



AGENDA FOR THE CITY PLAN COMMISSION

October 09, 2025

MAIN CONFERENCE ROOM, 300 NORTH CAMPBELL – 2ND FLOOR

1:30 PM

Notice is hereby given that a Hearing of the City Plan Commission will be conducted on the above date and time.

Members of the public may view the meeting via the following means:

Via the City's website. <http://www.elpasotexas.gov/videos>

Via television on City15,

YouTube: <https://www.youtube.com/user/cityofelpasotx/videos>

In compliance with the requirement that the City provide two-way communication for members of the public, members of the public may communicate with the City Plan Commission during public comment, and regarding agenda items by calling the following number:

1-915-213-4096 or Toll Free Number: 1-833-664-9267

At the prompt please enter the corresponding Conference ID: 698 828 026#

If you wish to sign up to speak please contact Elsa Ramirez at RamirezEZ@elpasotexas.gov or (915) 212-0088 no later than by the start of the meeting.

A sign-up form is available outside the Main Conference Room, 2nd Floor for those who wish to sign up on the day of the meeting. Requests to speak must be received by 1:30 p.m. on the date of the meeting. A total time of three minutes may be allowed for each speaker. The Public Comment portion shall not exceed thirty (30) minutes, unless otherwise approved by the City Plan Commission.

A quorum of the City Plan Commission members must be present and participate in the meeting.

PUBLIC COMMENT

This time is reserved for members of the public who would like to address the City Plan Commission on any items that are not on the City Plan Commission Agenda and that are within the jurisdiction of the City Plan Commission.

No action shall be taken.

CONSENT AGENDA

NOTICE TO THE PUBLIC:

All matters listed under the CONSENT AGENDA, including those on the Addition to the Agenda, will be considered by City Plan Commission to be routine, or have met all standards for development under state law (plats only not requiring a public hearing), and will be enacted by one motion unless separate discussion is requested by City Plan Commission or staff and the item is removed from the Consent Agenda. Members of the audience who wish to ask questions or speak regarding items on the Consent Agenda must sign up on the day of the meeting, and such requests to speak must be received by 1:30 p.m. on the date of the meeting. When the vote has been taken, if an item has not been called out for separate discussion, the item has been approved. The City Plan Commission may, however, reconsider any item at any time during the meeting.

Approval of Minutes

1. Discussion and action on the City Plan Commission minutes for September 25, 2025 [BC-1274](#)

Resubdivision Combination

2. **SUSU25-00078:** Enchanted Hills Unit Five Replat B - A replat of portion of Hunter Foster Dr., Enchanted Hills Unit Five, and portion of Tract 9B, Laura E. Mundy Survey 238, City of El Paso, El Paso County, Texas. [BC-1275](#)
Location: North of Woodrow Bean Transmountain Road and East of Interstate 10
Existing Zoning: C-3/c (Commercial/conditions)
Property Owner(s): EP Transmountain Residential, LLC
Representative: Conde, Inc.
District: 1
Staff Contact: Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov

REGULAR AGENDA - DISCUSSION AND ACTION:

Subdivision Applications

SUBDIVISION MAP APPROVAL

The staff report for an agenda item may include conditions, exceptions, or modifications. The Commission's motion to approve an item in accordance with the staff report or with all staff comments means that any modifications, waivers, exceptions requested by the applicant and recommended for approval by staff and any staff recommended conditions, have been approved, without necessitating that the Commission restate the

modifications, exceptions, waivers, or conditions as part of the motion to approve and that any findings required to be made by the Commission, have been made. If the Commission does not wish to approve an exception or modification, or require a condition, then the Commission's motion will state which have not been approved, otherwise, the staff report, with all modifications, exceptions and conditions, is approved and the applicant shall comply with all provisions of the staff report.

Major Combination

3. **SUSU25-00085:** Canutillo Middle School Subdivision - All of Tract 7 and a portion of Tract 6, Block 11, Upper Valley Surveys, City of El Paso, El Paso County, Texas. [BC-1276](#)
- Location: East of Westside Dr. and South of Artcraft Rd.
- Existing Zoning: R-F (Ranch Farm)
- Property Owner(s): Canutillo Independent School District
- Representative: SLI Engineering, Inc.
- District: 1
- Staff Contact: Myrna Aguilar, (915) 212-1584,
AguilarMP@elpasotexas.gov

PUBLIC HEARING Right-of-Way (ROW) Vacation

4. **SURW25-00012:** Holstein R.O.W Vacation - Being a 60 Foot County Road Out of O.A. Danielson Survey No. 310, City of El Paso, El Paso County, Texas. [BC-1278](#)
- Location: West of Zaragoza Rd. and North of Interstate 10
- Existing Zoning: A-O (Apartment/Office)
- Property Owner: City of El Paso
- Representative: Conde, Inc.
- District: 6
- Staff Contact: Saul Fontes, (915) 212-1606,
FontesSA@elpasotexas.gov

PUBLIC HEARING Rezoning Application

5. **PZRZ24-00016:** A portion of Tract 228, Sunrise Acres, City of El Paso, El Paso County, Texas [BC-1279](#)
- Location: 8701 Gateway South Blvd.
- Zoning: R-4 (Residential)
- Request: To rezone from R-4 (Residential) to C-2 (Commercial)
- Existing Use: Contractor's yard (small)
- Proposed Use: Contractor's yard (small) with a watchman dwelling and professional office
- Property Owner: De La Riva Properties, Inc.
- Representative: John Cook
- District: 2
- Staff Contact: Jose Beltran, (915) 212-1607,
BeltranJV@elpasotexas.gov

6. **PZRZ25-00021:** A portion of Lot 35, Block 54, Vista Hills Subdivision Unit Eleven, City of El Paso, El Paso County, Texas [BC-1280](#)
Location: 1991 Saul Kleinfeld Dr.
Zoning: A-2/sc/sp (Apartment/special contract/special permit)
Request: To rezone from A-2/sc/sp (Apartment/special contract/special permit) to C-1/sc/sp (Commercial/special contract/special permit)

Existing Use: Assisted living facility
Proposed Use: Assisted living facility and commercial day care center
Property Owner: Simpatico East Property LLC
Representative: Michael Furth
District: 6
Staff Contact: Alejandra González, (915) 212-1506, GonzalezAG@elpasotexas.gov

PUBLIC HEARING Special Permit Application

7. **PZST25-00006:** A portion of Tract 228, Sunrise Acres, City of El Paso, El Paso County, Texas [BC-1281](#)
Location: 8701 Gateway South Blvd.
Zoning: R-4 (Residential)
Request: Special Permit and Detailed Site Development Plan approval for reduction to rear and side street setback and to allow the use of a contractor's yard (small)

Existing Use: Contractor's yard (small)
Proposed Use: Contractor's yard (small), with a watchman dwelling and professional office

Property Owner: Dela Riva Properties, Inc.
Representative: John Cook
District: 2
Staff Contact: Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov
8. **PZST25-00008:** Lots 11, 12, 13 and 14, Block 104, Campbell's Addition, City of El Paso, El Paso County, Texas. [BC-1282](#)
Location: 600 S. Stanton Street
Existing Zoning: C-4 (Commercial)
Request: Special Permit and Detailed Site Development Plan approval to allow for an Infill Development with a reduction to the side street setback and a 60% parking reduction in the C-4 (Commercial) zone district

Existing Use: Vacant
Proposed Use: Ballroom
Property Owner: Alicia Coronel and Luis Carlos Coronel
Representative: Enrique Escobedo, AIA
District: 8
Staff Contact: Jose Beltran, (915)-212-1607, BeltranJV@elpasotexas.gov

Other Business

9. Discussion and action on amendments to Titles 15, 19, 20, and 21 in accordance with Texas Senate Bills 15 and 840. [BC-1283](#)
Contact: Philip Etiwe, Director of Planning and Inspections, (915) 212-1553, EtiwePF@elpasotexas.gov
10. Presentation on the Comprehensive Plan update- Envision El Paso [BC-1284](#)
Contact: Kasi Schnell, Comprehensive Plan Program Manager, schnellk@elpasotexas.gov

EXECUTIVE SESSION

The City Plan Commission may retire into Executive Session pursuant to Section 3.5A of the El Paso City Charter and the Texas Government Code, Section 551.071 Consultation with Attorney, Section 551.072 Deliberation Regarding Real Property, and Section 551.073 Deliberation Regarding Prospective Gifts to discuss any item on this agenda.

ADJOURN

NOTE TO THE PROPERTY OWNER:

CITY PLAN COMMISSION POLICY REQUIRES THAT THE APPLICANT OR REPRESENTATIVE BE PRESENT AT THE PUBLIC HEARING FOR THEIR ITEM(S). PLEASE DIRECT ANY QUESTIONS TO THE PLANNING & INSPECTIONS DEPARTMENT, PLANNING DIVISION, (915) 212-1569.

NOTICE TO THE PUBLIC:

Sign language interpreters will be provided for this meeting upon request. Requests must be made to Elsa Ramirez at RamirezEZ@elpasotexas.gov a minimum of 48 hours prior to the date and time of this hearing.

If you need Spanish Translation Services, please email RamirezEZ@elpasotexas.gov at least 48 hours in advance of the meeting.

Posted this the _____ of _____ at _____ AM/PM by _____



El Paso, TX

300 N. Campbell
El Paso, TX

Legislation Text

File #: BC-1274, **Version:** 1

CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

Discussion and action on the City Plan Commission minutes for September 25, 2025



CITY PLAN COMMISSION MEETING
2nd Floor, Main Conference Room
September 25, 2025
1:30 P.M.

MINUTES

The City Plan Commission met at the above place and date.

The meeting was called to order at 1:30 p.m. Chair Alfredo Borrego present and presiding and the following Commissioners answered roll call.

COMMISSIONERS PRESENT:

Alfredo Borrego (Chair)
 Lauren Hanson (1st Chair)
 Lisa Badillo
 Jose L. Reyes
 Rodolfo Rodriguez
 Juan Uribe

COMMISSIONERS ABSENT:

Sal Masoud (2nd Chair)
 Albert Apodaca
 Brandon Carrillo

AGENDA

Commissioner Reyes read the rules into the record.

Luis Zamora, Chief Planner, noted that Item 2 is to be postponed for four weeks, Item 8 has a minor revision on case number to SUSU25-00064, Item 11 is to be deleted. There are several revised staff reports. Items 8 and 9 are related but not being heard together.

ACTION: Motion made by Commissioner Reyes, seconded by Commissioner Hanson and unanimously carried to **APPROVE THE CHANGES TO AGENDA.**

AYES: Commissioners Borrego, Hanson, Badillo, Reyes, Rodriguez and Uribe

NAYS: N/A

ABSTAIN: N/A

ABSENT: Commissioner Carrillo, Apodaca, and Masoud.

NOT PRESENT FOR THE VOTE: N/A

Motion Passed.

I. CALL TO THE PUBLIC – PUBLIC COMMENT

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PUBLIC:

-James Arthur Lyle (Flip)

II. CONSENT AGENDA

NOTICE TO THE PUBLIC:

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Approval of Minutes:

1. Discussion and action on the City Plan Commission minutes for September 11, 2025.

Major Preliminary:

2. **SUSU25-00081:** Ocotillo Estates Unit Three - Being a portion of A.G. McMath, Survey No. 298, City of El Paso, El Paso County, Texas
Location: East of Redd Rd. and South of Transmountain Rd.
Existing Zoning: PMD (Planned Mountain Development)
Property Owner: EP Park Hills II, Ltd.
Representative: Conde, Inc.
District: 1
Staff Contact: Saul Fontes, (915) 212-1606, FontesSA@elpasotexas.gov

POSTPONED FOR FOUR WEEKS

Major Combination:

3. **SUSU25-00082:** Inglewood Industrial - Being Tracts 20A, 20A2, 20B, 21, 22A, a portion of Tracts 20A1A, 20A1B, Ysleta Grant, Block 2, and a portion of Tract 2D, Socorro Grant, Block 6, according to the resurvey of said Ysleta Grant and Socorro Grant, City of El Paso, El Paso County, Texas
- Location: South of Americas Ave. and West of North Loop Dr.
Existing Zoning: C-4/c (Commercial/conditions)
Property Owner(s): DI Inglewood Industrial, LP
Representative: TRE & Associates, LLC
District: 7
Staff Contact: Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov
4. **SUSU25-00052:** Iron Dust Off By-Pass R.O.W Subdivision - Being a portion of Section 23, Block 80, Township 2, Texas and Pacific Railway Company Surveys, City of El Paso, El Paso County, Texas
- Location: West of Purple Heart Blvd. and South of Liberty Expressway
Existing Zoning: PMD (Planned Mountain Development)
Property Owner: City of El Paso
Representative: Brock & Bustillos
District: 3
Staff Contact: Saul Fontes, (915) 212-1606, FontesSA@elpasotexas.gov

Resubdivision Final:

5. **SUSU25-00083:** Classic Park Unit 1 - Being a replat of Lot 69, Block 28, Mesquite Hills Unit Four, and all of Tracts 7 and 7A, Section 16, Block 80, Township 1, Texas and Pacific Railway Company Surveys, City of El Paso, El Paso County, Texas
- Location: North of Dyer St. and East of Mesquite Hill Dr.
Existing Zoning: R-5 (Residential)
Property Owner: Direct Home Sales, Inc.
Representative: Conde, Inc.
District: 4
Staff Contact: Alonso Hernandez, (915) 212-1585, HernandezJA5@elpasotexas.gov

ACTION: Motion made by Commissioner Hanson, seconded by Commissioner Reyes to **APPROVE** all matters listed under the **CONSENT AGENDA** and carried unanimously.

Motion Passed.

III. REGULAR AGENDA - DISCUSSION AND ACTION:

Subdivision Applications:

SUBDIVISION MAP APPROVAL:

NOTICE TO THE PUBLIC AND APPLICANTS:

The staff report for an agenda item may include conditions, exceptions, or modifications. The Commission's motion to approve an item in accordance with the staff report or with all staff comments means that any modifications, waivers, exceptions requested by the applicant and recommended for approval by staff and any staff recommended conditions, have been approved, without necessitating that the Commission restate the modifications, exceptions, waivers, or conditions as part of the motion to approve and that any findings required to be made by the Commission, have been made. If the Commission does not wish to approve an exception or modification, or require a condition, then the Commission's motion will state which have not been approved, otherwise, the staff report, with all modifications, exceptions, and conditions, is approved and the applicant shall comply with all provisions of the staff report.

Major Preliminary:

6. **SUSU25-00080:** Sun Ridge Unit Sixteen - Being a portion of the West ½ of the Southwest 1/4, of the Southwest ¼ of the Southwest ¼ of Section 3, Block 79, Township 3, Texas and Pacific Railway Company Surveys, City of El Paso, El Paso County, Texas
- Location: East of Loop 375 Hwy. and South of Montwood Blvd.
- Existing Zoning: R-5 SP (Residential/Special Permit)
- Property Owner: JNC Development Inc.
- Representative: CEA Group
- District: 5
- Staff Contact: Saul Fontes, (915) 212-1606, FontesSA@elpasotexas.gov

Saul Fontes, Planner, made a presentation to the Commission. Staff recommends **approval** of Sun Ridge Unit Sixteen on a Major Preliminary basis and **approval** of the exception request.

- To waive the dedication of 19' of right-of-way and the construction of 9' of roadway and 5' of planter strip for Nirvan Court, Section B.

Jorge Azcarate, CEA Group, concurs with all staff comments.

ACTION: Motion made by Commissioner Uribe, seconded by Commissioner Hanson **TO APPROVE ITEM #SUSU25-00080.**

VOTE:

Ayes = 5 (Badillo, Borrego, Hanson, Rodriguez, Uribe)

Nayes = 1 (Reyes)

Motion Passed.

Major Combination:

7. **SUSU25-00084:** Canutillo ISD – Alderete Middle School - A portion of Tracts 1B2, Nellie D. Mundy Survey 242, Tract 62E2, W.H. Glenn Survey 241 and Tracts 4G and 4G2, Nellie D. Mundy Survey 240, City of El Paso, El Paso County, Texas
- Location: East of Resler Dr. and North of Northern Pass Dr.
- Existing Zoning: R-3A (Residential) and C-3/c (Commercial/conditions)
- Property Owner(s): Canutillo Independent School District

Representative: SLI Engineering, Inc.
 District: 1
 Staff Contact: Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov

Myrna Aguilar, Planner, made a presentation to the Commission. Staff recommends **approval with condition** of Canutillo ISD – Alderete Middle School on a Major Combination basis as it complies with Title 19 requirements.

Condition being as follows:

- That the rezoning of a portion of the proposed subdivision be approved by City Council prior to the recordation of the final plat.

Fernando Estrada, SLI Engineering, Inc., concurs with all staff comments and answered questions from the Commission.

ACTION: Motion made by Commissioner Reyes, seconded by Commissioner Uribe **TO APPROVE ITEM #SUSU25-00084** and unanimously carried.

Motion Passed.

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8. **SUSU25-00065:** Modesto Gomez Park Subdivision - A portion of Tracts 2 and 3, F. Neve Survey No. 8, a portion of E. R. Talley Surveys No. 6 and 7, and a portion of Tract 1-A, U.S. Government Parcel No.1, City of El Paso, El Paso County, Texas
SUSU25-00064
- Location: North of Cesar Chavez Memorial Hwy. and East of Gateway North Blvd.
- Existing Zoning: R-5 (Residential) and M-1 (Light Manufacturing)
- Property Owner(s): City of El Paso
- Representative: SLI Engineering, Inc.
- District: 2
- Staff Contact: Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov
- ITEM 8 AND 9 ARE RELATED BUT NOT BEING HEARD TOGETHER**

Myrna Aguilar, Planner, made a presentation to the Commission. Staff recommends **approval with condition** of Modesto Gomez Park Subdivision on a Major Combination basis as it complies with Title 19 requirements.

Condition being as follows:

- That the rezoning of a portion of the proposed subdivision be approved by City Council prior to the recordation of the final plat.

Fernando Estrada, SLI Engineering, Inc., agrees with all staff comments.

ACTION: Motion made by Commissioner Hanson, seconded by Commissioner Badillo **TO APPROVE ITEM #SUSU25-00064** and unanimously carried.

Motion Passed.

PUBLIC HEARING Rezoning Application:

9. **PZRZ25-00018:** A portion of E.R. Talley Surveys No. 6 and 7, City of El Paso, El Paso County, Texas
Location: 4600 Edna Ave.
Zoning: M-1 (Light Manufacturing)
Request: To rezone from M-1 (Light Manufacturing) to R-5 (Residential)
Existing Use: Public Park
Proposed Use: Public Park
Property Owner: City of El Paso
Representative: SLI Engineering, Inc.
District: 2
Staff Contact: Alejandra González, (915) 212-1506, GonzalezAG@elpasotexas.gov
POSTPONED FROM AUGUST 28, 2025
ITEM 8 AND 9 ARE RELATED BUT NOT BEING HEARD TOGETHER

Alejandra González, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 300 feet on August 13, 2025. The Planning Division has not received any communications in support or opposition to the request. Staff recommends **approval** of the rezoning request.

Fernando Estrada, SLI Engineering, Inc., agrees with all staff comments.

Commissioner Borrego asked if there was anyone in the public who wished to speak in favor of or against this request. No response.

ACTION: Motion made by Commissioner Reyes, seconded by Commissioner Hanson **TO APPROVE ITEM #PZRZ25-00018** and unanimously carried.

Motion Passed.

10. **PZRZ25-00019:** A portion of Tract 4, Block 6, Map of the Christy Tract, City of El Paso, El Paso County, Texas
Location: 529 Schwabe St.
Zoning: R-F (Ranch and Farm)
Request: To rezone from R-F (Ranch and Farm) to R-3A (Residential)
Existing Use: Vacant
Proposed Use: Single-family dwelling
Property Owner: Aaron Aceves
Representative: Aaron Aceves
District: 7
Staff Contact: Alejandra González, (915) 212-1506, GonzalezAG@elpasotexas.gov

Alejandra González, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 300 feet on September 10, 2025. The Planning Division received an email in support from Mission Valley Civic Association as of September 24, 2025. Staff recommends **approval** of the rezoning request.

Aaron Aceves was available for questions.

Commissioner Borrego asked if there was anyone in the public who wished to speak in favor of or against this request. No response.

ACTION: Motion made by Commissioner Uribe, seconded by Commissioner Badillo **TO APPROVE ITEM #PZRZ25-00019** and unanimously carried.

Motion Passed.

PUBLIC HEARING Special Permit Application:

11. **PZST24-00011:** A portion of Tract 14, Arcadia Subdivision, City of El Paso, El Paso County, Texas
 Location: 7681 Barton St.
 Zoning: R-3 (Residential)
 Request: Special Permit and Detailed Site Development Plan approval to allow for the use of Sanitarium in the R-3 (Residential) zone district
 Existing Use: Residential
 Proposed Use: Sanitarium
 Property Owner: Harmony Road Recovery, LLC
 Representative: Wright and Dalbin Architects
 District: 7
 Staff Contact: Saul J. G. Pina, (915) 212-1604, PinaSJ@elpasotexas.gov
POSTPONED FROM SEPTEMBER 11, 2025
DELETED

12. **PZST25-00009:** Lot 5, Block 37, Magoffin Addition, City of El Paso, El Paso County, Texas
 Location: 911 Tays St.
 Existing Zoning: A-3 (Apartment)
 Request: Special Permit and Detailed Site Development Plan approval to allow for an Infill Development with average lot width and side yard setback reduction for a quadraplex use in the A-3 (Apartment) zone district
 Existing Use: Single-family dwelling
 Proposed Use: Quadraplex
 Property Owner: H&N Property Holdings, LLC
 Representative: Nicholas Najera
 District: 8
 Staff Contact: Blanca Perez, (915) 212-1561, PerezBM@elpasotexas.gov

Blanca Perez, Planner, made a presentation to the Commission. Public notices were mailed to property owners within 300 feet on September 12, 2025. The Planning Division has not received any communications in support or opposition to the request. Staff recommends **approval** of the special permit and detailed site development plan request.

