



ITEM 29

1514 Montana Special Permit

PZST25-00003

Strategic Goal 3.

Promote the Visual Image of
El Paso





Aerial

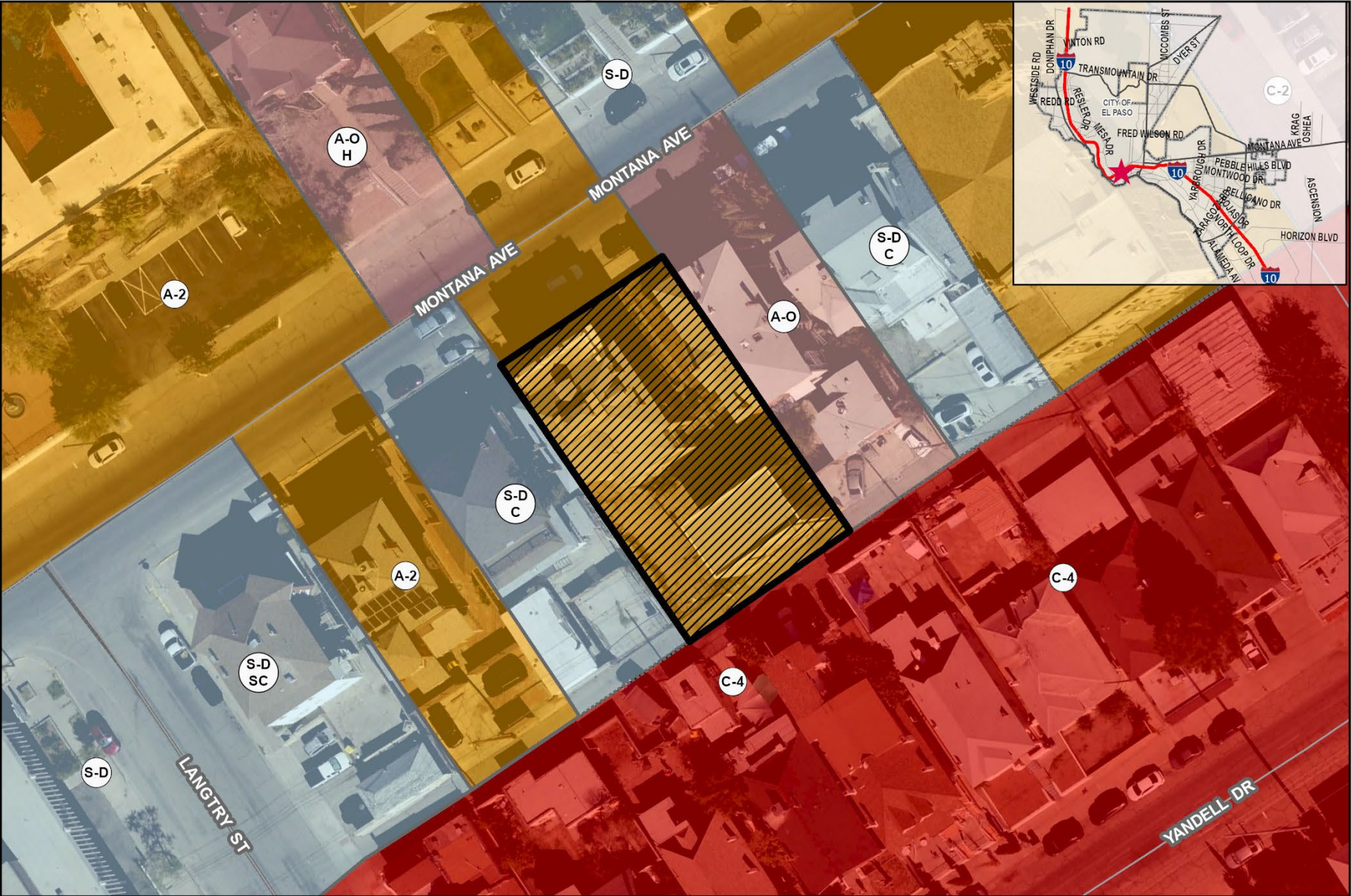
This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.



