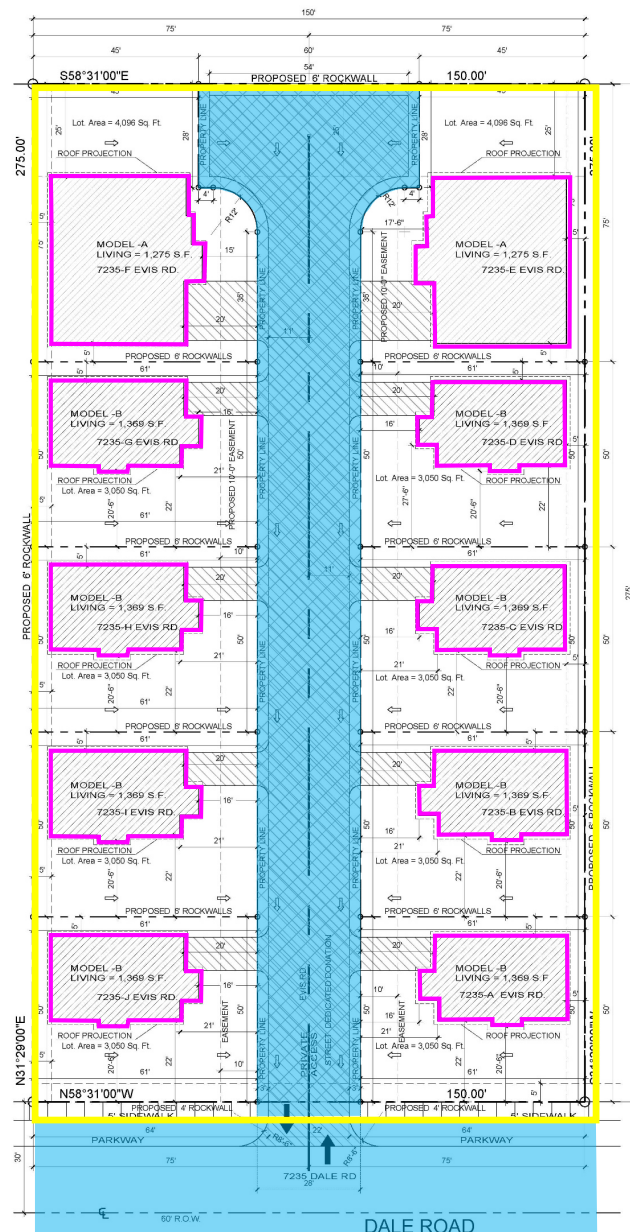




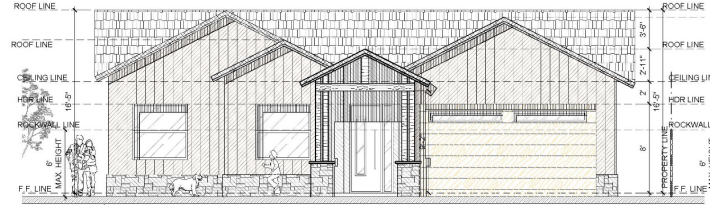
DETAIL SITE DEVELOPMENT PLAN

SCALE: 1/16" = 1'-0"



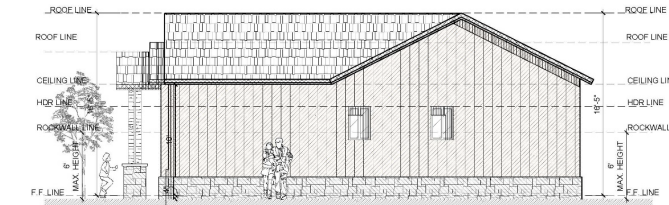
DETAILED SITE DEVELOPMENT PLAN

6 STILES GARDENS 34 & 35 (0.9470 AC) A-2 Zoning - APARTMENTS



FRONT ELEVATION

MODEL "A" SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

MODEL "A" SCALE: 3/16" = 1'-0"



FRONT ELEVATION

MODEL "B" SCALE: 3/16" = 1'-0"

RIGHT ELEVATION

MODEL "B" SCALE: 3/16" = 1'-0"



TYPICAL ROCKWALL

SCALE: NOT TO SCALE

NOTES:

1. STONE FOR ROCKWALL SHALL BE AS NEARLY UNIFORM IN SECTIONS AS IS PRACTICABLE. THE STONE SHALL BE DENSE AND RESISTANT TO AIR AND WATER.
2. MORTAR SHALL BE TYPE "S" 1800 P.S.I. AS PER ASTM C270.
3. MASONRY WALLS OVER SIX (6) FEET IN HEIGHT AND THOSE USED FOR EARTH RETENTION OVER TWO (2) FEET SHALL BE DESIGNED AS STRUCTURAL WALLS.
4. WALLS ADJACENT TO PONDING AREAS OR DRAINAGE DITCHES MAY BE CONSTRUCTED OF BRICK OR CHIMNEY BLOCK AND SHALL NOT BE LESS THAN SIX (6) FEET HIGH.
5. ROCKWALL MORTAR JOINTS SHALL NOT EXCEED TWO (2) INCHES.
6. PROVIDE ONE (1) INCH EXPANSION JOINTS AT EVERY 100 FEET.
7. ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
8. NO RIVER ROCK SHALL BE ALLOWED FOR ROCKWALLS.