Nicholas Najera, H&N Property Holdings, LLC, agrees with all staff comments.

Commissioner Borrego asked if there was anyone in the public who wished to speak in favor of or against this request. No response.

ACTION: Motion made by Commissioner Reyes, seconded by Commissioner Hanson **TO APPROVE ITEM #PZST25-00009** and unanimously carried.

Motion Passed.

13. Adjournment of the City Plan Commission's Meeting.

ADJOURNMENT:

ACTION: Motion made by Commissioner Reyes, seconded by Commissioner Uribe and unanimously carried to **ADJOURN**.

Motion passed.

Meeting adjourned at 2:17 p.m.

EXECUTIVE SESSION

The City Plan Commission may retire into Executive Session pursuant to Section 3.5A of the El Paso City Charter and the Texas Government Code, Section 551.071 Consultation with Attorney, Section 551.072 Deliberation Regarding Real Property, and Section 551.073 Deliberation Regarding Prospective Gifts to discuss any item on this agenda.

Approved as to form:


Kevin W. Smith, City Plan Commission Executive Secretary



Legislation Text

File #: BC-1275, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

SUSU25-00078: Enchanted Hills Unit Five Replat B - A replat of portion of Hunter Foster Dr., Enchanted Hills Unit Five, and portion of Tract 9B, Laura E. Mundy Survey 238, City of El Paso, El Paso County, Texas.

Location: North of Woodrow Bean Transmountain Road and East of Interstate 10

Existing Zoning: C-3/c (Commercial/conditions)

Property Owner(s): EP Transmountain Residential, LLC

Representative: Conde, Inc.

District: 1

Staff Contact: Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov

ENCHANTED HILLS UNIT FIVE
REPLAT B

BEING A REPLAT OF A PORTION OF HUNTER FOSTER DR.,
ENCHANTED HILLS UNIT FIVE, AND PORTION
OF TRACT 9B, LAURA E. MUNDY SURVEY 238,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING 1.657± ACRES

CURVE TABLE						
CURVB	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1696.00'	176.25'	88.21'	176.18'	N68°18'34"W	5°57'16"
C2	20.00'	16.21'	8.58'	15.77'	S85°29'19"W	46°26'58"
C3	85.00'	10.92'	5.47'	10.91'	N65°56'42"E	7°21'43"
C4	45.00'	41.94'	22.64'	40.44'	S42°55'24"W	53°24'18"
C5	30.00'	29.89'	16.32'	28.67'	N12°19'07"W	57°04'45"
C6	85.00'	16.37'	8.21'	16.35'	S35°20'25"E	11°02'10"
C7	20.00'	16.21'	8.58'	15.77'	N53°02'48"W	46°26'58"
C8	1696.00'	162.45'	81.29'	162.39'	N79°00'56"W	5°29'17"
C9	30.00'	49.74'	32.74'	44.24'	S50°44'26"W	95°00'00"
C10	30.00'	44.51'	27.49'	40.54'	S39°15'34"E	85°00'00"
C11	1804.00'	182.91'	91.53'	182.83'	N78°51'17"W	5°48'33"
C12	30.00'	19.83'	10.29'	19.47'	N85°06'54"E	37°52'11"
C13	78.00'	4.69'	2.35'	4.69'	S67°54'11"W	3°26'45"
C14	52.00'	48.47'	26.16'	46.73'	N42°55'24"E	53°24'18"
C15	37.00'	36.86'	20.12'	35.35'	S12°19'07"E	57°04'45"
C16	78.00'	9.69'	4.85'	9.69'	N37°17'54"W	7°07'12"
C17	30.00'	19.83'	10.29'	19.47'	S52°40'23"E	37°52'11"
C18	1804.00'	197.59'	98.90'	197.49'	N68°28'13"W	6°16'32"
C19	1696.00'	147.55'	73.82'	147.50'	N73°46'45"W	4°59'05"
C20	1804.00'	136.72'	68.39'	136.69'	N73°46'45"W	4°20'32"

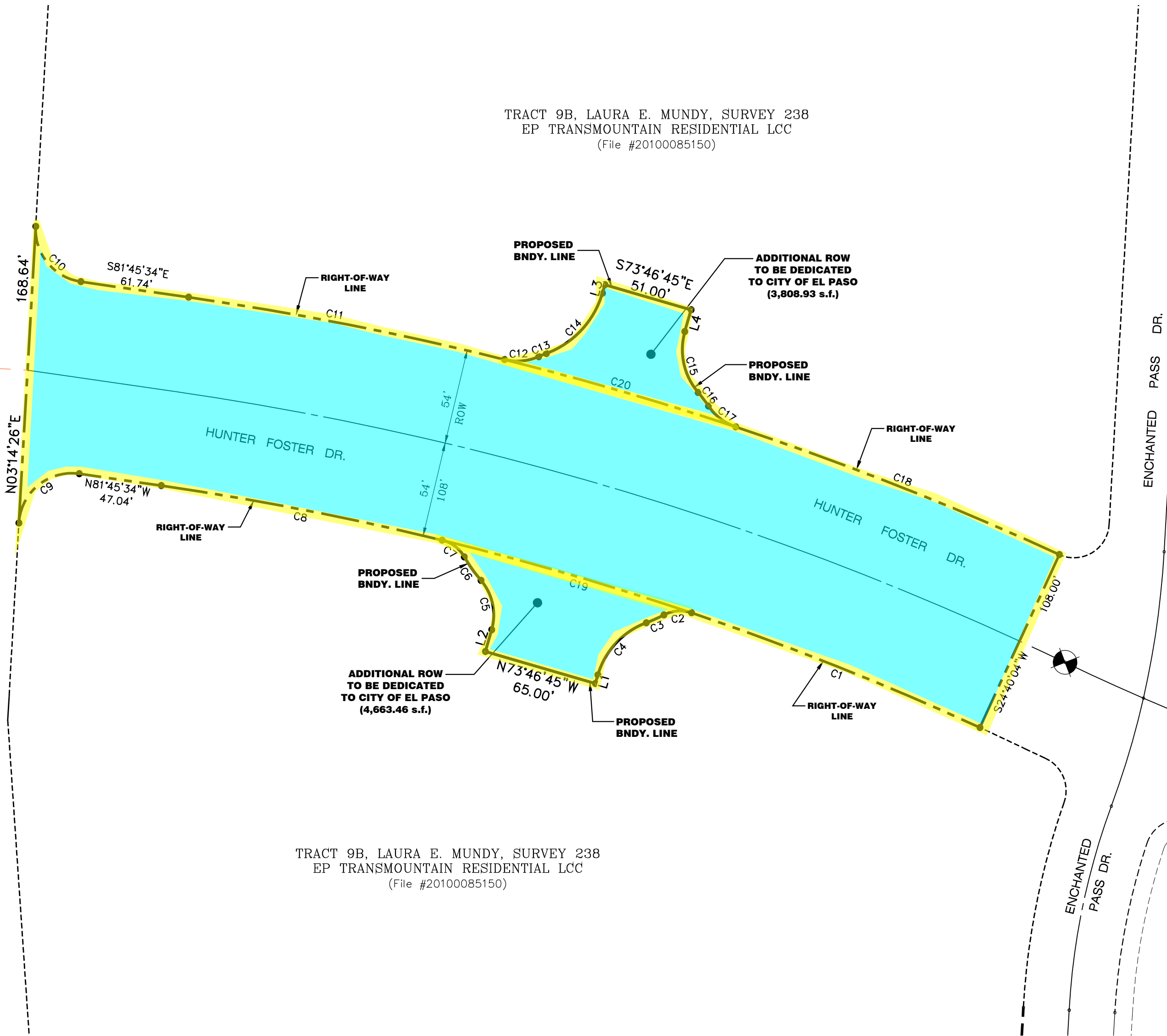
LINE TABLE		
LINE	LENGTH	BEARING
L1	5.00	S16°13'15"W
L2	12.84	S16°13'15"W
L3	5.00	S16°13'15"W
L4	12.84	S16°13'15"W

SCHOOL DISTRICT
CANUTILLO INDEPENDENT SCHOOL DISTRICT
7965 ARTCRAFT RD. EL PASO TX 79932

U.S. INTERSTATE
HIGHWAY No. 10
(ROW VARIES 350' - 400')

N DESERT BLVD.

S DESERT BLVD.

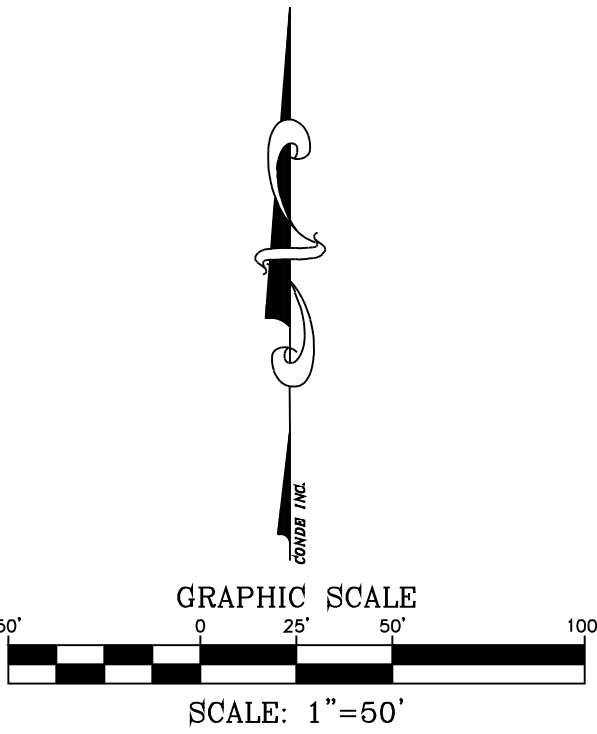


ENCHANTED HILLS
UNIT SIX
FILE No. 20240011474

POND
(45)
1

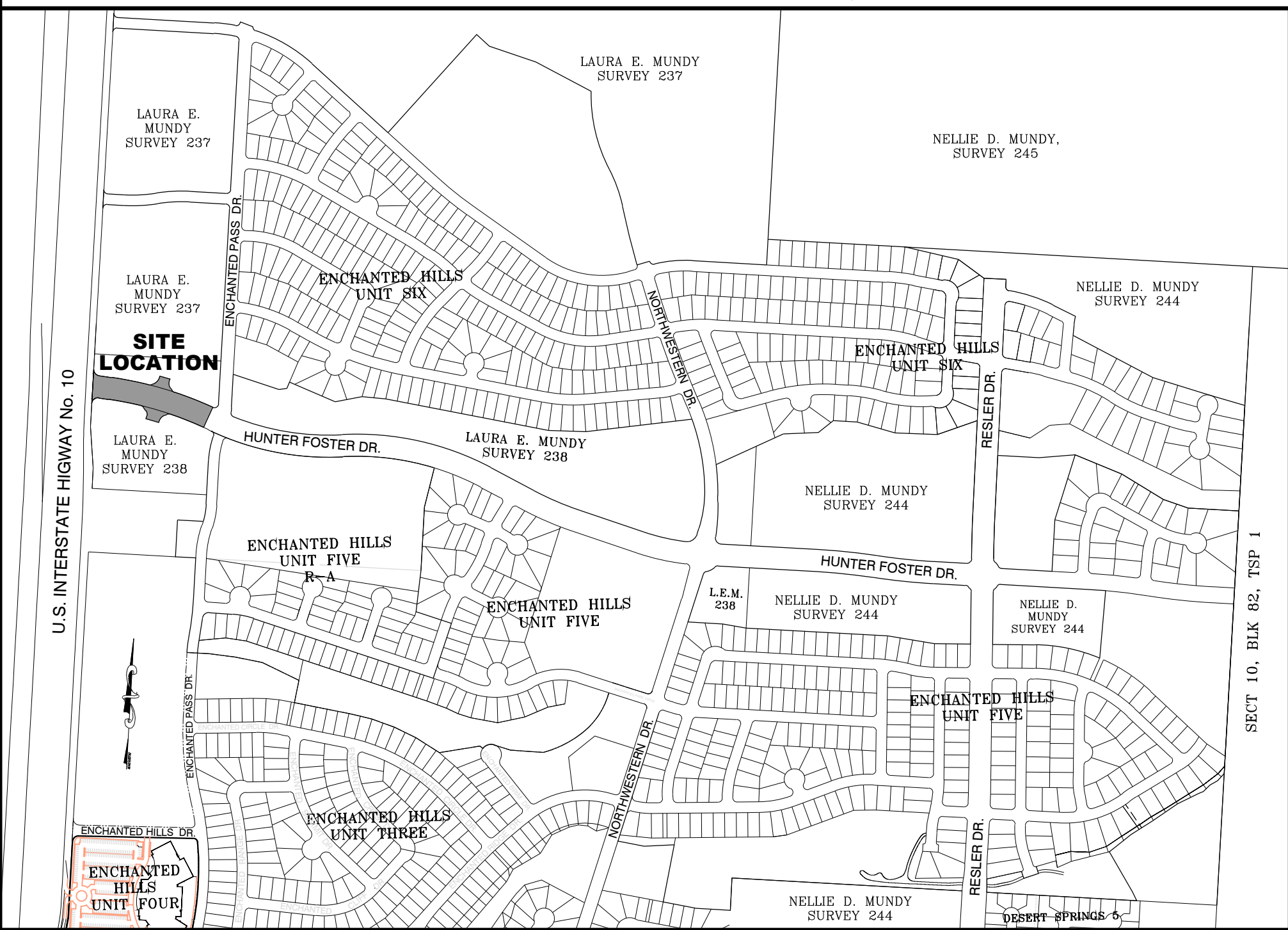
ENCHANTED HILLS
UNIT FIVE
FILE No. 20210037543

ENCHANTED HILLS
UNIT FIVE
REPLAT "A"
FILE No. 20220075122



LOCATION MAP

SCALE: 1" = 600'



NOTES:

- WATER AND SEWER SERVICES HAS BEEN EXTENDED TO THIS SUBDIVISION (ENCHANTED HILLS UNIT FIVE REPLAT B) FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES.
- THE INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAT ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.
INSTRUMENT No. _____ DATE _____
- TAX CERTIFICATE FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORDS SECTION.
INSTRUMENT No. _____ DATE _____
- RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.
INSTRUMENT No. _____ DATE _____
- THIS SUBDIVISION SHALL PROVIDE FOR POSTAL DELIVERY SERVICE. THE SUBDIVIDER WILL COORDINATE INSTALLATION AND CONSTRUCTION WITH THE UNITED STATES POSTAL SERVICE IN DETERMINING THE TYPE OF DELIVERY SERVICE FOR THE PROPOSED SUBDIVISION. IN ALL CASES, THE TYPE AND LOCATION OF DELIVERY SERVICE SHALL BE SUBJECT TO THE APPROVAL OF THE UNITED STATES POSTAL SERVICE.
- LOT CORNERS WILL BE SET UPON COMPLETION OF CONSTRUCTION OF ROADWAYS AND UTILITIES.
- SET 1/2" REBAR WITH CAP MARKED TX 5152 AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.480214 001C, EFFECTIVE 02/5/1986, FLOOD HAZARD ZONE C.
- BEARINGS BASED ON PLAT OF ENCHANTED HILLS UNIT FIVE RECORDED IN CLERKS FILE No. 20210037543, REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS.
- PARCELS NORTH AND SOUTH OF THIS ROUNDABOUT SHALL HAVE NO ADDITIONAL ACCESS LOCATIONS ON HUNTER FOSTER DR. BETWEEN N. DESERT BLVD. AND ENCHANTED PASS DR.

BENCHMARK:
NGS CONTROL DISK CHINO SET IN TOP OF
CONCRETE MONUMENT STAMPED CHINO 1980
LOCATED 31°56'23.8600"N, 106°34'56.618"W
WITH ELEVATION OF 3946.11 (NAVD 88)

DEDICATION

BY: EP TRANSMOUNTAIN RESIDENTIAL, L.L.C., property owners of this land hereby present this plat and dedicate to the use of the public, the streets, and drives, as hereon laid down and designated, and buried service conduits and pipes for underground utilities, and the right to ingress and egress for service and construction and the right to trim interfering trees and shrubs.
Witness our signature this _____ day of _____, 2025.

BY: EP TRANSMOUNTAIN RESIDENTIAL, L.L.C.

By: _____
Douglas A. Schwartz, MANAGER

ATTEST: NOT REQUIRED

ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF EL PASO
Before me, the undersigned authority, on this day personally appeared Douglas A. Schwartz, Manager of EP TRANSMOUNTAIN RESIDENTIAL, L.L.C., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed of said company for the purpose and considerations herein expressed.
Given under my hand and seal of office this _____ day of _____, 2025.

Notary Public in and for El Paso County My Commission Expires _____

CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the condition of the dedication in accordance with Chapter 212 of the Local Government Code of Texas
this _____ day of _____, 2025.

Executive Secretary _____ Chairperson _____

Approved for filing this _____ day of _____, 2025.

Planning and Inspections Director _____

FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas,
this _____ day of _____, 2025, A.D. in

File No. _____

County Clerk _____

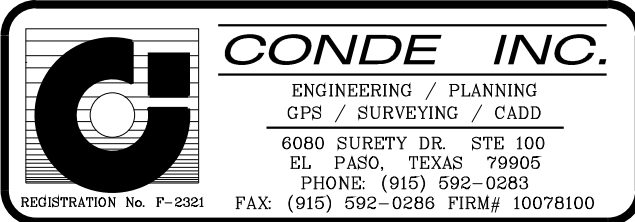
By Deputy _____

Prepared by and under the supervision of:
YVONNE CONDE CURRY, P.E.
Registered Professional Engineer
Registration No. 64648

This plat represents a survey made on the ground by me or under my supervision and complies with the current Texas Board of Professional Land Survey Professional and Technical Standards.

Yvonne Conde Curry, P.E.

