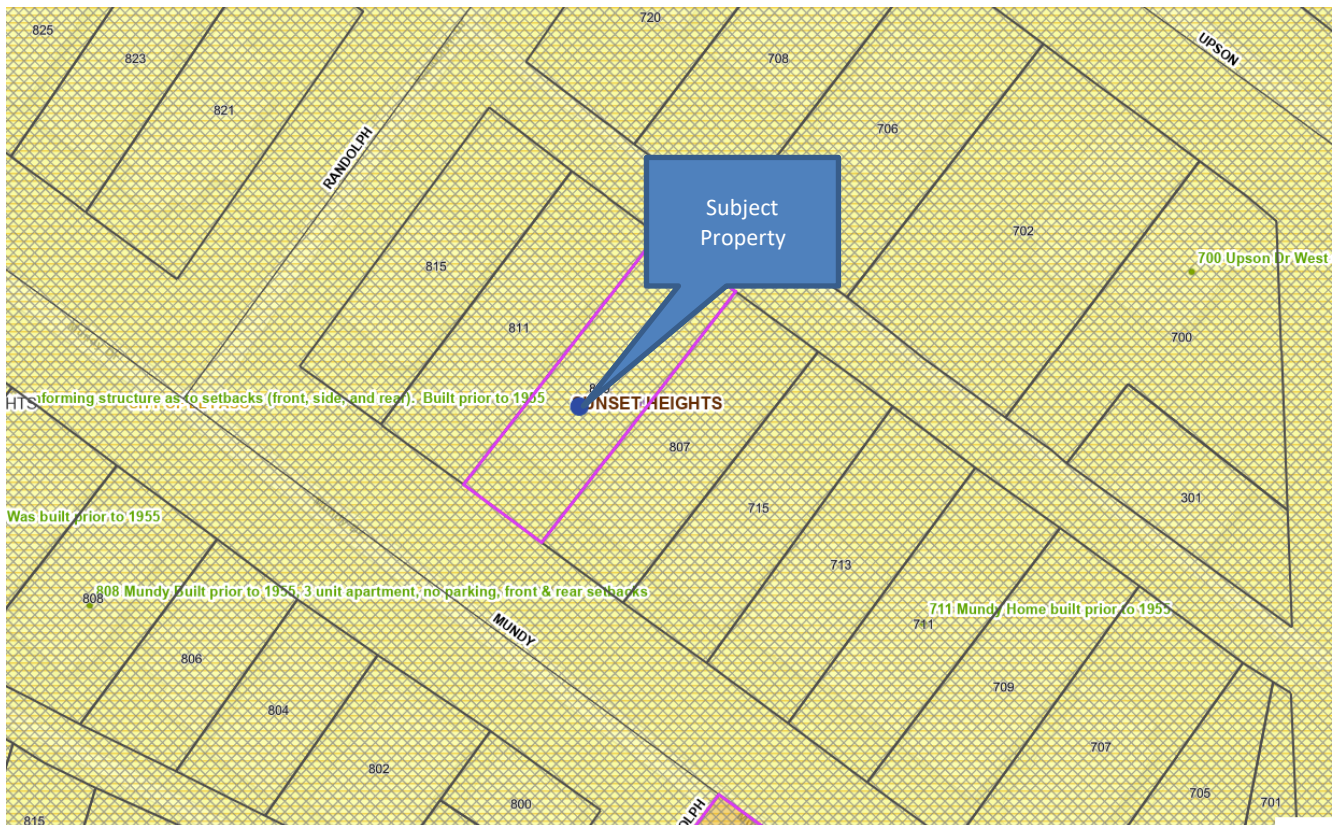




PHAP26-00024

Date: May 28, 2026
Application Type: Certificate of Appropriateness
Property Owner: Robbie and Jennifer Rosales
Representative: Robbie and Jennifer Rosales
Legal Description: 29 Sunset Heights 13 & W 1/2 Of 12, City of El Paso, El Paso County, Texas
Historic District: Sunset Heights
Location: 809 Mundy Drive
Representative District: #8
Existing Zoning: R-5/H (Residential/Historic)
Year Built: 1925
Historic Status: Contributing
Request: Certificate of Appropriateness for construction of a dormer after-the-fact
Application Filed: 5/7/2026
45 Day Expiration: 6/21/2026

ITEM #4



GENERAL INFORMATION:

The applicant seeks approval for:

Certificate of Appropriateness for construction of a dormer after-the-fact

STAFF RECOMMENDATION:

The Historic Preservation Office recommends APPROVAL WITH MODIFICATIONS of the proposed scope of work based on the following recommendations:

The Design Guidelines for El Paso's Historic Districts, Sites, and Properties recommend the following:

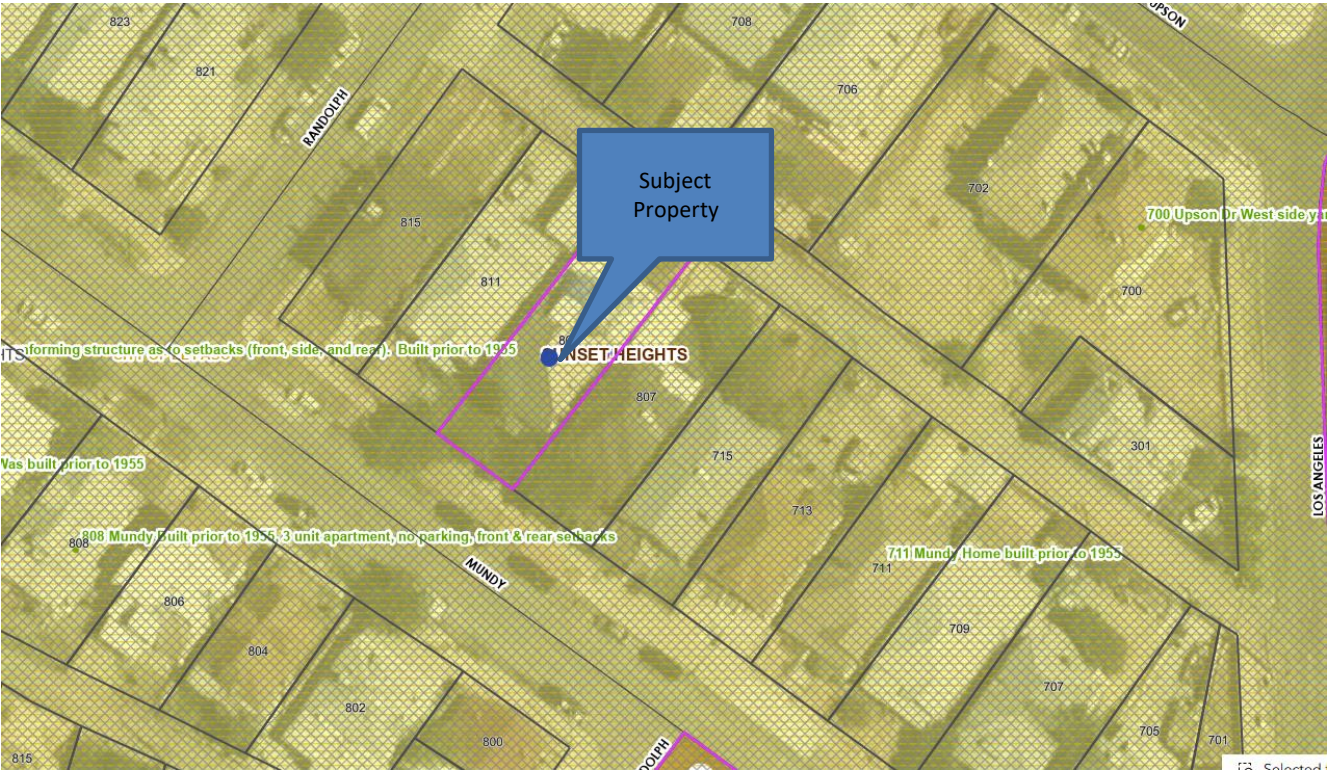
- *Introduce additions in locations that are not visible from the street-generally on rear elevations.*
- *Locate additions carefully so they do not damage or conceal significant building features or details.*
- *It is not appropriate to introduce an addition if it requires the removal of character-defining building features such as patios, mature vegetation or a detached structure.*
- *Design an addition so it is compatible in roof form, proportions, materials and details with the existing structure.*
- *Design new buildings and their features to be compatible in scale, materials, proportions and details with existing historic structures.*
- *Design an addition that is compatible with but, subtly different from existing historic homes in the district.*
- *Design an addition so that if removed in the future, the historic building's form and character defining features are not obscured, damaged, or destroyed.*

The Secretary of the Interior's Standards for Rehabilitation recommend the following:

- *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The modifications are that the dormer be removed and the roof repaired to its original configuration; that the front porch be restored to its original configuration; that the work be completed within three (3) months; and that no new permits are issued until the violations are corrected.

AERIAL MAP



NEW DORMER