SITE DATA SUMMARY TABLE

PROPOSED : SINGLE-FAMILY DWELLINGS / DUPLEX			
6 STILES GARDENS 34 & 35 (0.9470 AC) A-2 Zoning - PID NO. S65899900003600			
ZONING	A-2, APARTMENTS / DUPLEX / SINGLE-FAMILY DWELLINGS	EXISTING SETBACKS	
PROPOSED SETBACKS:		EXISTING SETBACKS	
FRONT YARD = 10 FT		FRONT YARD = 10 FT	
REAR YARD = 5 FEET		REAR YARD = 5 FEET	
SIDE YARD = 5 FT		SIDE YARD = 5 FT	
SIDE STREET YARD = 5 FT		SIDE STREET YARD = 5 FT	
CUMULATIVE = N/A		CUMULATIVE = N/A	
FRONT SETBACK DRIVEWAY = 20 FT		FRONT SETBACK DRIVEWAY = 20 FT	
MAXIMUM HEIGHT OF BUILDING	2-STORY (35'-0" APPROX.)	MAXIMUM HEIGHT OF BUILDING - "A"	PROVIDED
MAXIMUM HEIGHT OF BUILDING - "A"	PROVIDED	MAXIMUM HEIGHT OF BUILDING - "B"	PROVIDED
MAXIMUM HEIGHT OF BUILDING - "B"	PROVIDED	MAXIMUM HEIGHT OF BUILDING - "C"	PROVIDED
SUPPLEMENTAL REGULATIONS 20.10.050	NOT APPLICABLE		
PARKING: 2 SPACES PER DWELLING UNIT PROVIDED			
PROPOSED USE: SINGLE-FAMILY DWELLINGS / DUPLEX	LAND AREA		
PROPOSED BUILDING - A SQ. FT.	41,250 S.F. OR 0.9470 AC	PROPOSED BUILDING - B SQ. FT.	1,275 S.F. (RESIDENCE)
PROPOSED BUILDING - B SQ. FT.	1,369 S.F. (RESIDENCE)	PROPOSED BUILDING - C SQ. FT.	1,369 S.F. (RESIDENCE)
LOT COVERAGE	AREA	PERCENTAGE OF TOTAL LOT AREA	
PROPOSED (2) - BLDG. - A SQ. FT.	2,550 S.F.	6.2 %	
PROPOSED (8) BLDG. - B SQ. FT.	10,952 S.F.	28.5 %	
TOTAL BUILDINGS SQ. FT.	13,502 S.F.	33.0 %	
LAND AREA	41,250 S.F. OR 0.9470 AC	100.0 %	
PROPOSED LOT AREA	EXIST MINIMUM LOT AREA	% REDUCTION LOT (25%)	
Single-Dwelling / Two-Dwelling = 3,050 Sq Ft	3,500 Sq Ft.	12.86%	
Single-Dwelling / Two-Dwelling = 4,096 Sq Ft	5,000 Sq Ft.	18.08%	
MODEL - A (1 LEVEL)			
FRONT PORCH	63.17 SQ FT		
GARAGE	391.00 SQ FT		
LIVING AREA	1,275.00 SQ FT		
MODEL - B (2 LEVELS)			
FRONT PORCH	39.00 SQ FT		
GARAGE	233.00 SQ FT		
1ST LEVEL	774.00 SQ FT		
2ND LEVEL	595.00 SQ FT		
LIVING AREA	1,369.00 SQ FT		
PID	S65899900003600		
LEGAL DESCRIPTION	BUILDING ADDRESS		
6 STILES GARDENS 35	7235 DALE RD.,		
(0.9470 AC)	EL PASO TX, 79915		
	INT RD - EVIS RD		

Note: "Final street design is dependent on approval from the City Plan Commission."

PROJECT ARCHITECT
WES GUNDERSEN
7704 GRAND CANYON PL.
EL PASO, TEXAS 79904

SCALE
AS NOTED

ADDITIONAL(S)
FT/IN

LEGAL DESCRIPTION:
EVIS VILLAGE

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NEW PROJECT
EVIS VILLAGE
BLANCA GUTIERREZ
7235 DALE RD., EL PASO TX, 79915

ARCHITECT SEAL:
GUNDERSEN A I R E Z

REVISIONS
04-09-2023
04-09-2023

ISSUE DATE:
10-24-2024

TITLE SHEET:
DSDP

DESIGN BY:
GUNDERSEN A I R E Z

SHEET No.
DSDP

SHEET
1 OF 1