Ron R. Conde
Registered Professional Land Surveyor
Texas License No. 5152



DATE OF PREPARATION: JULY 10, 2025

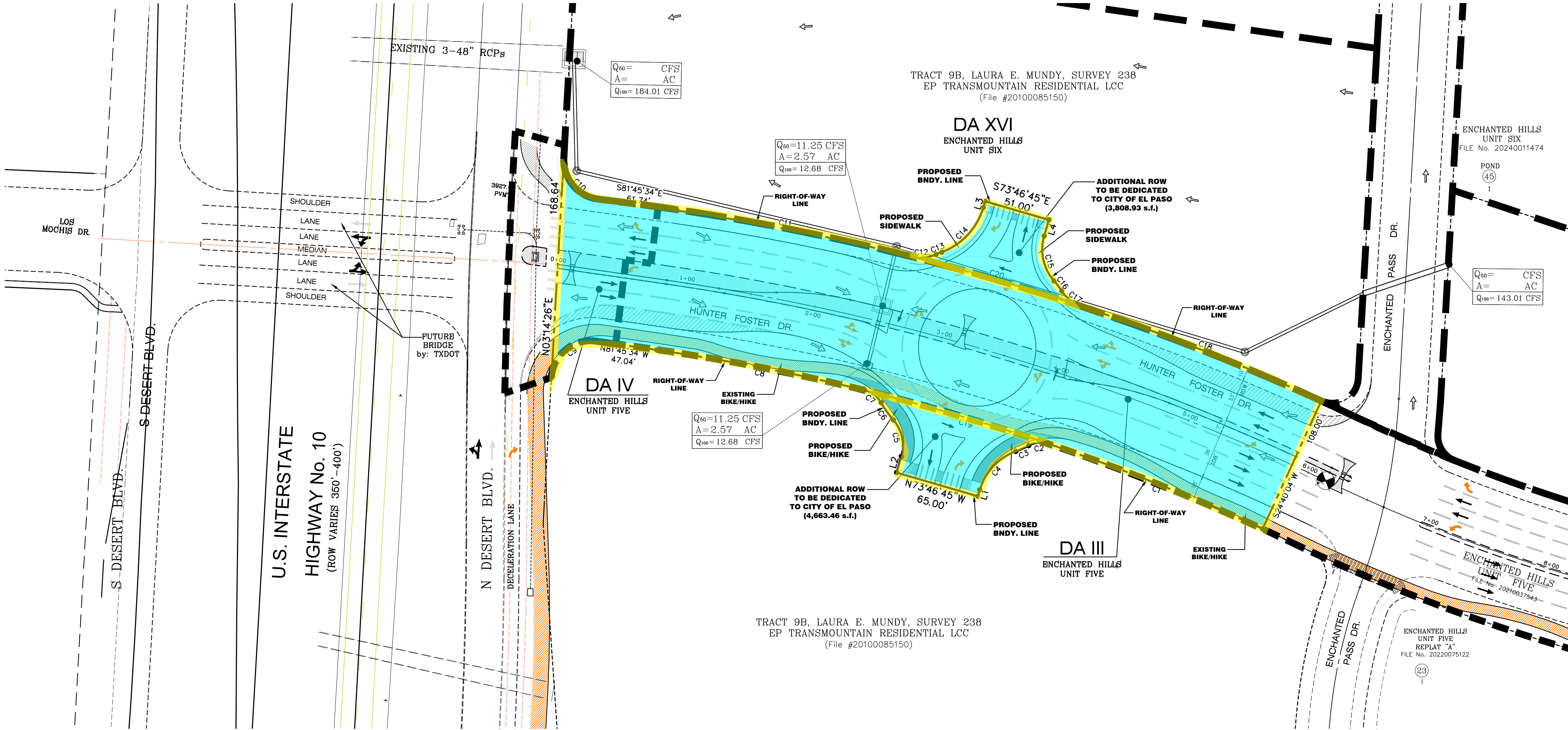
ENCHANTED HILLS UNIT FIVE
REPLAT B

BEING A REPLAT OF A PORTION OF HUNTER FOSTER DR.,
ENCHANTED HILLS UNIT FIVE, AND PORTION
OF TRACT 9B, LAURA E. MUNDY SURVEY 238,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING 1.657± ACRES

PRELIMINARY PLAT

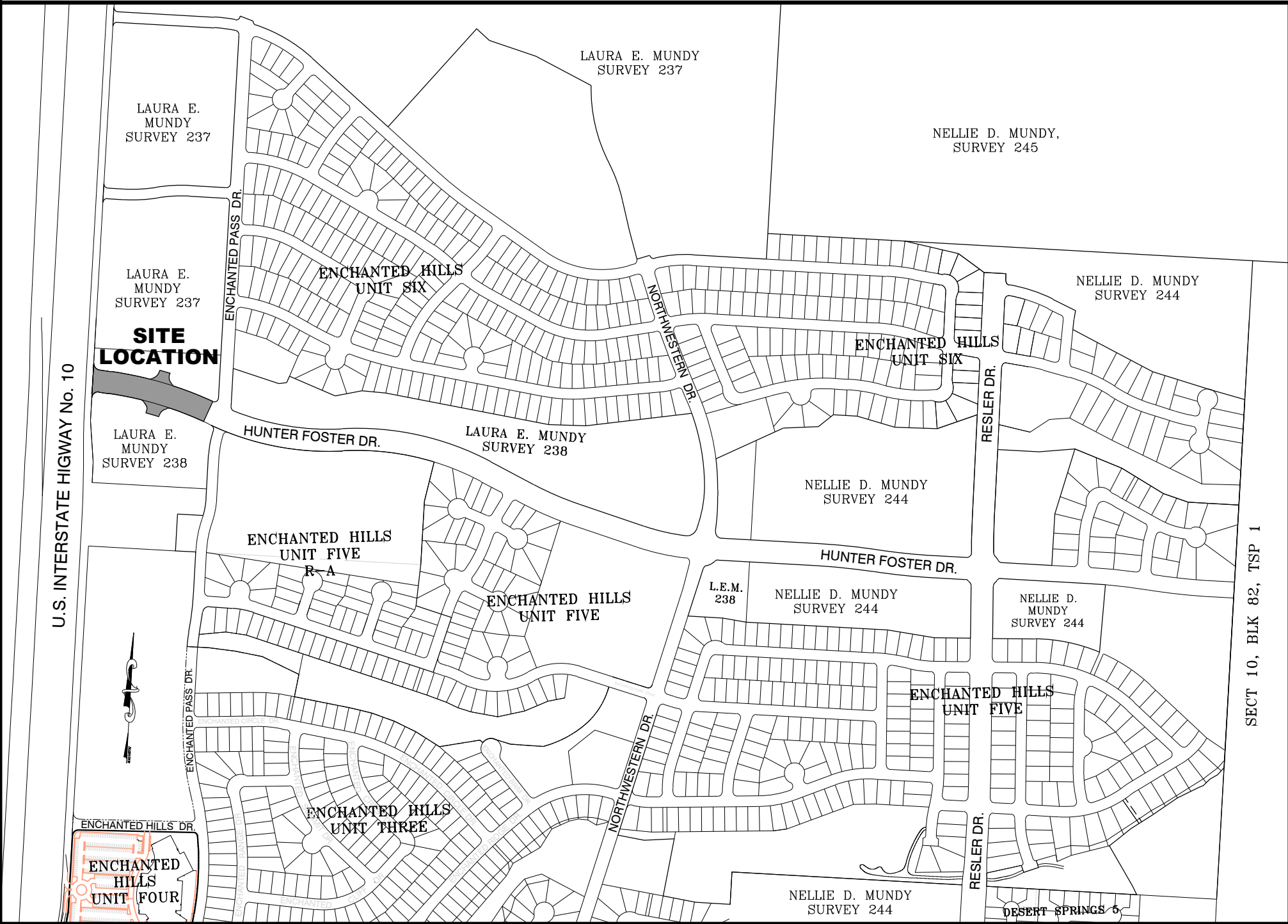
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1696.00'	176.25'	88.21'	176.18'	N68°18'34"W	5°57'16"
C2	20.00'	16.21'	8.58'	15.77'	S85°29'19"W	46°26'58"
C3	85.00'	10.92'	5.47'	10.91'	N65°56'42"E	7°21'43"
C4	45.00'	41.94'	22.64'	40.44'	S42°55'24"W	53°24'18"
C5	30.00'	29.89'	16.32'	28.67'	N12°19'07"W	57°04'45"
C6	85.00'	16.37'	8.21'	16.35'	S35°20'25"E	11°02'10"
C7	20.00'	16.21'	8.58'	15.77'	N53°02'48"W	46°26'58"
C8	1696.00'	162.45'	81.29'	162.39'	N79°00'56"W	5°29'17"
C9	30.00'	49.74'	32.74'	44.24'	S50°44'26"W	95°00'00"
C10	30.00'	44.51'	27.49'	40.54'	S39°15'34"E	85°00'00"
C11	1804.00'	182.91'	91.53'	182.83'	N78°51'17"W	5°48'33"
C12	30.00'	19.83'	10.29'	19.47'	N85°06'54"E	37°52'11"
C13	78.00'	4.69'	2.35'	4.69'	S67°54'11"W	3°26'45"
C14	52.00'	48.47'	26.16'	46.73'	N42°55'24"E	53°24'18"
C15	37.00'	36.86'	20.12'	35.35'	S12°19'07"E	57°04'45"
C16	78.00'	9.69'	4.85'	9.69'	N37°17'54"W	7°07'12"
C17	30.00'	19.83'	10.29'	19.47'	S52°40'23"E	37°52'11"
C18	1804.00'	197.59'	98.90'	197.49'	N68°28'13"W	6°16'32"
C19	1696.00'	147.55'	73.82'	147.50'	N73°46'45"W	4°59'05"
C20	1804.00'	136.72'	68.39'	136.69'	N73°46'45"W	4°20'32"

LINE TABLE		
LINE	LENGTH	BEARING
L1	5.00	S16°13'15"W
L2	12.84	S16°13'15"W
L3	5.00	S16°13'15"W
L4	12.84	S16°13'15"W



LOCATION MAP

SCALE: 1" = 600'




CONDE INC.
6080 SURETY DR. SUITE 100
ENG. - YVONNE CONDE CURRY
SURVEYOR - RON R. CONDE
EL PASO, TEXAS 79905
PHONE # (915) 692-0283

OWNER/DEVELOPER
EP TRANSMOUNTAIN RESIDENTIAL, L.L.C.
6080 SURETY DR. SUITE 300
EL PASO, TEXAS 79905
PHONE # (915) 692-0290

SCHOOL DISTRICT
CANUTILLO INDEPENDENT SCHOOL DISTRICT
7965 ARTCRAFT RD. EL PASO TX 79932

DATE OF PREPARATION: JULY 10, 2025



CONDE INC.
ENGINEERING / PLANNING
GPS / SURVEYING / CAD
6080 SURETY DR. STE 100
EL PASO, TEXAS 79905
PHONE: (915) 692-0283
FAX: (915) 692-0286 PERM 100781000

- NOTES:
1. WATER AND SEWER SERVICES HAS BEEN EXTENDED TO THIS SUBDIVISION (ENCHANTED HILLS UNIT FIVE, REPLAT B) FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES.
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 9. BEARINGS BASED ON PLAT OF ENCHANTED HILLS UNIT FIVE RECORDED IN CLERKS FILE NO. 20210037543, REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS.
 10. PARCELS NORTH AND SOUTH OF THIS ROUNDABOUT SHALL HAVE NO ADDITIONAL ACCESS LOCATIONS ON HUNTER FOSTER DR. BETWEEN N. DESERT BLVD. AND ENCHANTED PASS DR.

Enchanted Hills Unit Five Replat B

City Plan Commission — October 9, 2025



CASE NUMBER/TYPE:	SUSU25-00078 – Resubdivision Combination
CASE MANAGER:	Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov
PROPERTY OWNER:	EP Transmountain Residential, LLC
REPRESENTATIVE:	Conde, Inc.
LOCATION:	North of Woodrow Bean Transmountain Rd. and East of Interstate 10 (District 1)
PROPERTY AREA:	1.66 acres
VESTED RIGHTS STATUS:	Not Vested
PARK FEES:	Park Fees Not Required
ZONING DISTRICT(S):	C-3/c (Commercial/conditions)

SUMMARY OF RECOMMENDATION: Staff recommends **APPROVAL** of Enchanted Hills Unit Five Replat B on a Resubdivision Combination basis.

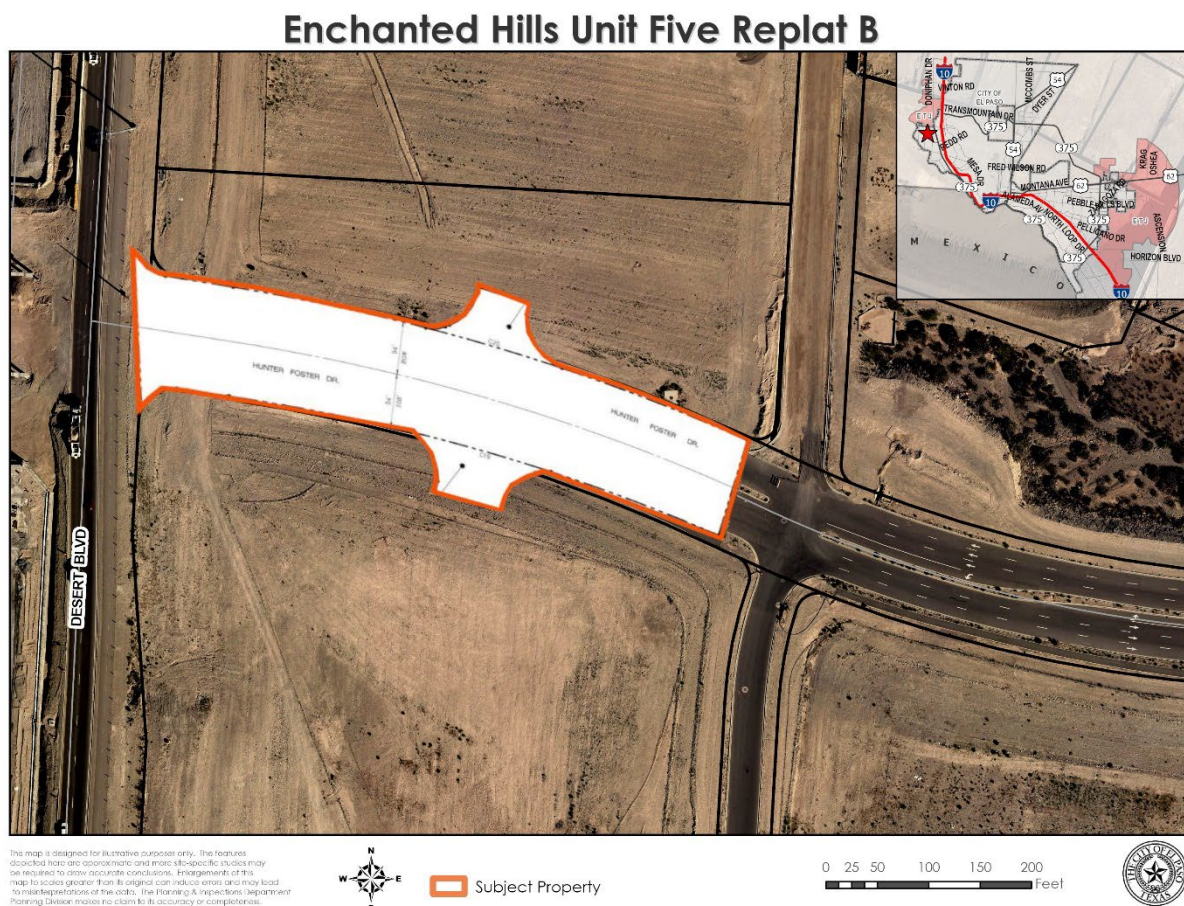


Figure A: Proposed plat with surrounding area

DESCRIPTION OF REQUEST: The applicant is proposing to resubdivide 1.66 acres of land to dedicate to the City of El Paso some right-of-way (ROW) for the construction of a round-about along Hunter Foster Drive. Drainage will be conveyed by surface run off to drainage that feeds into the pond of Enchanted Pass Drive. This application was reviewed under the current subdivision code.

CASE HISTORY/RELATED APPLICATIONS: N/A

NEIGHBORHOOD CHARACTER: Surrounding neighborhood characteristics are identified in the following table.

Surrounding Zoning and Use	
North	C-3/c (Commercial/ conditions) / Vacant land
South	C-3/c (Commercial/ conditions) / Vacant land
East	C-2/c (Commercial/ conditions) and R-5/c (Residential/contract) / Vacant land
West	C-3/c (Commercial/ conditions) / Commercial development and vacant land
Nearest Public Facility and Distance	
Park	Enchanted Hills Park #3 (0.49 mi.)
School	Northwest Early, College Canutillo ISD (1.8 mi.)
Plan El Paso Designation	
G-4, Suburban (Walkable)	
Impact Fee Service Area	
Westside	

PUBLIC COMMENT: N/A

PLAT EXPIRATION: This application will expire on **October 9, 2028**. If the final plat has not been recorded within the specified date, the final plat approval, unless extended in accordance with El Paso City Code Chapter 19.41 (Expiration, extension and reinstatement), shall expire and the applicable plat shall be deemed null and void.

CITY PLAN COMMISSION OPTIONS:

Subdivision

City Plan Commission (CPC) has sole and final authority on subdivision matters. Subdivision applications in conformance with all applicable code provisions shall be approved by the CPC. When a plat is brought forward to the CPC for review, the Commission may take any of the following actions:

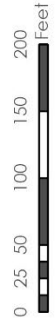
1. **Approval:** The CPC finds that the proposed plat is in conformance with all applicable requirements of Title 19 of the El Paso City Code. **(Staff Recommendation)**
2. **Approval with Conditions:** The CPC may impose conditions that bring the proposed plat into conformance with all applicable requirements of Title 19 of the El Paso City Code.
3. **Denial:** The CPC finds that the proposed plat is not in conformance with all applicable requirements of Title 19 of the El Paso City Code.

ATTACHMENTS:

1. Aerial Map
2. Preliminary Plat
3. Final Plat
4. Application
5. Department Comments

ATTACHMENT 1

Enchanted Hills Unit Five Replat B



Subject Property

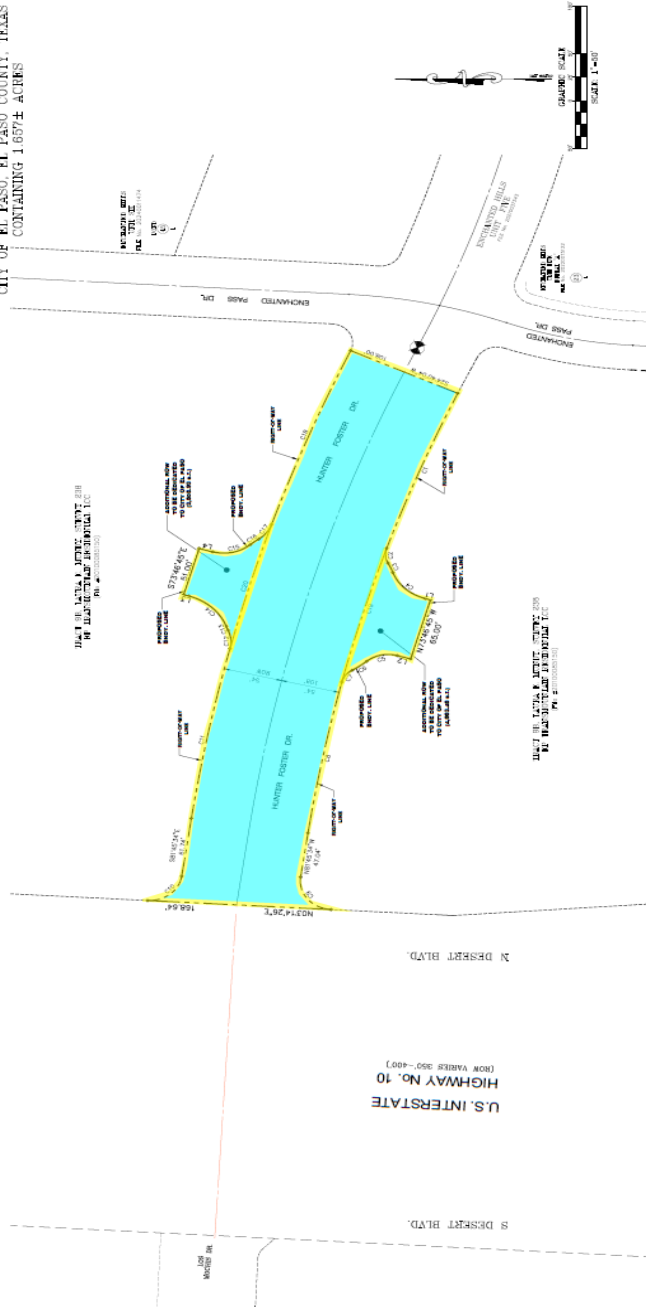


This map is designed for illustrative purposes only. The features shown on this map are not intended to be used for legal purposes. The map may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce error and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

ATTACHMENT 3

ENCHANTED HILLS UNIT FIVE REPLAT B

BEING A REPLAT OF A PORTION OF HUNTER FOSTER DE.,
ENCHANTED HILLS UNIT FIVE AND PORTION
OF DEED OF LUTHER A. MURPHY, SURVEY 2488,
CITY OF EL PASO, EL PASO COUNTY, TEXAS
CONTAINING 1.6574 ACRES

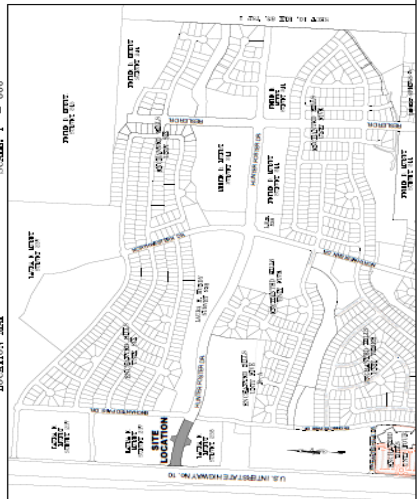


CITY DATA			
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CITY DATA	
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100	1.6574

SCHOOL DISTRICT
CITY OF EL PASO, TEXAS
COUNTY OF EL PASO, TEXAS

SCALE: 1" = 600'



1. THE CITY OF EL PASO, TEXAS, HAS ADOPTED THE FOLLOWING RESOLUTION:
2. THE CITY OF EL PASO, TEXAS, HAS ADOPTED THE FOLLOWING RESOLUTION:
3. THE CITY OF EL PASO, TEXAS, HAS ADOPTED THE FOLLOWING RESOLUTION:
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9. THE CITY OF EL PASO, TEXAS, HAS ADOPTED THE FOLLOWING RESOLUTION:
10. THE CITY OF EL PASO, TEXAS, HAS ADOPTED THE FOLLOWING RESOLUTION:

RECORDING
THIS INSTRUMENT IS FOR RECORDING IN THE PUBLIC RECORDS OF THE CITY OF EL PASO, TEXAS, AND THE COUNTY OF EL PASO, TEXAS.

NOTARIAL
I, _____, Notary Public in and for the State of Texas, do hereby certify that the foregoing is a true and correct copy of the original instrument filed for recording in my office on this _____ day of _____, 2025.



CITY PLAN COMMISSION
The City Plan Commission is a body of the City of El Paso, Texas, created by Ordinance No. 100,000, which was adopted on May 1, 1990. The Commission is composed of seven members, five of whom are appointed by the City Council and two are appointed by the Mayor. The Commission's duties include reviewing and recommending to the City Council the adoption of the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.

APPROVED BY THE CITY COUNCIL
This instrument was approved by the City Council of the City of El Paso, Texas, on this _____ day of _____, 2025.

APPROVED BY THE MAYOR
This instrument was approved by the Mayor of the City of El Paso, Texas, on this _____ day of _____, 2025.

APPROVED BY THE CITY CLERK
This instrument was approved by the City Clerk of the City of El Paso, Texas, on this _____ day of _____, 2025.

APPROVED BY THE CITY ATTORNEY
This instrument was approved by the City Attorney of the City of El Paso, Texas, on this _____ day of _____, 2025.