 Subject Property

0 12.5 25 50 75 100 Feet





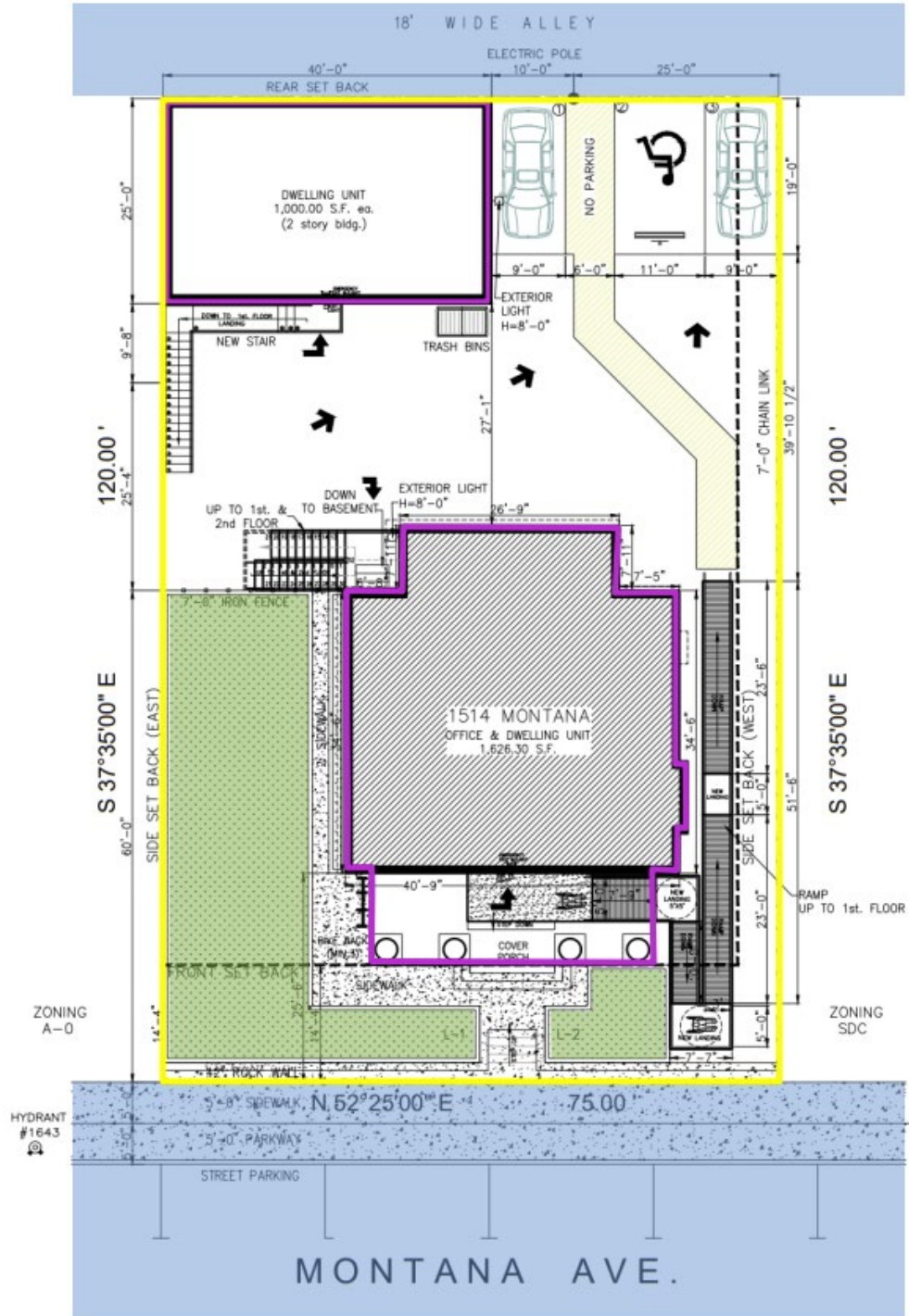
Existing
Zoning

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 Subject Property





Detailed Site Development Plan

	A-2 (Apartment) Zone District		
Density/Dimensional Standard	Required (Office)	Required (Duplex)	Proposed
Front Yard Setback (min.)	20 ft	20 ft	14 ft 4 in
Rear Yard Setback (min.)	15 ft	25 ft	0 ft
Side Yard Setback (East) (min.)	5 ft	5 ft	0 ft
Side Yard Setback (West) (min.)	5 ft	5 ft	No Change