APPROVED BY THE CITY ENGINEER
This instrument was approved by the City Engineer of the City of El Paso, Texas, on this _____ day of _____, 2025.

ATTACHMENT 4



RESUBDIVISION COMBINATION APPLICATION

DATE: July 28, 2025

FILE NO. _____

SUBDIVISION NAME: ENCHANTED HILLS UNIT FIVE REPLAT "B"

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)
BEING A REPLAT OF A PORTION OF HUNTER FOSTER DR., ENCHANTED HILLS UNIT FIVE, AND PORTION OF TRACT 9B, LAURA E. MUNDY SURVEY 238, CITY OF EL PASO, EL PASO COUNTY, TEXAS

2. Property Land Uses:

	<u>ACRES</u>	<u>SITES</u>		<u>ACRES</u>	<u>SITES</u>
Single-family	_____	_____	Office	_____	_____
Duplex	_____	_____	Street & Alley	<u>1.657</u>	<u>1</u>
Apartment	_____	_____	Ponding & Drainage	_____	_____
Mobile Home	_____	_____	Institutional	_____	_____
P.U.D.	_____	_____	Other (specify below)	_____	_____
Park	_____	_____		_____	_____
School	_____	_____		_____	_____
Commercial	_____	_____	Total No. Sites	<u>1</u>	_____
Industrial	_____	_____	Total (Gross) Acreage	<u>1.657</u>	_____

3. What is existing zoning of the above described property? n/a Proposed zoning? n/a

4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? Yes ☐ No ☐ N/A

5. What type of utility easements are proposed: Underground ☐ Overhead ☐ Combination of Both ☒

6. What type of drainage is proposed? (If applicable, list more than one)

7. Are special public improvements proposed in connection with development? Yes ☐ No ☒

8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes _____ No ☒
If answer is "Yes", please explain the nature of the modification or exception _____

9. Remarks and/or explanation of special circumstances: _____

10. Improvement Plans submitted? Yes ☒ No ☐

11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes ☐ No ☒

If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Right

12. Owner of record EP Transmountain Residential, LLC, 6080 Surety Dr., Ste. 300, El Paso, TX 79905 915-592-0290
 (Name & Address) (Zip) (Phone)
13. Developer EP Transmountain Residential, LLC, 6080 Surety Dr., Ste. 300, El Paso, TX 79905 915-592-0290
 (Name & Address) (Zip) (Phone)
14. Engineer Conde, Inc., 6080 Surety Dr., Ste. 100 El Paso, TX 79905 (915) 592-0283
 (Name & Address) (Zip) (Phone)

OWNER SIGNATURE: 

REPRESENTATIVE SIGNATURE: 

REPRESENTATIVE CONTACT (PHONE): (915) 592-0283

REPRESENTATIVE CONTACT (E-MAIL): cconde@condeinc.com

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING
 UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND
 COMPLETENESS.

ATTACHMENT 5

Planning and Inspections Department- Planning Division

Developer / Engineer shall address the following comments:

1. Submit to the Planning & Inspections Department – Planning Division the following prior to recording of the subdivision:
 - a. Current certificate tax certificate(s)
 - b. Current proof of ownership.
 - c. Release of access document, if applicable.
 - d. Set of restrictive covenants, if applicable.
2. Include the representation of a tree on parkway area for proposed cross-section.

Planning and Inspections Department- Land Development Division

We have reviewed subject plats and recommend **Approval**.

The Developer/Engineer shall address the following comments

1. The subdivision shall be tied by bearing and distance to either a section corner, a survey line, a grant line, or other known and accepted survey points. This tie(s) shall be delineated on the plat. A subdivision tied to a horizontal control monument shall be tied to the monument by bearing course and distance.
2. Closure report is Ok.

Parks and Recreation Department

Please note that purpose for this Subdivision is for additional street right-of-way to Hunter Foster Dr. which under the Municipal Code is considered a "Public facility" therefore, meeting the requirements to be excluded from the calculation for parkland dedication ordinance Title 19 – Subdivision & Development Plats, **Chapter 19.20 Parks and Open Space** as noted below:

19.20.060 - Exclusions from Dedication Requirements.

Exclusions. The following shall be excluded from the calculation for parkland dedication. In all instances, the burden of proof shall be on the subdivider to demonstrate that the plat meets the requirements of this chapter:

H. Land shown within a subdivision, whether residential or nonresidential, which is designated for use as a "Public facility".

**Ord. 16882 § 2 (part), 2008; Ord. No. 17576, § 1, 6-7-2011; Ord. No. 17753, § 1, 3-20-2012;
Ord. No. 17905, § 6, 11-6-2012**

El Paso Central Appraisal District

No comments for Enchanted Hills #5 Replat B.

El Paso Water

El Paso Water (EPWater) do not object to this request.

The subject property is located within the City of El Paso Westside Impact Fee Service Area. Impact fees will be assessed at the time of plat and collected after El Paso Water receives an application for water and/or sanitary sewer services.

Water:

There is a 12-inch diameter water main that extends along Hunter Foster Dr. This water main is available to provide service.

Previous water pressure reading from fire hydrant #12268, located 126' north of Enchanted Falcon, has yielded a static pressure of 100 psi, a residual pressure of 88 psi, and a flow discharge of 1061 gallons per minute. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer and relief valve, to be set for pressure as desired by the customer. The lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

Sewer:

There is an 8-inch diameter sanitary sewer main that extends along Hunter Foster Dr. This sanitary sewer main is available to provide service.

General:

EPWater requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Streets and Maintenance Department**Traffic & Transportation Engineering**

- Follow TMUTCD regulations for Roundabout Signs and proper Illumination specifications for Roundabouts per NCHRP

Street Lights Department

Do not object to this request.

U. S. Interstate Highway No. 10 and N. Desert Dr. are Texas Department of Transportation (TXDOT) right-of-way (ROW).

For the development of a subdivision a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that all projects that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

City of El Paso Code to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management

- Indicate that any infrastructure located within the city right-of-way must comply with the Design Standards for Construction and the Municipal Code.
- Indicate that new asphalt paving must comply with applicable standards prior to acceptance, and any type of damage sustained to the pavement or surrounding infrastructure during construction must be properly restored.
- Confirm that all curb cut locations and driveway approaches comply with current city spacing and sight distance requirements.
- Indicate that, in accordance with the Design Standards for Construction (DSC), concrete curbs must be provided with expansion joint material every 50 feet, regardless of whether they are placed by machine or by hand.
- Ensure all transitions to existing roadways are smooth and free of trip hazards.

Texas Gas

Texas Gas Service has an exist. 6" gas main along Hunter Foster Rd. (see image below as reference).

Disclaimer: Texas Gas Service does not allow permanent structures nor trees to be installed on top of TGS gas mains or service lines. If a conflict is anticipated, the developer, contractors or owner representative should contact TGS to relocate the gas main and/or service at the developer's expense.

Stormwater Engineering

- EPWater – SW has reviewed the above-described subdivision and has no objection to its approval.

El Paso Electric

No comments for Enchanted Hills Unit Five Replat B.

Fire Department

No adverse comments.

Texas Department of Transportation

Requestor needs active permit for work in TXDOT ROW.

El Paso County Water Improvement District #1

The above-mentioned item is not within the boundaries of EPCWID.

El Paso County 911 District

No comments received.

El Paso County

No comments received.

Sun Metro

No comments received.



Legislation Text

File #: BC-1276, **Version:** 1

CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

SUSU25-00085: Canutillo Middle School Subdivision - All of Tract 7
and a portion of Tract 6, Block 11, Upper Valley
Surveys, City of El Paso, El Paso County, Texas.
Location: East of Westside Dr. and South of Artcraft Rd.
Existing Zoning: R-F (Ranch Farm)
Property Owner(s): Canutillo Independent School District
Representative: SLI Engineering, Inc.
District: 1
Staff Contact: Myrna Aguilar, (915) 212-1584,
AguilarMP@elpasotexas.gov

Canutillo Middle School Subdivision

City Plan Commission — October 9, 2025



CASE NUMBER/TYPE:	SUSU25-00085 – Major Combination
CASE MANAGER:	Myrna Aguilar, (915) 212-1584, AguilarMP@elpasotexas.gov
PROPERTY OWNER:	Canutillo Independent School District
REPRESENTATIVE:	SLI Engineering, Inc.
LOCATION:	East of Westside Dr. and South of Artcraft Rd.
PROPERTY AREA:	50.31 acres
VESTED RIGHTS STATUS:	Not Vested
PARK FEES:	Park Fees Not Required
EXCEPTIONS/MODIFICATIONS:	Yes, see following section
ZONING DISTRICT(S):	R-F (Ranch Farm)

SUMMARY OF RECOMMENDATION: Staff recommends **APPROVAL** of Canutillo Middle School Subdivision on a Major Combination basis and **DENIAL** of the exceptions request.

Applicant is requesting the following exceptions from the City Plan Commission:

- To waive the construction of a five-foot (5') sidewalk along Strahan Road.
- To waive the construction of one-foot (1') of roadway along Strahan Road.

Canutillo Middle School Subdivision



Figure A: Proposed plat with surrounding area

DESCRIPTION OF REQUEST: The applicant is proposing to subdivide 50.31 acres of land into three (3) lots ranging from 5.55 acres and 22.82 acres. Primary access to the subdivision will be provided via Strahan Road. The subdivision is intended to serve as the site of a middle school. Drainage will be managed through on-site ponding. This application is being reviewed in accordance with the current subdivision code and the Upper Valley Plan (Ordinance No. 18709).

CASE HISTORY/RELATED APPLICATIONS: The proposed subdivision is located within the Upper Valley Plan Area (Ordinance No. 18709) and complies with all applicable requirements.

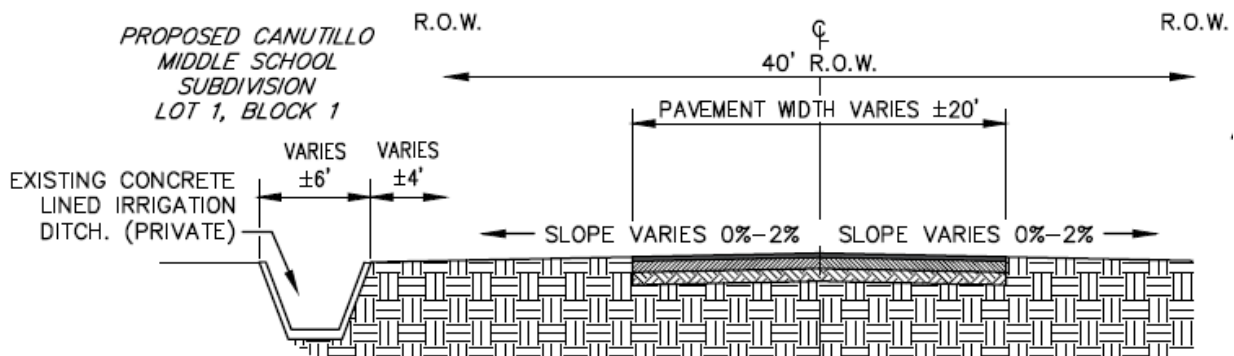
EXCEPTIONS, MODIFICATIONS, OR WAIVER REQUESTS: The applicant is requesting the following exceptions pursuant to El Paso City Code Section 19.10.050 (A)(1)(a) – (Roadway participation policies – Improvement of Roads and Utilities Within and or Abutting the Subdivision) of the current code. The exception includes the following:

1. To waive the construction of a five-foot (5') sidewalk along Strahan Road.
2. To waive the construction of a one-foot (1') roadway along Strahan Road.

REQUIRED CROSS-SECTION:

Local (48-62 ft. typ. ROW)							
Detailed design guidance begins on Page 60 of SDM							
		Travelway			Parking Zone	Accessory/Amenity Zones	Pedestrian Zone
		Typical Lanes/Widths	Medians/Accesses	EPBP Bike Facilities Focus	On-Street Parking	Streetscape Focus	Min. Sidewalk Width
Rural	O-3	2 lanes, 10-11 ft	N/A	N/A	Not Allowed	None	5 ft
	O-4						
	O-5						
	O-6						

EXISTING CROSS-SECTION:



EVALUATION OF EXCEPTION REQUEST: The exception requests to allow for the existing configuration to remain and to waive the construction of improvements meets the following criteria under El Paso City

Code 19.10.050(A)(1)(a) – (Roadway Participation Policies—Improvement of Roads and Utilities Within and or Abutting the Subdivision). The section reads as follows:

Section 19.10.050(A)(1)(a)

The City Plan Commission may waive such requirements to provide rights-of-way or street improvements to adjacent substandard roads based on any of the following factors:

a: Fifty per cent of the lots within a quarter mile of the proposed development have already been developed and the existing street improvements are in character with the neighborhood.

The exception request to waive the required improvements for Strahan Road meets the criteria of already developed and existing street improvements that are in character with the neighborhood.

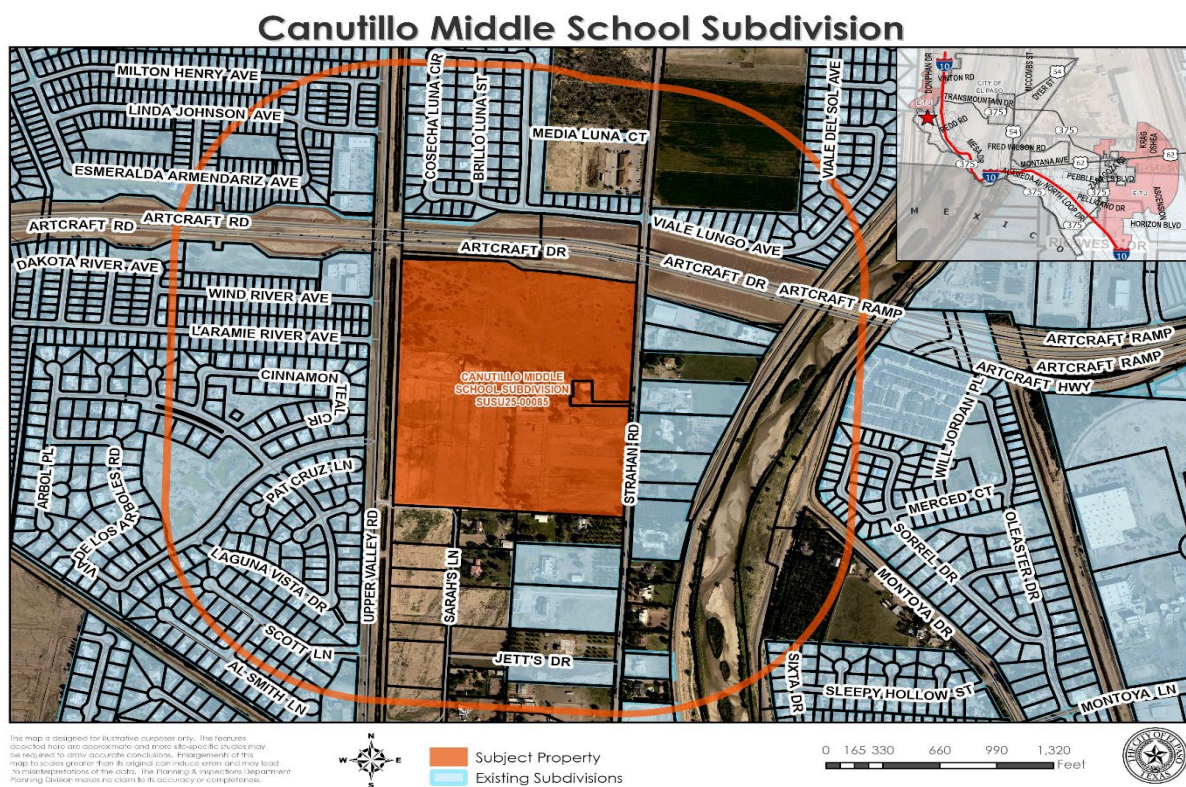


Figure B: Developed properties within a quarter mile of proposed subdivision

Although the request for exceptions meets the waiver criteria previously stated, staff recommends **Denial** of the waiver of the construction of sidewalk and additional roadway based on the following analysis:

- This is a corner property that can create the opportunity for initiating sidewalk connectivity in the area.
- Property located at the northeast corner of Artcraft Dr. and Strahan Rd. has already improved proportionate cross-section's sidewalk.
- Sidewalks will provide a safe route for pedestrian and enhance ADA access along Strahan Rd. and the proposed Middle School for Canutillo Independent School District.

NEIGHBORHOOD CHARACTER: Surrounding neighborhood characteristics are identified in the following table.

Surrounding Zoning and Use	
North	R-3/c (Residential/conditions) / Residential development
South	R-F (Ranch Farm) / Residential development and vacant
East	R-2/c (Residential/ conditions) and R-F (Ranch Farm) / Residential development
West	R-2/c/sp (Residential/ conditions /special permit) / Residential development C-2 (Commercial) / Commercial development R-3A (Residential) / Residential development
Nearest Public Facility and Distance	
Park	River Park WEst (0.25 mi.)
School	Jose H. Damian Elementary (0.40 mi.)
Plan El Paso Designation	
O-3, (Agriculture)	
Impact Fee Service Area	
N/A	

PUBLIC COMMENT: N/A”

PLAT EXPIRATION: This application will expire on **October 9, 2028**. If the final plat has not been recorded within the specified date, the final plat approval, unless extended in accordance with El Paso City Code Chapter 19.41 (Expiration, extension and reinstatement), shall expire and the applicable plat shall be deemed null and void.

CITY PLAN COMMISSION OPTIONS:

Subdivision

City Plan Commission (CPC) has sole and final authority on subdivision matters. Subdivision applications in conformance with all applicable code provisions shall be approved by the CPC. When a plat is brought forward to the CPC for review, the Commission may take any of the following actions:

1. **Approval:** The CPC finds that the proposed plat is in conformance with all applicable requirements of Title 19 of the El Paso City Code. **(Staff Recommendation)**
2. **Approval with Conditions:** The CPC may impose conditions that bring the proposed plat into conformance with all applicable requirements of Title 19 of the El Paso City Code.
3. **Denial:** The CPC finds that the proposed plat is not in conformance with all applicable requirements of Title 19 of the El Paso City Code.

Waiver, Exception, Modification Request(s)

The approval of waivers from, or exceptions or modifications to any applicable code provision is at the discretion of the CPC, in consideration of any criteria provided by the El Paso City Code for the review of such waivers, exceptions, or modifications. In evaluating the request(s), the CPC may take any of the following actions:

1. **Approval** of the waiver, exception, or modification request(s), finding that the request(s) is in conformance with the relevant review criteria provided by the El Paso City Code, as reflected in the Staff Report.
2. **Partial approval of the waiver, exception, or modification request(s)**, finding that the request(s) is partially in conformance with the relevant review criteria provided by the El Paso City Code.
3. **Denial** of the waiver, exception, or modification request(s), finding that the request(s) does not conform to the review criteria provided by the El Paso City Code, as reflected in the Staff Report.
(Staff Recommendation)

ATTACHMENTS:

1. Aerial Map
2. Preliminary Plat
3. Final Plat
4. Exception Request
5. Application
6. Department Comments

ATTACHMENT 1

Canutillo Middle School Subdivision

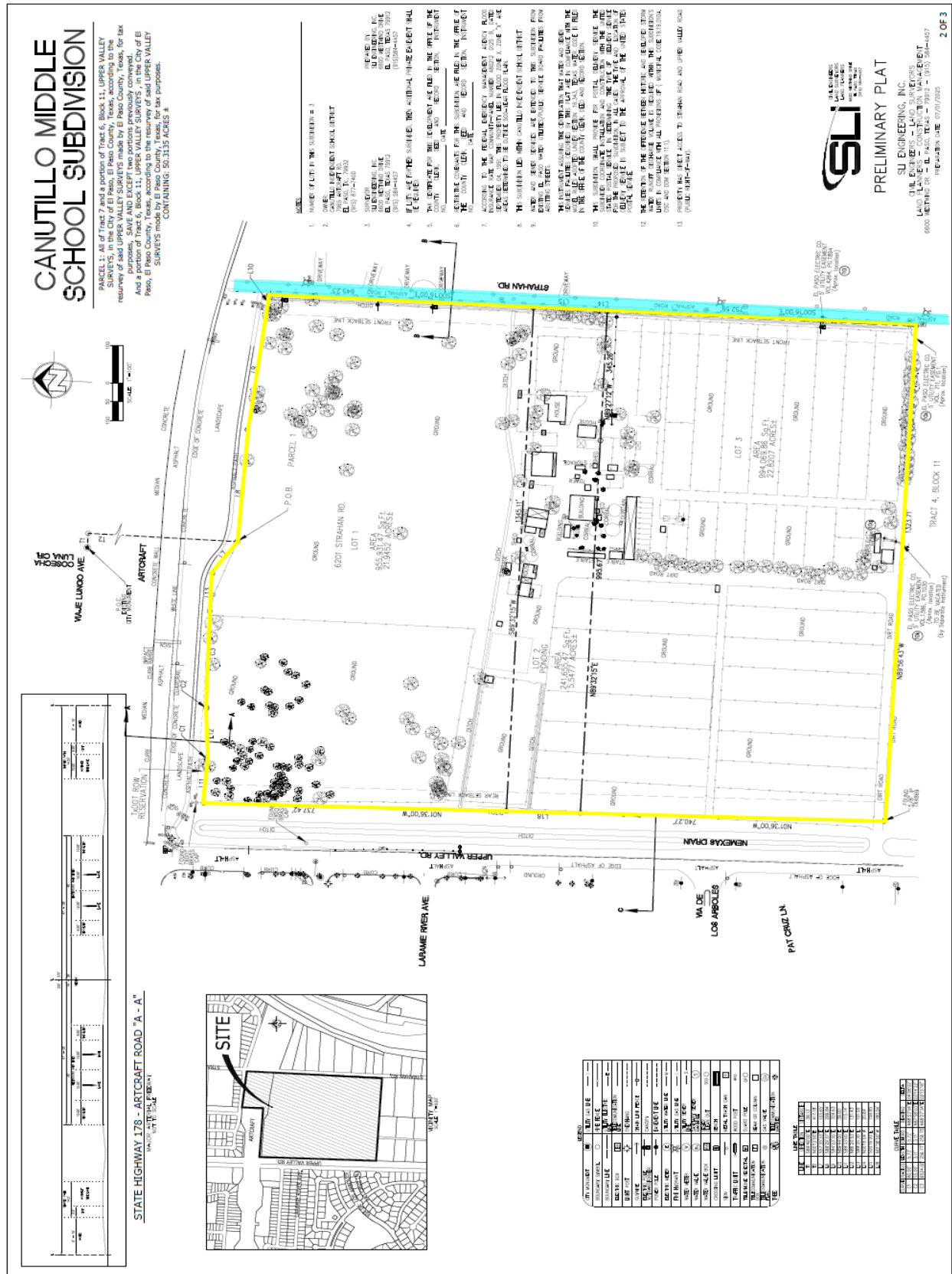


Subject Property



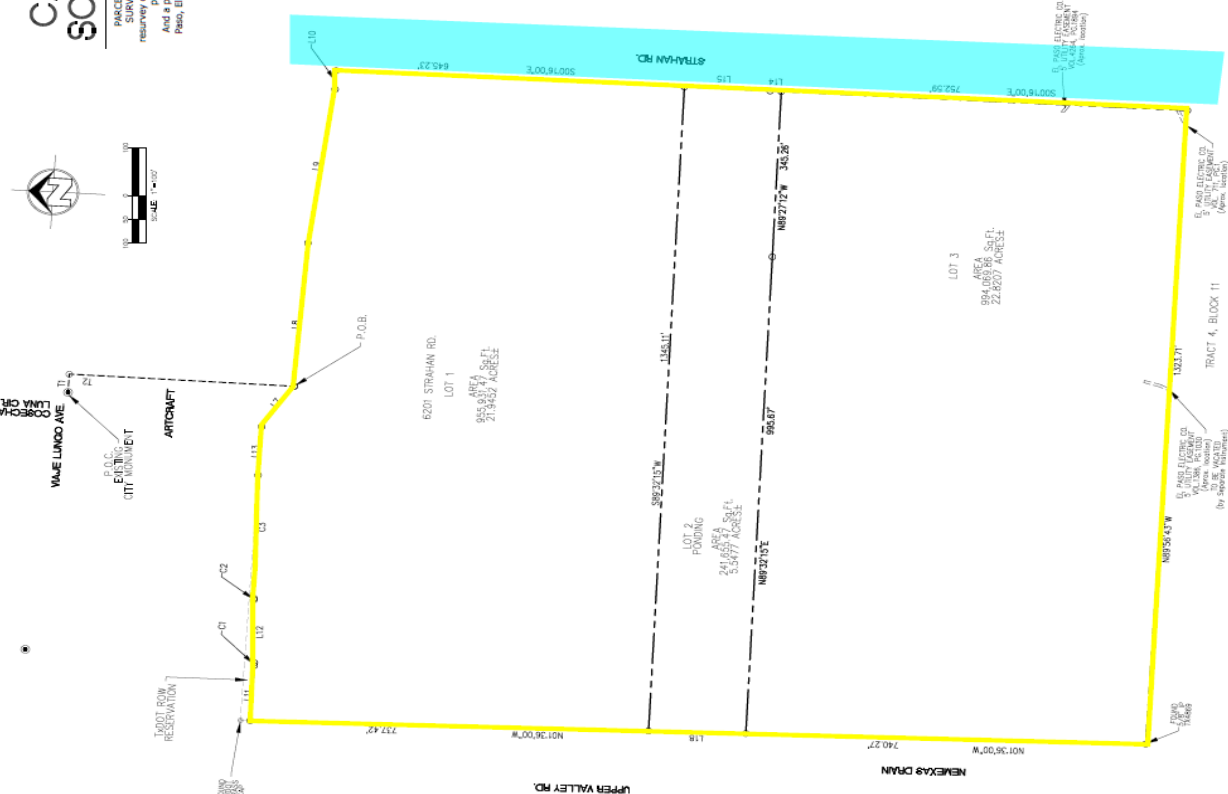
This map is designed for illustrative purposes only. The features depicted here are approximate and more detailed studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

ATTACHMENT 2



SUSU25-00085

DATE	TIME	NAME	AGE	SEX	HT	WT	HAIR	EYES	SKIN	TEETH	TOES	FEET	HAIR	EYES	SKIN	TEETH	TOES	FEET
10/10/77	10:00	JOHN	25	M	5'10"	170	B	B	F	1	10	10	B	B	F	1	10	10
10/10/77	10:00	JANE	25	F	5'08"	120	B	B	F	1	10	10	B	B	F	1	10	10
10/10/77	10:00	JOHN	25	M	5'10"	170	B	B	F	1	10	10	B	B	F	1	10	10
10/10/77	10:00	JANE	25	F	5'08"	120	B	B	F	1	10	10	B	B	F	1	10	10



ATTACHMENT 4



Page 1 of 2

August 08, 2025

Guillermo Licón, P.E.
President

Alex Alejandre
Planning Division
City of El Paso
711 Texas Street
El Paso Texas

Dear Alex

Subject: Canutillo Middle School, Subdivision waiver Request.

We cordially request a waiver for Code No. 19.10.050 - Roadway participation policies—Improvement of roads and utilities within and or abutting the subdivision of the Municipal Code, to eliminate the following condition:

➤ **Artcraft Road**

To waive the improvement of their proportionate share of streets abutting the subdivision, consisting of 44' of roadway, a 5-foot planter strip, and a 6-foot sidewalk.

Artcraft Road is a State Right of way. TXDOT is proposing the widening of such freeway and had already acquired the necessary right of way for the project. All improvement will be performed by the State.

➤ **Upper Valley Road.**

To waive the improvement of their proportionate share of streets abutting the subdivision, consisting of 25' of roadway, a 5-foot planter strip, and a 6-foot sidewalk.

Upper Valley Road is not directly adjacent to the School site. The Nemexas Drain, property of El Paso County Water District No. 1, is adjacent to the site. CISD is securing an agreement with the Water District to build a deceleration lane within their right of way. Sidewalks will be built adjacent to the school site.

➤ **Strahan Road.**

To waive the improvement of their proportionate share of streets abutting the subdivision, consisting of 16' of roadway, a 9-foot swale, and a 5-foot sidewalk. We could only dedicate 6 feet since the adjacent structure is a concrete lined channel.

Civil Engineers
Land Surveyors & Planners
Construction Management

Licensed Registered Engineers
Texas - New Mexico
Arizona - Colorado

6600 Westwind Drive
El Paso, TX 79912
Phone (915) 584-4457
Fax (915) 581-7756

➤ Sarah Lane .

To waive the improvement of their proportionate share of streets abutting the subdivision, consisting of 16' of roadway, a 9-foot swale, and a 5-foot sidewalk.

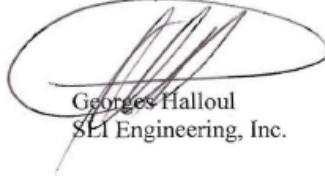
Sarah Lane is dead ends at the property and is not adjacent to the site.

The existing configuration is guided by a comprehensive master plan that addresses both current and future development needs. We are maintaining consistency by utilizing the same cross section implemented in previous phases.

This configuration will not be detrimental to the public health, safety and welfare and will be in character with the neighborhood.

Thank you for your assistance and consideration.

Sincerely;



Georges Halloul
SLI Engineering, Inc.

ATTACHMENT 5



MAJOR COMBINATION APPLICATION

DATE: 8-15-2025

FILE NO. _____

SUBDIVISION NAME: CANUTILLO MIDDLE SCHOOL

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)

PARCEL 1: All of Tract 7 and a portion of Tract 6, Block 11, UPPER VALLEY SURVEYS, in the City of El Paso, El Paso County, Texas, according to the resurvey of said UPPER VALLEY SURVEYS made by El Paso County, Texas, for tax purposes, SAVE AND EXCEPT two portions previously conveyed. And a portion of Tract 6, Block 11, UPPER VALLEY SURVEYS, in the City of El Paso, El Paso County, Texas, according to the resurvey of said UPPER VALLEY SURVEYS made by El Paso County, Texas, for tax purposes. CONTAINING: 50.3135 ACRES ±

2. Property Land Uses:

	ACRES	SITES		ACRES	SITES
Single-family	_____	_____	Office	_____	_____
Duplex	_____	_____	Street & Alley	_____	_____
Apartment	_____	_____	Ponding & Drainage	_____	_____
Mobile Home	_____	_____	Institutional	_____	_____
P.U.D.	_____	_____	Other (specify below)	_____	_____
Park	_____	_____		_____	_____
School	50.3135	5		_____	_____
Commercial	_____	_____	Total No. Sites	5	_____
Industrial	_____	_____	Total (Gross) Acreage	50.3135	_____

3. What is existing zoning of the above described property? R-F Proposed zoning? SAME

4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? Yes ☐ No ☐

5. What type of utility easements are proposed: Underground ☐ Overhead ☐ Combination of Both ☒

6. What type of drainage is proposed? (If applicable, list more than one)

ON SITE PONDING

7. Are special public improvements proposed in connection with development? Yes ☒ No ☐

8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes ☒ No ☐
If answer is "Yes", please explain the nature of the modification or exception STREET IMPROVEMENT

9. Remarks and/or explanation of special circumstances:

10. Improvement Plans submitted? Yes ☐ No ☒

11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes ☐ No ☒


If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Rights

Planning & Inspections Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

12. Owner of record Canutillo Independent School District, 7965 Aircraft Rd, El Paso, TX 79936 915-877-7400
 (Name & Address) (Zip) (Phone)

13. Developer same
 (Name & Address) (Zip) (Phone)

14. Engineer SLI ENGINEERING, INC. 6600 westwind 79912 915 584 4457
 (Name & Address) (Zip) (Phone)

OWNER SIGNATURE:  8/20/25
 Digitally signed by georges

REPRESENTATIVE SIGNATURE: georges
 Date: 2025.08.18 11:13:01 -06'00'

REPRESENTATIVE CONTACT (PHONE): 915 203 7277

REPRESENTATIVE CONTACT (E-MAIL): ghalloul@sl-engineering.com

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING
 UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND
 COMPLETENESS.

Planning & Inspections Department
 811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

ATTACHMENT 6

Planning and Inspections Department- Planning Division

Developer / Engineer shall address the following comments:

1. Submit to the Planning & Inspections Department – Planning Division the following prior to recording of the subdivision:
 - a. Current certificate tax certificate(s)
 - b. Current proof of ownership.
 - c. Release of access document, if applicable.
 - d. Set of restrictive covenants, if applicable.
2. Clarify how many lots Plat is showing 3 lots, however, plat notes indicate only 1.
3. Provide block number on both preliminary and final plats.
4. Addresses missing for all lots within the subdivision required.
5. Revise “Minor Subdivision Approval” statement to “City Plan Commission Approval” statement.

Planning and Inspections Department- Land Development Division

We have reviewed subject plats and recommend Approval.

The Developer/Engineer shall address the following comments.

1. Provide subdivision improvement plans to Land Development for proposed public improvements as per application.
2. TXDOT review and approval are required of the proposed subdivision for drainage and access requirements. No storm-water is allowed into TXDOT R.O.W.
3. The property area will be in the Flood zone according to the preliminary future FEMA maps. Meaning; that according to current maps from FEMA, the property is not in the flood zone area, but the property will be in the flood zone area in the future when new maps become effective. it is recommended to build 1foot above the preliminary BFE for on the affected lots.
4. Coordinate plat with the Water Improvement District #1 for any requirements abutting an irrigation lateral (Nemexas Drain). Verify if lot has water rights and/or easements.
5. Verify Preliminary and Final plat, does not coincide with vicinity map?
6. Provide and label On-site ponding notes on Preliminary and Final plat.
Update note #12 to read: “This subdivision is subject to on-site ponding as per (SDM panel 1-4C-J, 19.19.010A and DDM, 11.1).”
7. Provide a 6ft rock wall from the high side around the proposed ponds and/or abutting Nemexas drain at the time of grading permit submittal.
8. The design of all ponds must conform with Street Design Manual, DSC. Pond Access road shall have a minimum width of 20' (As per DSC Section 2-2B.7). Show maintenance access road and ramp location. Label ponds as either “private pond” or “public pond” as applicable.

Parks and Recreation Department

Please note that purpose for this Subdivision is for a school that under the Municipal Code is considered a "Public facility" therefore, meeting the requirements to be excluded from the calculation for parkland dedication ordinance Title 19 – Subdivision & Development Plats, **Chapter 19.20 Parks and Open Space** as noted below:

19.20.060 - Exclusions from Dedication Requirements.

Exclusions. The following shall be excluded from the calculation for parkland dedication. In all instances, the burden of proof shall be on the subdivider to demonstrate that the plat meets the requirements of this chapter:

H. Land shown within a subdivision, whether residential or nonresidential, which is designated for use as a "Public facility".

Ord. 16882 § 2 (part), 2008; Ord. No. 17576, § 1, 6-7-2011; Ord. No. 17753, § 1, 3-20-2012; Ord. No. 17905, § 6, 11-6-2012

If density/acreage is increased /decreased or the property zoning /use changes, then "Park fees" will be re-assessed based on applicable conditions.

El Paso Electric

Please note the existing line in the center of the parcel as a 5' wide easement.

El Paso County Water Improvement District #1

Submit an application, \$500 application fee and three irrigable land exhibits to the office located at 13247 Alameda in Clint, Texas.

Texas Department of Transportation

Submit construction plans to TXDOT for grading and drainage review and approval.

El Paso Central Appraisal District

Needs block number 1.

El Paso Water

Stormwater Engineering

1. Provide an acceptable Stormwater Management plan in accordance with Section 19.19.030 of the current subdivision ordinance.
2. Show and Label drainage flow patterns on the preliminary plat and identify the final location of all the stormwater runoff.
3. At the improvement plan stage, provide protection to the subdivision from all offsite storm water runoff that may have an adverse impact on any improvements and convey the existing watercourse through the subdivision.
4. As per the Municipal Code: new developments and redevelopments are required to maintain the pre-development hydrologic response in their post-development state as nearly as practicable to reduce flooding. The code also encourages the use of nonstructural storm water management such as the preservation of green space, water harvesting, and other conservation efforts, to the maximum extent practicable, per Section 19.19.010.
5. EPWater-SW requires on-site retention of all developed runoff; ensure runoff does not flow off-site.

Streets and Maintenance Department

Traffic Engineering

- Add an internal vehicle distribution map, and include commentary on the vehicle circulation diagram for student drop-off and pick-up during AM and PM hours.
- On the lower (Nemexas Drain) canal bridge: clarify whether it will be reconstructed for the new development or remain "as is."
- Describe how pedestrian access to Canutillo Middle School will be designed via Upper Valley Road.
- In the TIA report, under the "Existing Turning Movement / Projected Traffic Maps" section (starting on page 18), correct all numbers that are illegible or overlapping.
- Include an intersection capacity (LOS) analysis for the two driveways at Canutillo Middle School that front Upper Valley Road.
- Add to the report a description and delineation of the "Emergency Access" point(s).
- Explain why the fiscal year "2045" appears in the LOS (Level of Service) table (e.g., on page 56). LOS can only be predicted 5 years out.
- Correct the study-limit intersections description to reflect exactly which intersections were included in the analysis (see page 13).

- Note that the new posted speed limit on Upper Valley Road and Westside Drive is 35 mph.
- Review and verify all LOS tables in the report—some values do not align with the range table provided.

Street Lights Department does not object to this request.

Artcraft Rd. or TX-178 is a Texas Department of Transportation (TXDOT) right-of-way (ROW).

For the development of the subdivision a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that all projects that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management

- Indicate that any infrastructure that is on City right-of-way must be done as per Design Standards for Construction and Municipal Code.
- Identify and label any required improvements within the City right-of-way, such as new driveways, sidewalks, curb ramps, and street widening, if applicable.
- Submit complete set of plans for the proposed development.

Fire Department

No adverse comments.

Texas Gas

No comments received.

El Paso County 911 District

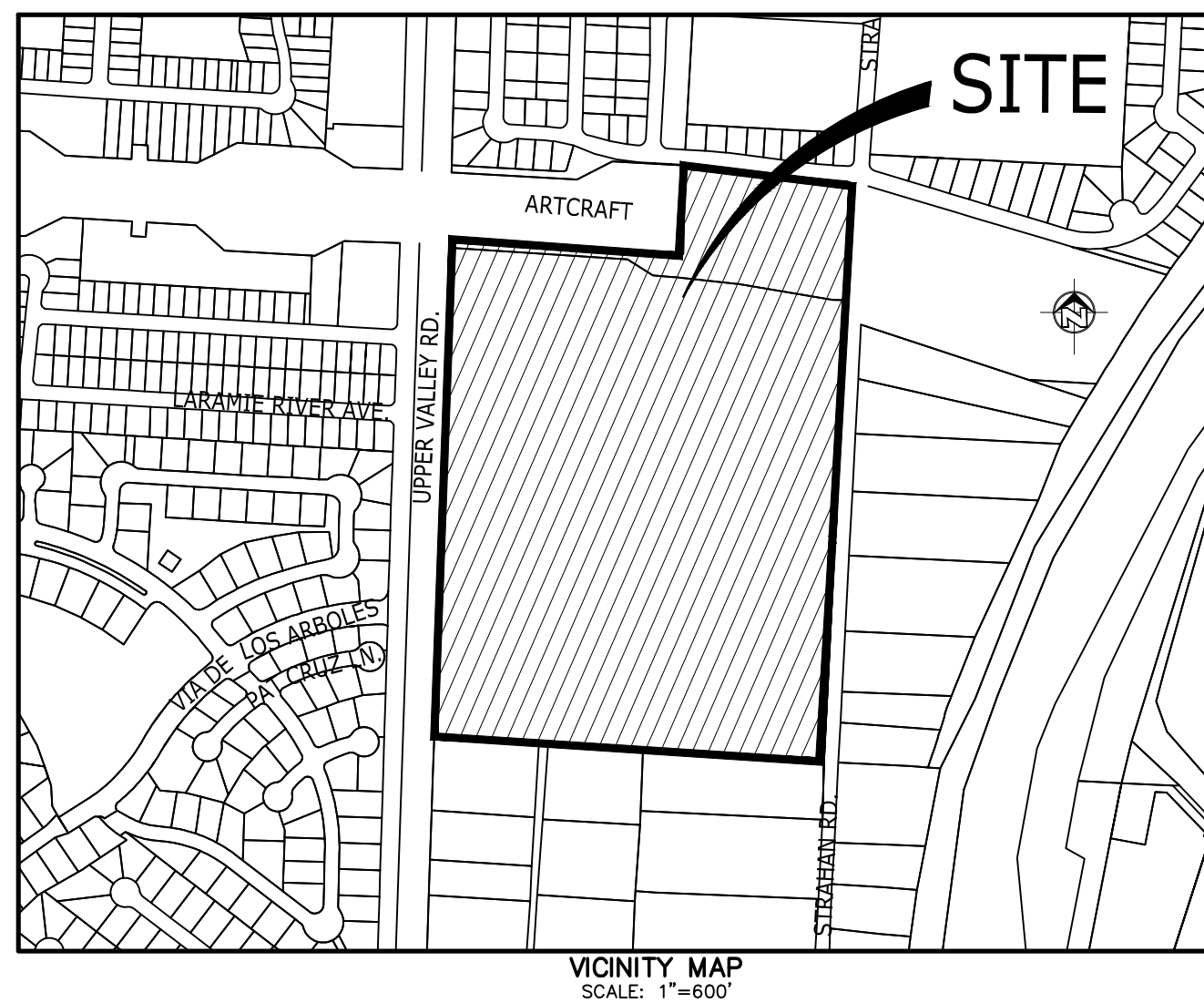
No comments received.

El Paso County





No comments received.

Sun Metro

No comments received.