1.1 PROJECT LOCATION Scale: N/A

Scale: N/A

115 TOTAL PARKING SPACES								
DATE	MONTANA AVE.		LANGTRY ST.		YANDELL DR.		LEE ST.	
04/30/25	37 SPACES		17 SPACES		29 SPACES		32 SPACES	
TIME	AVAILABLE	OCCUPIED	AVAILABLE	OCCUPIED	AVAILABLE	OCCUPIED	AVAILABLE	OCCUPIED
7:00 AM	37	0	16	1	19	10	32	0
8:00 AM	34	3	16	1	16	13	30	2
9:00 AM	27	10	14	3	15	14	26	6
10:00 AM	19	18	11	6	17	12	27	5
11:00 AM	18	19	9	8	17	12	27	5
12:00 AM	12	25	7	10	13	16	13	19
1:00 PM	17	20	6	11	12	17	17	15
2:00 PM	15	22	6	11	12	17	16	16
3:00 PM	19	18	7	10	12	17	16	16
4:00 PM	21	16	8	9	12	17	18	14
5:00 PM	25	12	9	8	9	20	19	13
6:00 PM	37	0	17	0	17	12	25	7
7:00 PM	37	0	16	1	13	16	32	0

ON STREET PARKING FACILITIES WITHIN
300 FEET RADIUS FROM 903 PARK ST.
24-DIAGONAL PARKING SPACES ON LEE ST.

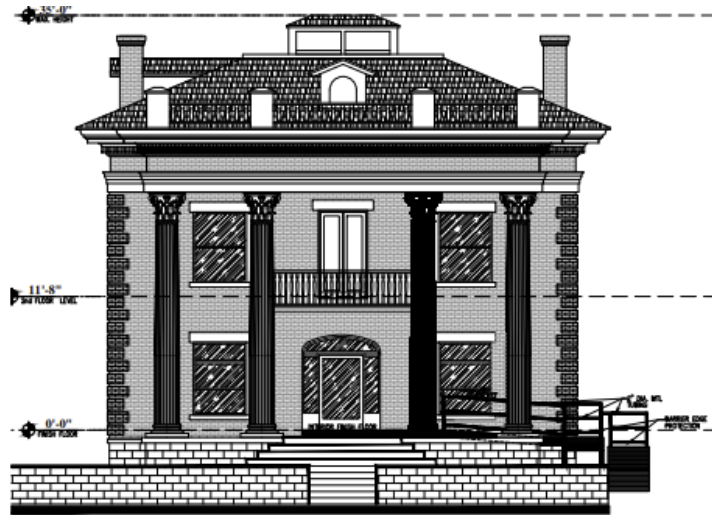
91-PARALLEL PARKING SPACES.

— 3 SUN METRO BUS STOP
WITHIN 300' RADIUS.

WITH ACCESSIBLE ROUTE
SIDEWALKS, THERE ARE ADA CURB
RAMPS AT ALL INTERSECTIONS.