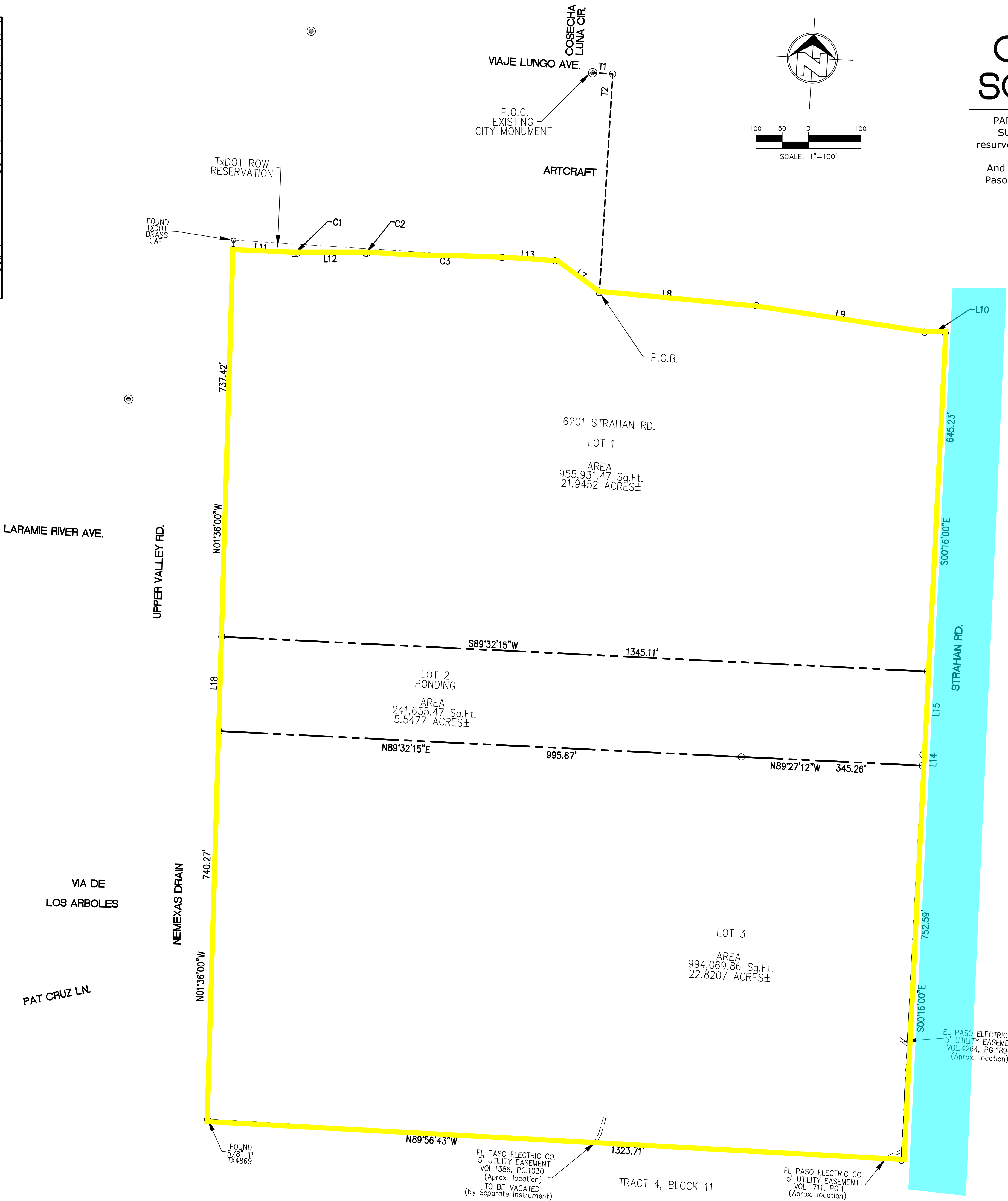


1. IF LOTS ARE FURTHER SUBDIVIDED, THEN ADDITIONAL PRIVATE EASEMENT SHALL BE REQUIRED.
2. TAX CERTIFICATE FOR THIS DEVELOPMENT ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION, INSTRUMENT NO. _____, DATE _____.
3. RESTRICTIVE COVENANTS FOR THIS SUBDIVISION ARE FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION, INSTRUMENT NO. _____, DATE _____.
4. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 480212 0125 B, DATED SEPTEMBER 04, 1991, THIS PROPERTY LIES IN FLOOD ZONE X. ZONE "X" ARE AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
5. THIS SUBDIVISION LIES WITHIN CANUTILLO INDEPENDENT SCHOOL DISTRICT.
6. WATER AND SEWER SERVICES ARE EXTENDED TO THIS SUBDIVISION FROM EXISTING EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD FACILITIES FROM ABUTTING STREETS.
7. THIS INSTRUMENT ASSURING THE CERTIFICATION THAT WATER AND SEWER SERVICES FACILITIES DESCRIBED BY THIS PLAT ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, TEXAS WATER CODE IS FILED IN THE OFFICE OF THE COUNTY CLERK, DEED AND RECORD SECTION.
7. THIS SUBDIVISION SHALL PROVIDE FOR POSTAL DELIVERY SERVICE, THE SUBDIVIDER COORDINATE INSTALLATION AND CONSTRUCTION WITH THE UNITED STATES POSTAL SERVICE IN DETERMINING THE TYPE OF DELIVERY SERVICE FOR THE PROPOSED SUBDIVISION, IN ALL CASES THE TYPE AND LOCATION OF DELIVERY SERVICE IS SUBJECT TO THE APPROVAL OF THE UNITED STATES POSTAL SERVICE.
8. 12. THE RETENTION OF THE DIFFERENCE BETWEEN HISTORIC AND DEVELOPED STORM WATER RUNOFF DISCHARGE VOLUME IS REQUIRED WITHIN THIS SUBDIVISION'S LIMITS IN COMPLIANCE WITH ALL PROVISIONS OF (MUNICIPAL CODE 19.19.010A, DSC AND DDM SECTION 11.1).
9. PROPERTY HAS DIRECT ACCESS TO STRAHAN ROAD AND UPPER VALLEY ROAD (PUBLIC RIGHT-OF-WAY).

LEGEND	
CITY MONUMENT	
BOUNDARY SYMBOL	
BOUNDARY LINE	
EASEMENT LINE	

LINE TABLE		
LINE	DIRECTION	DISTANCE
T1	S89°48'00"E	38.13'
T2	N00°12'00"E	417.18'
L7	S57°35'33"E	103.65'
L8	S88°29'37"E	299.84'
L9	S84°23'35"E	324.63'
L10	N89°44'00"E	39.00'
L11	S89°33'05"E	115.14'
L12	N86°20'53"E	131.43'
L13	S89°35'35"E	101.55'
L14	N00°16'04"W	20.64'
L15	S00°16'00"E	158.85'
L18	N01°36'00"W	180.04'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	80.00'	5.73'	5.72'	N88°23'54"E	04°06'02"
C2	55.00'	3.11'	3.11'	N87°58'03"E	03°14'22"
C3	6524.00'	256.77'	256.75'	N88°27'34"E	02°15'18"



CANUTILLO MIDDLE SCHOOL SUBDIVISION

PARCEL 1: All of Tract 7 and a portion of Tract 6, Block 11, UPPER VALLEY SURVEYS, in the City of El Paso, El Paso County, Texas, according to the resurvey of said UPPER VALLEY SURVEYS made by El Paso County, Texas, for tax purposes, SAVE AND EXCEPT two portions previously conveyed. And a portion of Tract 6, Block 11, UPPER VALLEY SURVEYS, in the City of El Paso, El Paso County, Texas, according to the resurvey of said UPPER VALLEY SURVEYS made by El Paso County, Texas, for tax purposes.

CONTAINING: 50.3135 ACRES ±

DEDICATION

CANUTILLO INDEPENDENT SCHOOL DISTRICT, OWNER OF THIS LAND HEREBY PRESENTS THIS MAP.
OWNER OF THIS LAND HEREBY PRESENTS THIS MAP.

Dr. Pedro Galaviz
SCHOOL SUPERINTENDENT
CANUTILLO INDEPENDENT SCHOOL DISTRICT

ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF EL PASO

BEFORE ME, THE THE UNDERSIGNED AUTHORITY, PUBLIC, ON THIS DAY PERSONALLY APPEARED Dr. Pedro Galaviz, SCHOOL SUPERINTENDENT, CANUTILLO INDEPENDENT SCHOOL DISTRICT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGE, TO ME THAT HE EXECUTED THE SAME AS THE ACT AND DEED OF SAID COMPANY FOR THE PURPOSE AND CONSIDERATION HEREIN EXPRESSED.

NOTARY PUBLIC, STATE OF TEXAS MY COMMISSION EXPIRES:

MINOR SUBDIVISION APPROVAL

THIS SUBDIVISION IS HEREBY APPROVED AS TO THE PLATTING AND AS TO THE CONDITIONS OF THE DEDICATION IN ACCORDANCE WITH CHAPTER 212 OF THE LOCAL GOVERNMENT CODE OF TEXAS THIS _____ DAY OF _____, 2025 A.D.

EXECUTIVE SECRETARY	SUBDIVISION COORDINATOR
---------------------	-------------------------

APPROVED FOR FILING THIS _____ DAY OF _____, 2025, A.D.

PLANNING AND INSPECTIONS DIRECTOR

F I L I N G

FILED AND RECORDED IN THE OFFICE OF THE COUNTY CLERK OF EL PASO COUNTY, TEXAS, THIS
____ DAY OF _____, 2025, A.D., IN FILE NO. _____ OF THE PLAT
RECORD.

COUNTY CLERK

BY DEPUTY

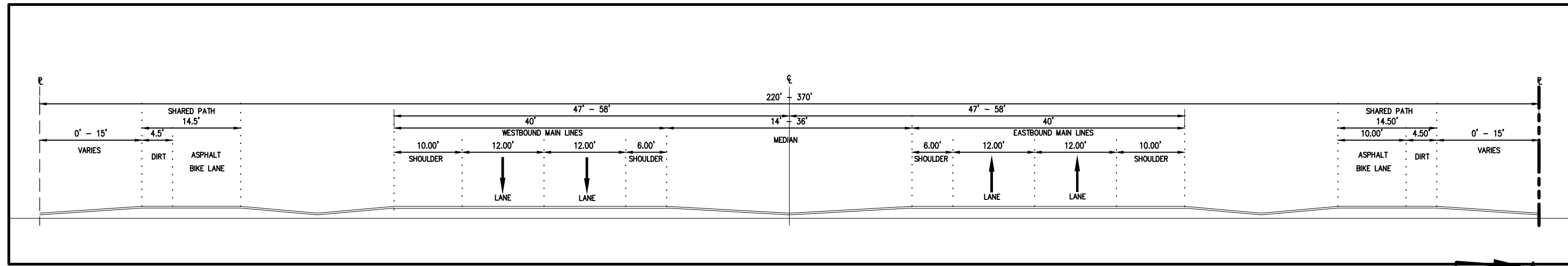
THIS PLAT REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND IS IN COMPLIANCE WITH THE CURRENT TEXAS BOARD OF PROFESSIONAL LAND SURVEYING PROFESSIONAL AND TECHNICAL STANDARDS.

GUILLERMO LICON, RPLS 2998

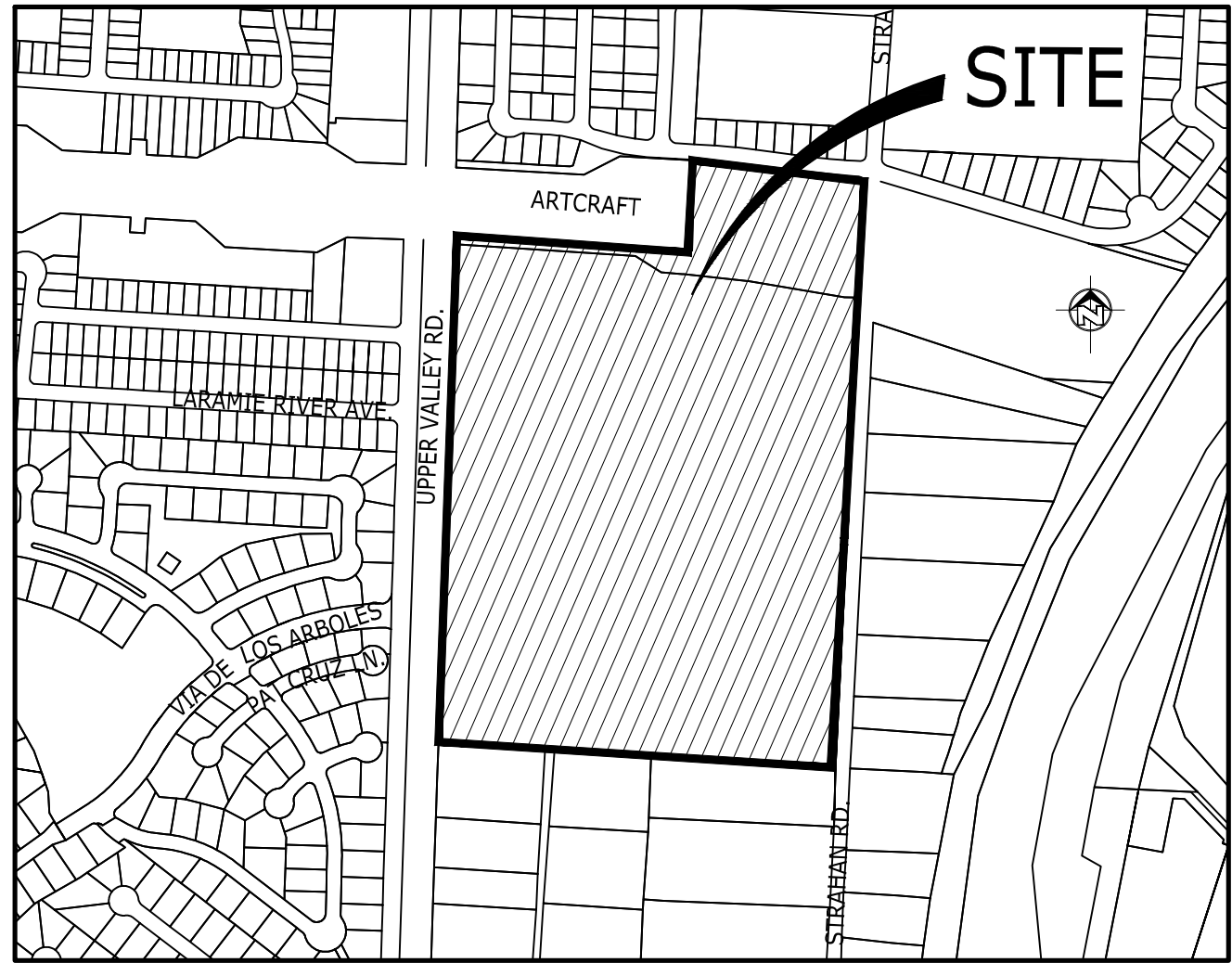


FINAL PLAT
LI ENGINEERING, INC

CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - CONSTRUCTION MANAGEMENT
6600 WESTWIND DR. - EL PASO, TEXAS - 79912 - (915) 584-4457
PREPARATION DATE: 07/01/2025



STATE HIGHWAY 178 - ARTCRAFT ROAD "A - A"
MAJOR ARTERIAL FREEWAY
NOT TO SCALE



VICINITY MAP
SCALE: 1"=600'

LEGEND	
QTY MONUMENT	UTILITY GAS LINE
BOUNDARY SYMBOL	PIPE FENCE
BOUNDARY LINE	UTILITY ELECTRIC LINE
ELECTRIC BOX	TELECOMMUNICATION LINE
LIGHT POST	OVERHANG
GUYWIRE	CHAIN LINK FENCE
ELECTRIC POLE W/TRANSFORMER	CANOPY
POWER POLE	EASEMENT LINE
ELECTRIC METER	UTILITY WATER LINE
FIRE HYDRANT	UTILITY GAS LINE
WATER METER	UTILITY SEWER LINE
WATER VALVE	SANITARY SEWER MANHOLE
WATER VALVE BOX	SEWER CLEAN OUT
CROSSING LIGHT	BENCH
SIGN	METAL TRASH CAN
TRAFFIC LIGHT	WOOD POST
TELEPHONE PEDESTAL	GUARD POLE
TELECOMMUNICATION BOX	BEAM OR COLUMN
TELECOMMUNICATION FLAG	GAS VALVE
TREE	TELECOMMUNICATION MARKER

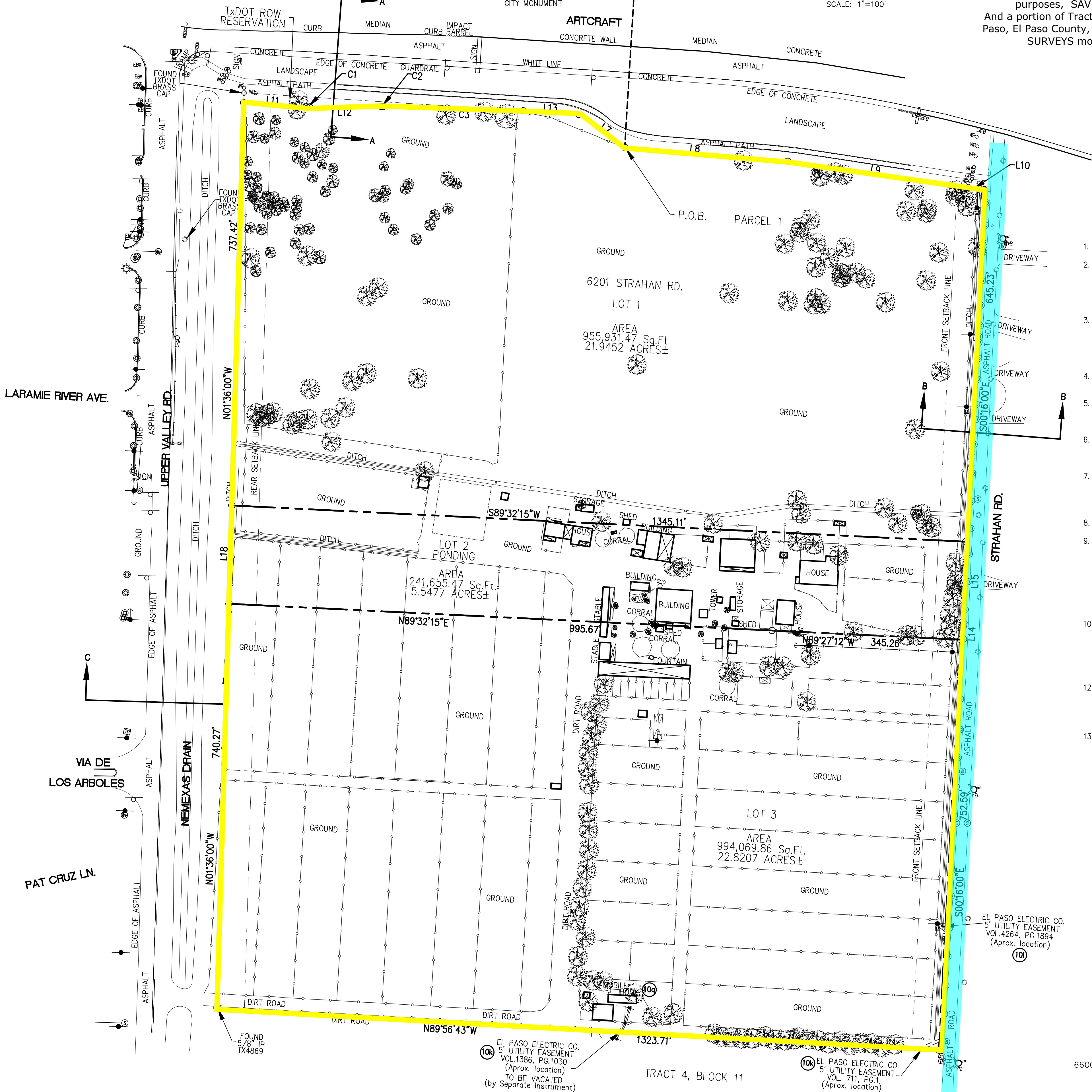
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LARAMIE RIVER AVE.

VIA DE LOS ARBOLES

PAT CRUZ LN.



CANUTILLO MIDDLE SCHOOL SUBDIVISION

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- NOTES
- NUMBER OF LOTS IN THIS SUBDIVISION = 3
 - OWNER:
CANUTILLO INDEPENDENT SCHOOL DISTRICT
7965 ARTCRAFT RD.
EL PASO, TX., 79932
(915) 877-7400
 - SURVEYOR
SLI ENGINEERING, INC.
6600 WESTWIND DRIVE
EL PASO, TEXAS 79912
(915) 584-4457
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 - PROPERTY HAS DIRECT ACCESS TO STRAHAN ROAD AND UPPER VALLEY ROAD (PUBLIC RIGHT-OF-WAY).



PRELIMINARY PLAT

SLI ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - CONSTRUCTION MANAGEMENT
6600 WESTWIND DR. - EL PASO, TEXAS - 79912 - (915) 584-4457
PREPARATION DATE: 07/01/2025



Legislation Text

File #: BC-1278, **Version:** 1

CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

SURW25-00012: Holstein R.O.W Vacation - Being a 60 Foot County
Road Out of O.A. Danielson Survey No. 310, City of
El Paso, El Paso County, Texas.
Location: West of Zaragoza Rd. and North of Interstate 10
Existing Zoning: A-O (Apartment/Office)
Property Owner: City of El Paso
Representative: Conde, Inc.
District: 6
Staff Contact: Saul Fontes, (915) 212-1606,
FontesSA@elpasotexas.gov

Holstein R.O.W Vacation

City Plan Commission — October 9, 2025



CASE NUMBER/TYPE:	SURW25-00012 – RIGHT-OF-WAY VACATION
CASE MANAGER:	Saul Fontes, (915) 212-1606, FontesSA@elpasotexas.gov
PROPERTY OWNER:	City of El Paso
REPRESENTATIVE:	Conde, Inc.
LOCATION:	West of Zaragoza Rd. and North of Interstate 10 Hwy. (District 6)
PROPERTY AREA:	1.44 acres
ZONING DISTRICT(S):	A-O (Apartment/Office)
PUBLIC INPUT:	No opposition received as of 10/2/2025

SUMMARY OF RECOMMENDATION: Staff recommends **APPROVAL** of Holstein R.O.W Vacation.
Holstein R.O.W Vacation



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.



0 37.5 75 150 225 300 Feet



Subject Property

Figure A: Proposed plat with surrounding area

DESCRIPTION OF REQUEST: The applicant is proposing to vacate 1.44 acres of public right-of-way in order to continue with proposed subdivision of the parcel. The portion of R.O.W. requested to be vacated is unpaved and approximately 60' wide and 1,050' long.

CASE HISTORY/RELATED APPLICATIONS: N/A

NEIGHBORHOOD CHARACTER: Surrounding neighborhood characteristics are identified in the following table.

Surrounding Zoning and Use	
North	A-O (Apartment/Office) / Vacant land
South	A-O (Apartment/Office) / Vacant land
East	C-4 sc (Commercial/Special contract) / Commercial development
West	R-3 SP (Residential/ Special permit) / Residential development
Nearest Public Facility and Distance	
Park	Argal Park (0.80 mi.)
School	Myrtle Cooper PK-5 (0.27 mi.)
Plan El Paso Designation	
G4, (Suburban Walkable)	
Impact Fee Service Area	
N/A	

PUBLIC COMMENT: Notices of the proposed right-of-way vacation were sent on September 29, 2025 to all property owners within 200 feet of the subject property, and notice was posted in the October 2, 2025 edition of the El Paso Times. As of October 2, 2025, staff has not received any calls of inquiry regarding this request.

CITY PLAN COMMISSION OPTIONS:

The City Plan Commission has the authority to advise City Council on right-of-way vacation requests. When a request is brought forward to the CPC for review, the Commission may take any of the following actions:

1. **Recommend Approval:** The CPC finds that the proposed vacation request is in conformance with all applicable requirements of Title 19 of the El Paso City Code. **(Staff Recommendation)**
2. **Recommend Approval with Conditions:** The CPC may recommend that City Council impose additional conditions on approval of the request that bring the request into conformance with all applicable requirements of Title 19 of the El Paso City Code.
3. **Recommend Denial:** The CPC finds that the proposed request is not in conformance with all applicable requirements of Title 19 of the El Paso City Code.

ATTACHMENTS:

1. Aerial Map
2. Survey
3. Metes and Bounds Description
4. Application
5. Department Comments

ATTACHMENT 1

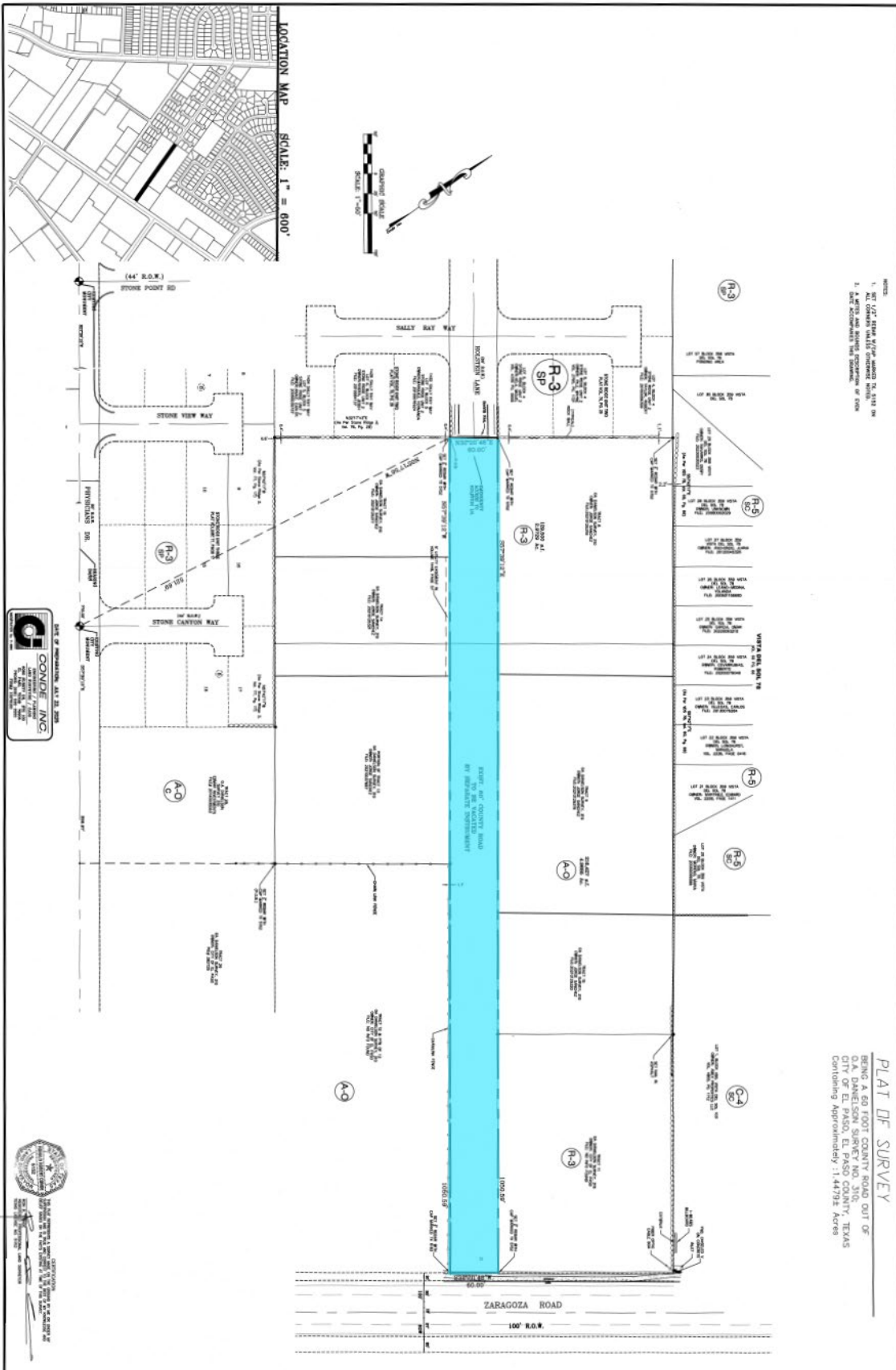
Holstein R.O.W Vacation



 Subject Property

This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to determine the exact location and extent of the proposed project. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

ATTACHMENT 2



ATTACHMENT 3

Prepared for: Jorge Garcia
July 22, 2025
(60' County Road)

METES AND BOUNDS DESCRIPTION

Description of a parcel of land, being a 60 foot County Road out of O.A. Danielson Survey No. 310, City of El Paso, El Paso County, Texas and being more particularly described by Metes and Bounds as follows:

Commencing for reference at a found brass disk City Monument at the centerline intersection of Physicians Drive and Stone Canyon Way from which a found brass disk City Monument at the centerline intersection of Physicians Drive and Stone Point Road bears North 05°17'56" West a distance of 521.69 feet to a set 1/2" rebar with cap marked TX 5152 on the southeasterly line of Stone Ridge Unit 2, said point also being on the southerly right of way line of Holstein Lane for The "**TRUE POINT OF BEGINNING**"


Thence along the southeasterly line of Stone Ridge Unit 2, North 32°20'48" East a distance of 60.00 feet to a set 1/2" rebar with cap marked TX 5152 on the northerly right of way line of Holstein Lane;

Thence leaving said line, South 57°39'12" East a distance of 1050.59 feet to a set 1/2" rebar with cap marked TX 5152 on the westerly right of way line of Zaragoza Road;

Thence along said right of way line, South 32°20'48" West a distance of 60.00 feet to a set 1/2" rebar with cap marked TX 5152 on the southerly line of a 60 feet County Road;

Thence along said line, North 57°39'12" West a distance of 1050.59 feet to the **TRUE POINT OF BEGINNING** and containing 63,071 Square Feet or 1.4479 Acres of land more or less.

Note: A drawing of even date accompanies this description.


Ron R. Conde
R.P.L.S. No. 5152



CONDE INC
ENGINEERING / LAND SURVEYING / PLANNING
6080 SURETY DRIVE / SUITE 100 / EL PASO, TEXAS 79905
(915) 592-0283 FAX (915) 592-0286 FIRM# 10078100


ATTACHMENT 4



VACATION PUBLIC EASEMENTS AND RIGHTS-OF-WAY APPLICATION

Date: August 6, 2025 File No. _____

1. APPLICANTS NAME Conde, Inc.
ADDRESS 6080 Surety Dr., Ste. 100 ZIP CODE 79905 TELEPHONE 915-592-0283
2. Request is hereby made to vacate the following: (check one)
Street ☒ Alley ☐ Easement ☐ Other ☐
Street Name(s) Holstein Lane Subdivision Name N/A
Abutting Blocks Tracts 8-15 Abutting Lots _____
3. Reason for vacation request: To Vacate ROW per Neighborhood Association request.
4. Surface Improvements located in subject property to be vacated:
None ☒ Paving ☐ Curb & Gutter ☐ Power Lines/Poles ☐ Fences/Walls ☐ Structures ☐ Other ☐
5. Underground Improvements located in the existing rights-of-way:
None ☐ Telephone ☐ Electric ☐ Gas ☐ Water ☒ Sewer ☐ Storm Drain ☐ Other ☐
6. Future use of the vacated right-of-way:
Yards ☐ Parking ☐ Expand Building Area ☐ Replat with abutting Land ☒ Other ☐
7. Related Applications which are pending (give name or file number):
Zoning ☐ Board of Adjustment ☐ Subdivision ☒ Building Permits ☐ Other ☐
8. Signatures: All owners of properties which abut the property to be vacated must appear below with an adequate legal description of the properties they own (use additional paper if necessary).

Signature	Legal Description	Telephone
	Being a 60 Foot County Road out	915-212-0000
_____	of O.A. Danielson Survey No. 310;	_____
_____	City of El Paso, El Paso County,	_____
	Texas	

The undersigned Owner/Applicant/Agent understands that the processing of this Application will be handled in accordance with the procedure for Requesting Vacations and that no action on processing will be taken without payment of the non-refundable processing fee. It is further understood that acceptance of this application and fee in no way obligates the City to grant the Vacation. I/We further understand that the fee, if the Vacation is granted will be determined by the City of El Paso and a Certified or Cashier's Check must be presented before the request will be recommended for Council action.

The undersigned acknowledges that he or she is authorized to do so, and upon the City's request will provide evidence satisfactory to the City confirming these representations.

The granting of a vacation request shall not be construed to be a waiver of or an approval of any violation of any of the provisions of any applicable City ordinances.

OWNER SIGNATURE: _____



915-203-5097

(Email)

(Phone)

REPRESENTATIVE SIGNATURE: _____



REPRESENTATIVE CONTACT (PHONE) Conrad Conde (915) 592-0283

(E-MAIL) cconde@condeinc.com

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING
UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND COMPLETENESS.

ATTACHMENT 5

Planning and Inspections Department- Planning Division

1. Per Texas Gas comments, provide an easement at least 10' east of west property line of Holstein R.O.W. being vacated and 10' north from the south property line of Holstein R.O.W. being vacated.

Planning and Inspections Department- Land Development Division

We have reviewed subject plats and recommend **Approval**.

The Developer/Engineer shall address the following comments

1. Label location dimensions for the 20' P.S.B. R.O.W. by bearing and distance.

Parks and Recreation Department

We have reviewed **Holstein ROW Vacation** survey maps and on behalf of the Parks & Recreation Department we offer "No" objections to this proposed Street Right-of-way vacation request.

Streets and Maintenance Department

Traffic & Transportation Engineering

No objections to application

Streets Lighting:

Does not object to this request.

Zaragoza Rd. is a Texas Department of Transportation (TXDOT) right-of-way (ROW).

For the development of a subdivision a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

Street Lights Department requires that a project that involves a roadway is to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

Contract Management:

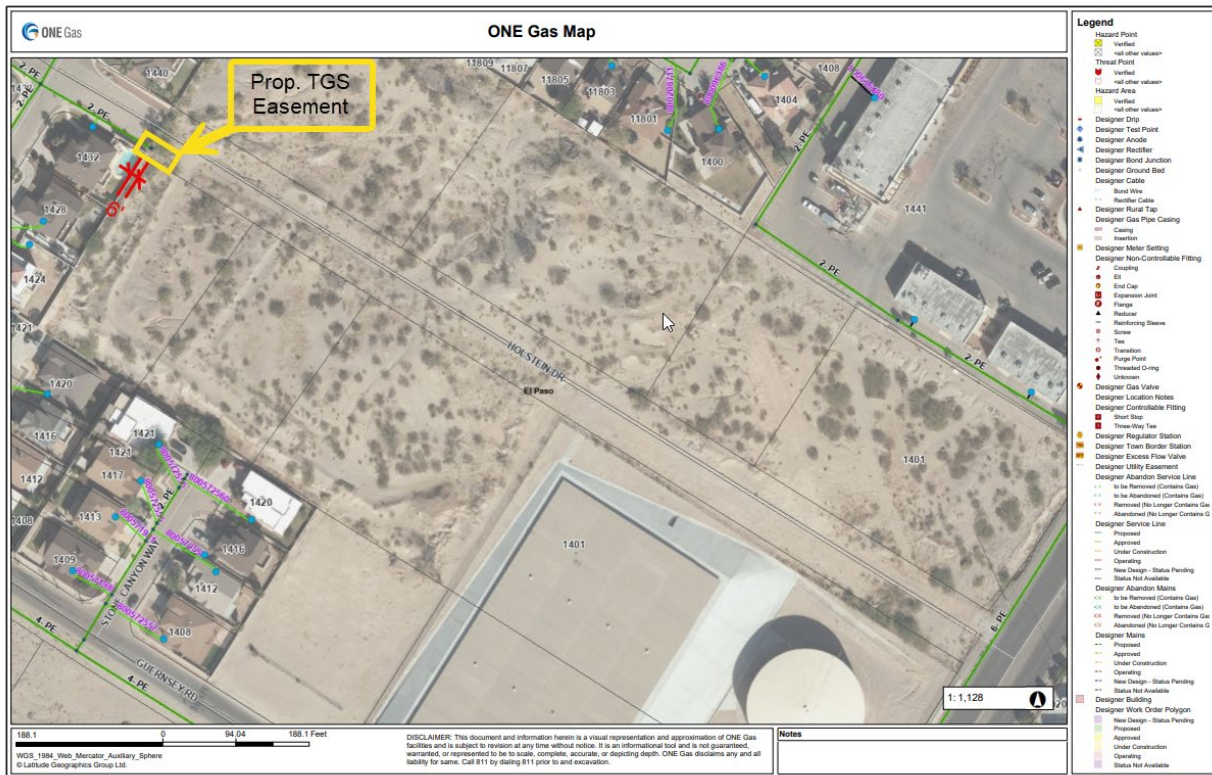
No comments.

Stormwater:

EPWater-SW has reviewed the proposed plans and has no objections.

Texas Gas

Texas Gas Service has a 2" gas main along Holstein Dr. 6' into the Holstein R.O.W. Vacation, therefore TGS will need an easement at least 10' east of west property line of Holstein R.O.W. being vacated and 10' north from the south property line of Holstein R.O.W. being vacated (See image below as reference)



El Paso Electric

no comments for Holstein Lane.

Texas Department of Transportation

TXDOT comment is to submit for review and permit approval within 1 year from starting construction.

El Paso County Water Improvement District #1

The above mentioned item is not within the boundaries of EPCWID.

AT&T

AT&T has no objections to this vacation request.

Fire Department

No comments received.

Capital Improvement Department

No comments received.

Sun Metro

No comments received.

El Paso County

No comments received

El Paso County 911 District

No comments received.

El Paso Water

No comments received.

Water

No comments received.

Sanitary Sewer

No comments received.

General

No comments received.



Legislation Text

File #: BC-1279, **Version:** 1

CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZRZ24-00016: A portion of Tract 228, Sunrise Acres, City of El Paso,
El Paso County, Texas
Location: 8701 Gateway South Blvd.
Zoning: R-4 (Residential)
Request: To rezone from R-4 (Residential) to C-2 (Commercial)
Existing Use: Contractor's yard (small)
Proposed Use: Contractor's yard (small) with a watchman dwelling
and professional office
Property Owner: De La Riva Properties, Inc.
Representative: John Cook
District: 2
Staff Contact: Jose Beltran, (915) 212-1607,
BeltranJV@elpasotexas.gov

8701 Gateway South

City Plan Commission — October 9, 2025

REZONING



CASE NUMBER: PZRZ24-00016
CASE MANAGER: Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov
PROPERTY OWNER: DeLa Riva Properties, Inc
REPRESENTATIVE: John Cook
LOCATION: 8701 Gateway South Blvd. (District 2)
PROPERTY AREA: 0.29 acres
REQUEST: Rezone from R-4 (Residential) to C-2 (Commercial)
RELATED APPLICATIONS: Special Permit Application PZST25-00006
PUBLIC INPUT: One (1) letter in support received as of October 2, 2025

SUMMARY OF REQUEST: The applicant is requesting to rezone the subject property from R-4 (Residential) to C-2 (Commercial) to allow for a contractor's yard, with a watchman dwelling and professional office.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the request. This recommendation is based on the proposed zoning district's compatibility with commercial uses in the surrounding area and is consistent with *Plan El Paso*, the City's adopted Comprehensive Plan and the G-3, Post-War Future Land Use designation.

PZRZ24-00016 & PZST25-00006

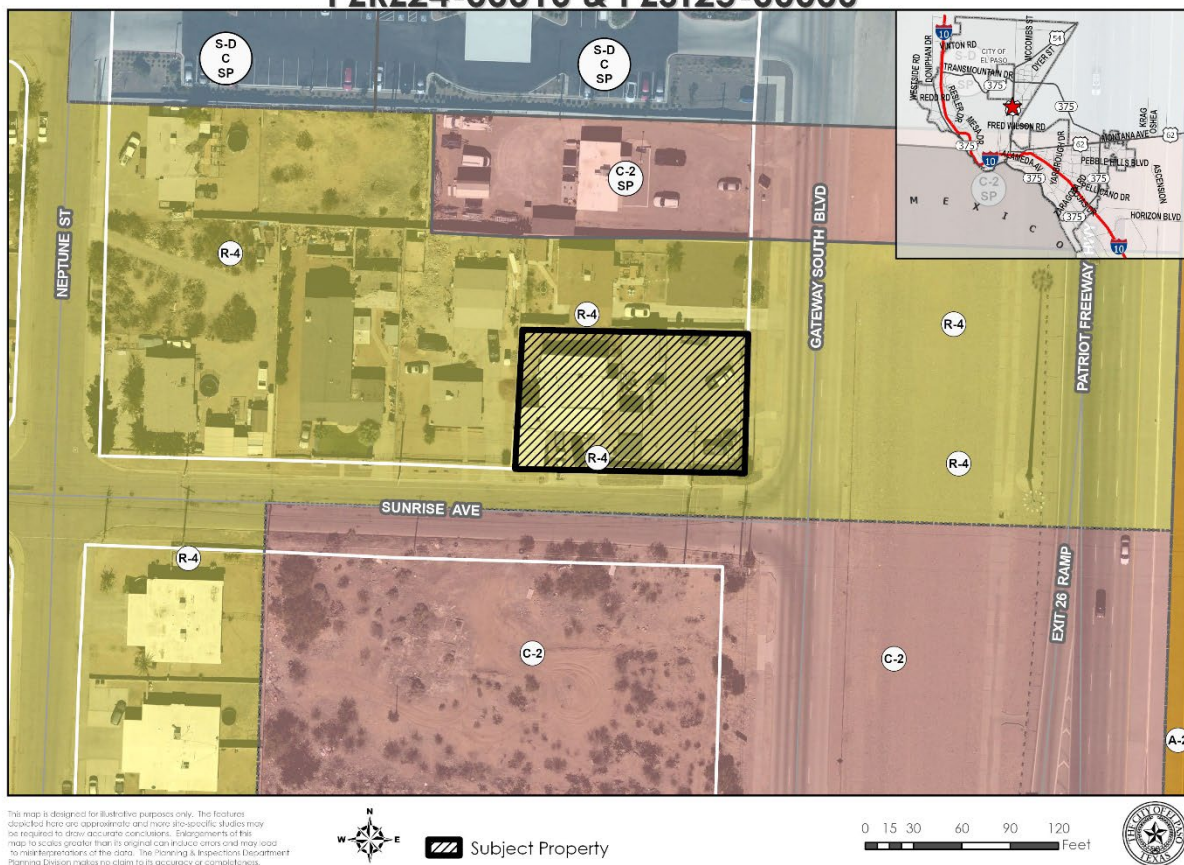


Figure A. Subject Property & Immediate Surroundings

DESCRIPTION OF REQUEST: The applicant is requesting to rezone the subject property from R-4 (Residential) to C-2 (Commercial) to allow for the use of a contractor's yard (small) (via a Special Permit), with a resident watchman dwelling and a professional office. The subject property is approximately 0.29 acres in size. The proposed layout shows a 1,280 square foot building with a maximum height of 14 feet to be used as a professional office and a 660 square foot building with a maximum height of 10 feet to be used as a resident watchman dwelling along with proposed storage structures, landscaping, and parking. Access to the subject property will be from Sunrise Avenue. Vehicular access from Gateway South Boulevard will be subject to approval from the Texas Department of Transportation (TxDOT). The proposed layout and detailed site development plan are being reviewed for compliance with Title 20 of the El Paso City Code and is binding as part of the related Special Permit request.