 2 FIRE HYDRANTS WITHIN 300' RADIUS.

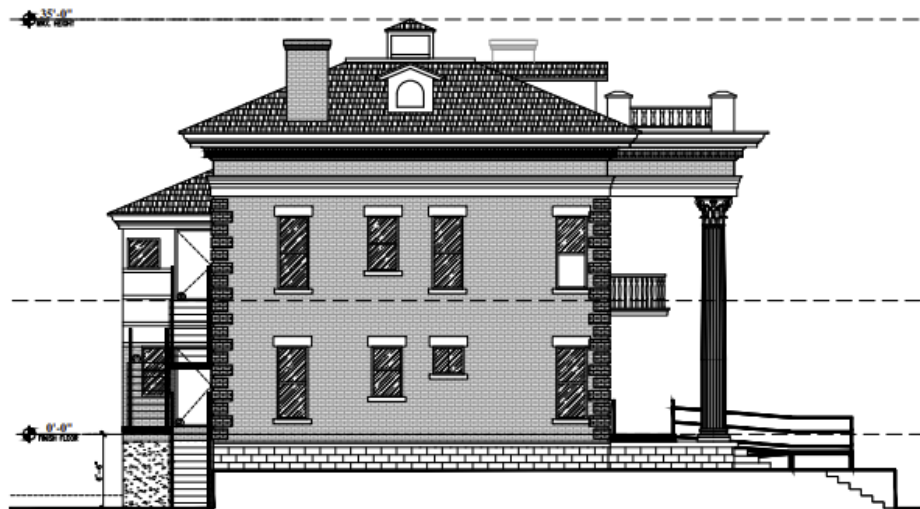
 PARKING SPACES WITHIN 300' RADIUS.



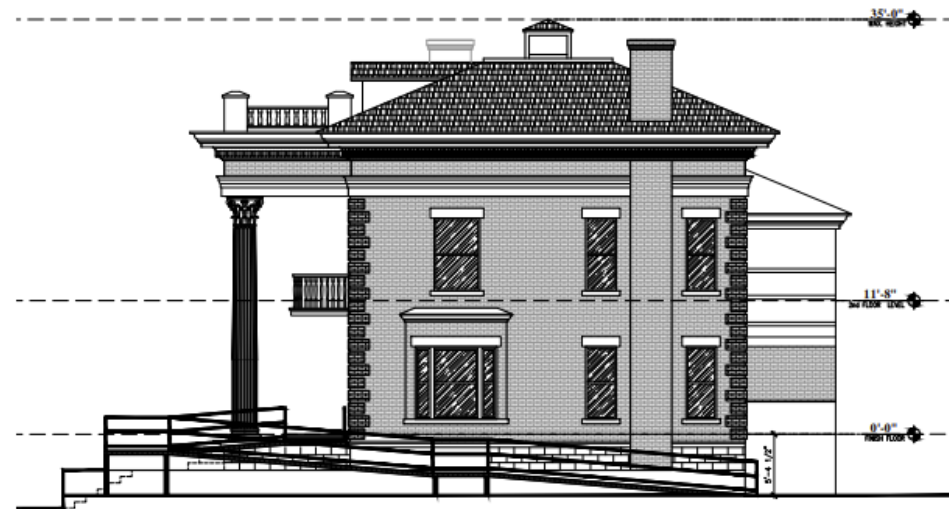
2 FRONT ELEVATION
Scale: 3/16" = 1'-0"



3 REAR ELEVATION
Scale: 3/16" = 1'-0"

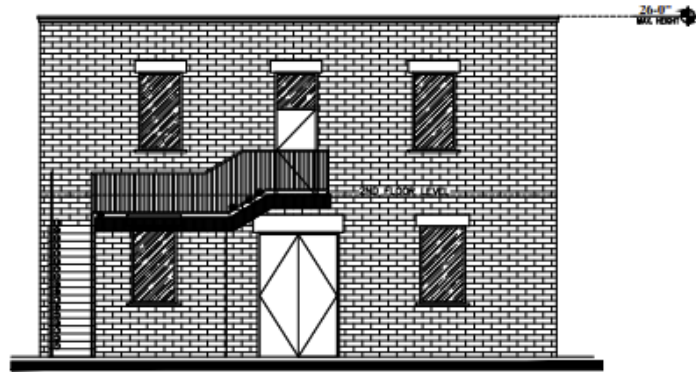


4 LEFT SIDE ELEVATION
Scale: 3/16" = 1'-0"

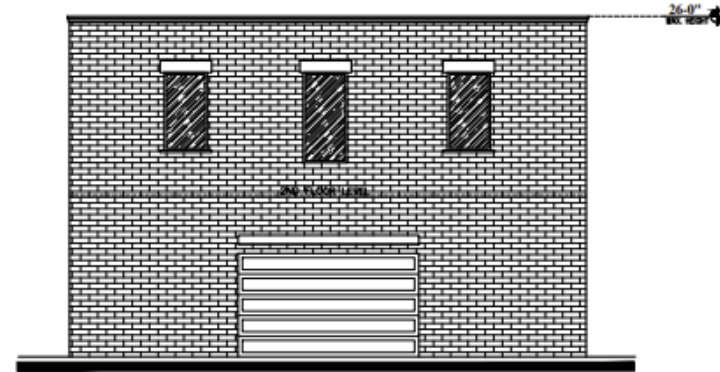


5 RIGHT SIDE ELEVATION
Scale: 3/16" = 1'-0"

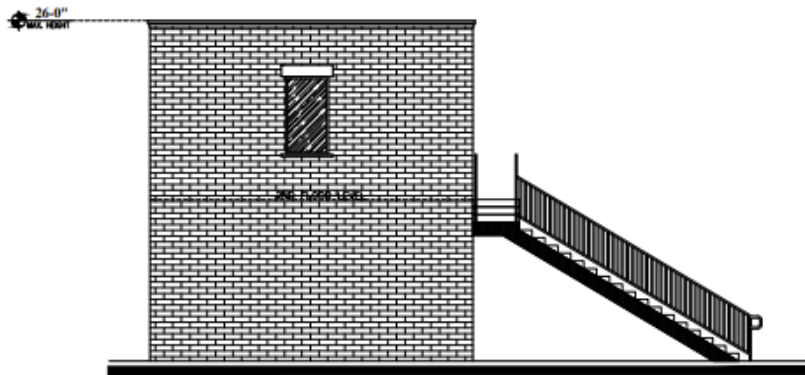
Elevations



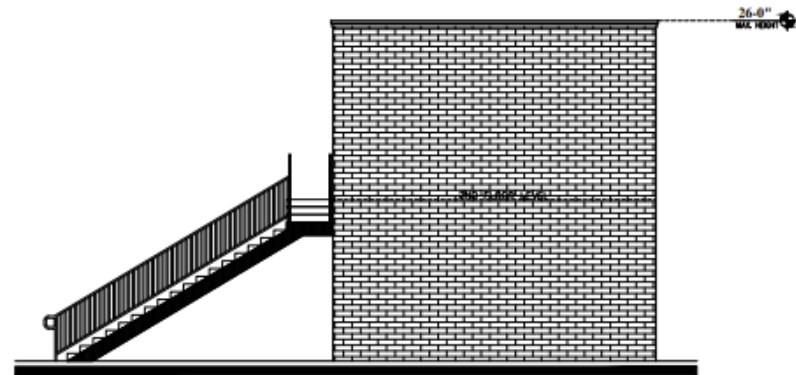
7 DWELLING UNIT - FRONT ELEVATION
Scale: 3/16" = 1'-0"



8 DWELLING UNIT - REAR ELEVATION
Scale: 3/16" = 1'-0"



10 DWELLING UNIT - LEFT SIDE ELEVATION
Scale: 3/16" = 1'-0"



9 DWELLING UNIT - RIGHT SIDE ELEVATION
Scale: 3/16" = 1'-0"

Elevations



Aerial with Site Plan

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 Subject Property

0 12.5 25 50 75 100 Feet





Subject Property

Surrounding Development



N



W

S

E
10

Public Input

- Applicant notified nearby neighborhood associations of the special permit request.
- Notices were mailed to property owners within 300 feet on July 18, 2025.
- The Planning Division has not received any communication in support or opposition to the request from the public.





Recommendation

- Staff and CPC recommended **approval** of the special permit request and detailed site development plan.



Mission

Deliver exceptional services to support a high quality of life and place for our community



Vision

Develop a vibrant regional economy, safe and beautiful neighborhoods and exceptional recreational, cultural and educational opportunities powered by a high performing government



Values

Integrity, Respect, Excellence, Accountability, People