COMPATIBILITY WITH NEIGHBORHOOD CHARACTER: The proposed rezoning is compatible with adjacent commercial uses along Gateway South Boulevard. Properties to the north are zoned C-2/sp (Commercial/special permit), S-D/c/sp (Special Development/conditions/special permit) and R-4 (Residential), consisting of a contractor's yard, a hotel, a church and a single-family dwelling. To the east across Gateway South Boulevard is US Highway 54. Properties to the south are zoned C-2/c (Commercial/conditions) and C-3/c (Commercial/conditions) consisting of vacant lots and a professional office. Properties to the west are zoned R-4 (Residential) and consist of single-family dwellings. The nearest school is Park Elementary, located 0.63 miles away and the nearest park is Sunrise Park, located 0.30 miles away.

COMPLIANCE WITH <i>PLAN EL PASO</i>/REZONING POLICY – When evaluating whether a proposed rezoning is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Criteria	Does the Request Comply?
<p>Future Land Use Map: Proposed zone change is compatible with the Future Land Use designation for the property:</p> <p>G-3, Post-War: This sector applies to transitional neighborhoods typically developed from the 1950s through the 1980s. Streets were laid out with curvilinear patterns without alleys and shopping centers are located at major intersections behind large parking lots. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.</p>	<p>Yes. The subject property and the proposed zoning district meet the intent of the G-3, Post-War Future Land Use designation of <i>Plan El Paso</i>. The proposed development will provide additional commercial uses along Gateway South Boulevard.</p>
<p>Compatibility with Surroundings: The proposed zoning district is compatible with those surrounding the site:</p> <p>C-2 (Commercial) District: The purpose of the district is to accommodate establishments providing goods and services which are used in support of the community's trade and service establishments and serving multi-neighborhoods within a planning area of the city. The regulations of the district will permit intensities designed to be compatible with each other and to provide for a wide range of types of commercial activity, including light automobile related uses.</p>	<p>Yes. The proposed C-2 (Commercial) zoning district would allow the integration of the proposed development with surrounding C-2 (Commercial), C-3 (Commercial) and S-D (Special Development) zoning districts. The proposed rezoning will serve to expand the existing commercial zoning along Gateway South Boulevard.</p>
<p>Preferred Development Locations: Located along an arterial (or greater street classification) or the intersection of two collectors (or greater street</p>	<p>Yes. The subject property is located along Gateway South Boulevard and US Highway 54, which are designated as a major arterial and a freeway,</p>

COMPLIANCE WITH <i>PLAN EL PASO</i>/REZONING POLICY – When evaluating whether a proposed rezoning is in accordance with <i>Plan El Paso</i>, consider the following factors:	
classification). The site for proposed rezoning is not located mid-block, resulting in it being the only property on the block with an alternative zoning district, density, use and/or land use.	respectively in the City's Major Thoroughfare Plan (MTP). The proposed rezoning will permit the expansion of commercial uses along the corridor while buffering residential zoning districts
THE PROPOSED ZONING DISTRICT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.	No. The proposed development is not within any historic districts or study area plan boundaries.
Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the requested rezoning.	The proposed development is not anticipated to pose any adverse effects on the community.
Natural Environment: Anticipated effects on the natural environment.	The subject property does not involve any greenfield or environmentally sensitive land or arroyo disturbance.
Stability: Whether the area is stable or in transition.	The area has been in transition the last 10 years with several rezonings to allow for commercial uses. Properties to the north and south along Gateway South Boulevard have undergone rezonings from R-4 (Residential) to C-3 (Commercial), C-2 (Commercial) and S-D (Special Development) to allow for a contractor's yard, hotel and commercial retail.
Socioeconomic & Physical Conditions: Any changed social, economic, or physical conditions that make the existing zoning no longer suitable for the property.	The subject property is located along Gateway South Boulevard and US Highway 54 which are designated as a major arterial and a freeway, respectively in the City's Major Thoroughfare Plan (MTP). Residential use is no longer suitable for the property as commercial zoning is expanding along Gateway South Boulevard.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: Access to the subject property is proposed from Sunrise Avenue (a local road) which connects to Gateway South Boulevard (a major arterial), and is appropriate for the proposed commercial use. Sidewalks are currently present along Gateway South Boulevard and the applicant will be providing a 5-foot sidewalk abutting the subject property along Sunrise Avenue. There are no bus stops located within walking distance (0.25 miles) of the subject property. The closest bus stop is located 0.52 miles away from the subject property on Hercules Avenue.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: No adverse comments were received from the reviewing departments.

PUBLIC COMMENT: The subject property lies within the boundaries of the Sunrise Neighborhood Association which was notified of the rezoning request by the applicant. Public notices were sent to property owners within 300 feet on September 26, 2025. The Planning Division has received one (1) letter in support from the public of the request.

RELATED APPLICATIONS: A Special Permit application (PZST25-00006) is running concurrently with this rezoning request to allow for the use of a contractor's yard (small) in the proposed C-2 (Commercial) zoning district. Approval of the special permit will be dependent on the review and approval of the rezoning.

CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

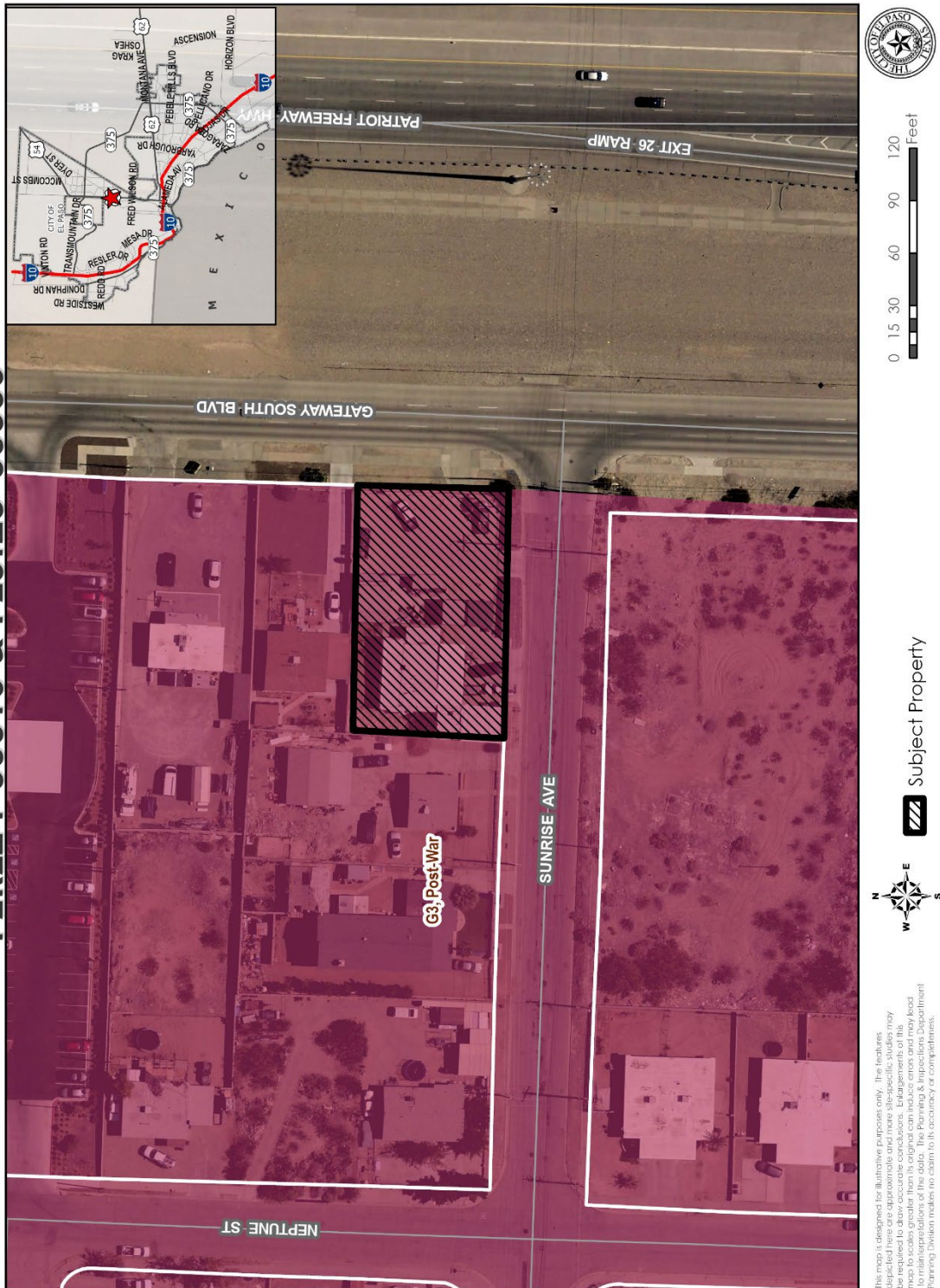
1. **Recommend Approval** of the rezoning request, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. **(Staff Recommendation)**
2. **Recommend Approval of the rezoning request With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Recommend Denial** of the rezoning request, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

ATTACHMENTS:

1. Future Land Use Map
2. Detailed Site Development Plan
3. Department Comments
4. Neighborhood Notification Boundary Map
5. Letter in Support

ATTACHMENT 1

PZR24-00016 & PZST25-00006



G A T E W A Y S O U T H B L V D



ATTACHMENT 3

Planning and Inspections Department - Planning Division

Staff recommends **APPROVAL** of the rezoning request. This recommendation is based on the proposed zoning district's compatibility with commercial uses in the surrounding area and is consistent with *Plan El Paso*, the City's adopted Comprehensive Plan and the G-3, Post-War Future Land Use designation.

Planning and Inspections Department – Plan Review & Landscaping Division

No comments to provide.

Planning and Inspections Department – Land Development

TXDOT review and approval are required of the proposed subdivision for drainage and access requirements at the time of grading permit.

It is recommended harvesting area on the property.

Note: comments to be addressed at the permitting stage.

Fire Department

No adverse comments.

Police Department

No comments received.

Environment Services

Please ensure a 36 ft. Trash truck has a clear path to empty the dumpster.

Sun Metro

No comments received.

Streets and Maintenance Department

Transportation Engineering

No objections to the application.

Streets Lighting:

Street Lights Department does not object to this request.

Gateway South Blvd. is a Texas Department of Transportation (TXDOT) right-of-way (ROW).

Street Lights Department requires that all projects that involve a roadway are to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

For the development of a project a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans

shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management:

For all proposed improvements within the city right-of-way (ROW), please follow DSC and include construction detail information.

Signs and Markings:

If any work encroaches in City ROW:

All construction plan set submittals and all work shall be in compliance with all applicable City of El Paso Municipal Code, Ordinances, Design Standards for Construction (DSC), Americans with Disabilities Act (ADA), Texas Accessibility Standards (TAS), and Texas Department of Licensing and regulation (TDLR), Street Design Manual (SDM), and all applicable state and federal rules and regulations. The city may refer to TXDOT specs and standards as may be required or not covered by DSC or SDM.

Typical – Identify and differentiate City Of El Paso ROW from TXDOT ROW.

Gateway South is TxDot R.O.W.

El Paso Water

There is an existing 24-inch diameter water main that extends along Sunrise Drive, located approximately 15-feet south of the northern right of way line. No direct service connections are allowed to this main as per the El Paso Water – Public Service Board (EPWater-PSB) Rules and Regulations.

There is an existing 12-inch diameter water main that extends along Gateway South Boulevard, located approximately 10-feet east of the western right of way line. This main is available for service.

Previous water pressure reading from fire hydrant #03138, located at the intersection of Sunrise Avenue and Gateway South Boulevard has yielded a static pressure of 50 (psi), a residual pressure of 48 (psi), and a discharge of 750 (gpm).

EPWater records indicate an existing 3/4-inch water meter serving the subject property with service address of 8701 Gateway South Boulevard.

Water

EPWater-PSB does not object to this request.

Sanitary Sewer

There is an existing 12-inch diameter sanitary sewer main that extends along Sunrise Drive located approximately 33-feet south of the northern right-of-way line. This main is available for service. There is an existing 8-inch diameter sanitary sewer main that extends along Gateway South Boulevard located 13-feet east of the west right-of-way line. This main is available for service.

General

EPWater-PSB requires a new service application to provide additional service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater-PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site

and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

EPWater-SW had previously reviewed this proposal and has no objections to the rezoning & special permit request.

El Paso County 911 District

The 911 District has no comments or concerns regarding this rezoning.

Texas Department of Transportation

TXDOT comments are to remove driveway on US 54 since it does not meet current spacing requirements from the intersection. Additionally, use curb to close the opening and match existing parkway along US 54.

El Paso County Water Improvement District #1

No comments received.

El Paso Electric

We have no comments for 8701 Gateway South Boulevard.

Texas Gas Service

Texas Gas Service has a service line at 8701 Gateway South Blvd.

Disclaimer: Texas Gas Service does not allow permanent structures nor trees to be installed on top of TGS gas mains or service lines. If a conflict is anticipated, the developer, contractors or owner representative should contact TGS to relocate the gas main and/or service at the developer's expense.

PZRZ24-00016 & PZST25-00006



ATTACHMENT 5

Mr. David Delgado
4225 Sunrise Avenue
El Paso, TX 79904

Mike DelaRiva
8701 Gateway South Blvd
El Paso, TX 79904

April 25, 2025

RE: Rezoning and Special Permit

Dear Mr. DelaRiva:

Thank you for your recent letter asking for my support of your applications for a change of zoning and a special permit to operate a contractor's yard on your property located at 8701 Gateway South Blvd. We also understand that you are requesting our support to allow the non-conforming structure abutting the southeastern boundary of our property. We further understand the City of El Paso has no record of building permits being issued for that structure.

You have our complete support for the zoning change to C2, for the special permit to operate a contractor's yard, and for a waiver of the setback requirements between our property.

Please let us know if you need anything from us going forward to support you in your efforts.

Sincerely,



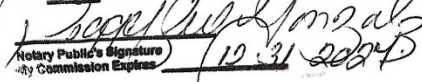
David Delgado Jr.

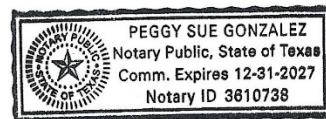
Owner—4225 Sunrise Avenue, El Paso, TX 79904



State of TX
County of EL PASO

Sworn to and subscribed before me on
the 28 day of April, 2025


Notary Public's Signature
My Commission Expires 12-31-2027





Legislation Text

File #: BC-1280, **Version:** 1

CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZRZ25-00021: A portion of Lot 35, Block 54, Vista Hills Subdivision
Unit Eleven, City of El Paso, El Paso County, Texas

Location: 1991 Saul Kleinfeld Dr.

Zoning: A-2/sc/sp (Apartment/special contract/special permit)

Request: To rezone from A-2/sc/sp (Apartment/special contract/
special permit) to C-1/sc/sp (Commercial/special
contract/special permit)

Existing Use: Assisted living facility

Proposed Use: Assisted living facility and commercial day care center

Property Owner: Simpatico East Property LLC

Representative: Michael Furth

District: 6

Staff Contact: Alejandra González, (915) 212-1506,
GonzalezAG@elpasotexas.gov

1991 Saul Kleinfeld

City Plan Commission — October 9, 2025

REZONING



CASE NUMBER: PZRZ25-00021
CASE MANAGER: Alejandra González, (915) 212-1506, GonzalezAG@elpasotexas.gov
PROPERTY OWNER: Simpatico East Property LLC
REPRESENTATIVE: Michael Furth
LOCATION: 1991 Saul Kleinfeld Drive (District 6)
PROPERTY AREA: 3.48 acres
REQUEST: Rezone from A-2/sc/sp (Apartment/special contract/special permit) to C-1/sc/sp (Commercial/special contract/special permit)
RELATED APPLICATIONS: N/A
PUBLIC INPUT: None received as of October 2, 2025

SUMMARY OF REQUEST: The applicant is proposing to rezone the subject property from A-2/sc/sp (Apartment/special contract/special permit) to C-1/sc/sp (Commercial/special contract/special permit) to allow for the use of an assisted living facility and commercial day care center.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL WITH CONDITIONS** of the rezoning request. The proposed zoning district is compatible with the current uses in the surrounding area and is consistent with Plan *El Paso*, the City's adopted Comprehensive Plan and the G4, Suburban (Walkable) future land use designation. The recommended conditions are the following:

1. That a detailed site development plan be reviewed and approved per City Code prior to the issuance of certificates of occupancy or certificates of completion.
2. That a ten-foot (10') landscaped buffer with high-profile native or naturalized trees of at least two-inch (2") caliper and ten feet (10') in height shall be placed at twenty feet (20') on center along the property line abutting residential districts or uses. The landscaped buffer shall be irrigated and maintained by the property owner at all times and shall be installed prior to the issuance of any certificates of occupancy.
3. That no outdoor amplified sound be permitted within the property.
4. That a minimum 500-foot distance be required between any establishments deriving 51% or more of their income from the sale of alcoholic beverages for on-premise consumption.

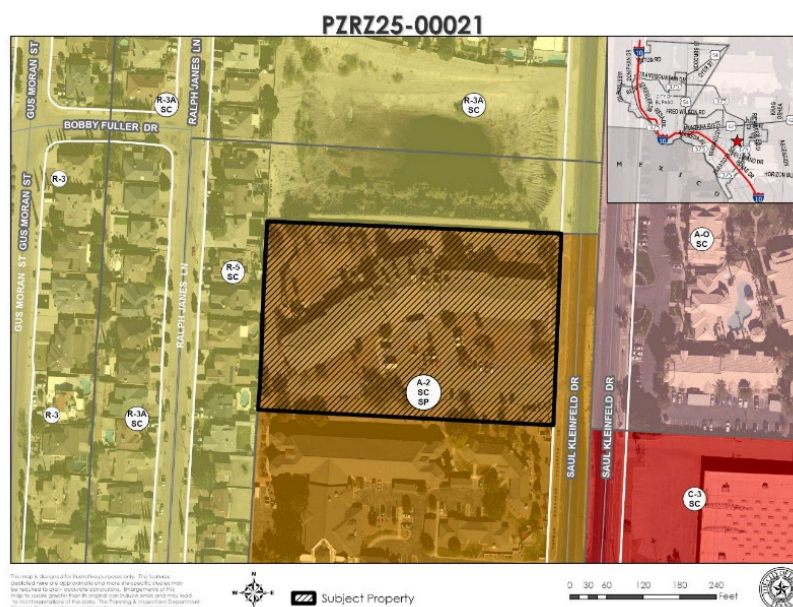


Figure A. Subject Property & Immediate Surroundings

DESCRIPTION OF REQUEST: The applicant is requesting to rezone the subject property from A-2/sc/sp (Apartment/special contract/special permit) to C-1/sc/sp (Commercial/special contract/special permit) to allow for the existing assisted living facility and a proposed commercial day care center. The subject property is approximately 3.48 acres in size. The conceptual site plan shows the existing layout of the development. The conceptual plan is not under review for zoning requirements and is not binding. Main access to the property is from Saul Kleinfeld Drive.

PREVIOUS CASE HISTORY: On June 13, 1995, the property was granted a special permit by City Council to allow for a personal care facility Type B (see Attachment 3). On July 21, 1987, City Council approved of the rezoning of the subject property from R-3 (Residential) to A-2 (Apartment) with the following condition imposed by Ordinance No. 9104 (see Attachment 4):

Prior to the issuance of a building permit for any parcel, a subdivision plat must be files of record with a County Clerk for said parcel.

Note: *The condition has been met.*

COMPATIBILITY WITH NEIGHBORHOOD CHARACTER: The proposed rezoning is consistent with adjacent commercial, apartment and residential zone districts within the area. The surrounding properties include a ponding site zoned R-5 (Residential) to the north. To the south the property includes an assisted living facility zoned A-2 (Apartment), to the east an apartment complex zoned A-O (Apartment/office) and to the west single-family dwellings zoned R-5 (Residential). The property has sidewalks on the surrounding streets. The nearest school, Benito Martinez Elementary, is at approximately 0.7 mile and the closest park, Dick Shinaut Park, is located about 0.3-mile.

COMPLIANCE WITH PLAN EL PASO/REZONING POLICY – When evaluating whether a proposed rezoning is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Criteria	Does the Request Comply?
<p>Future Land Use Map: Proposed zone change is compatible with the Future Land Use designation for the property:</p> <p>G-4, Suburban (Walkable): This sector applies to modern single-use residential subdivisions and office parks, large schools and parks, and suburban shopping centers. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.</p>	<p>Yes. The proposed development is compatible with the G-4 Suburban (Walkable) Land Use Designation of <i>Plan El Paso</i>.</p>
<p>Compatibility with Surroundings: The proposed zoning district is compatible with those surrounding the site:</p> <p>C-1 (Commercial) District: The purpose of these districts is to serve the needs of surrounding residential neighborhoods by providing compatible neighborhood convenience goods and services that serve day-to-day needs. The regulations of the districts will permit location of business and professional offices and retail category uses within adjacent residential areas of medium and high densities.</p>	<p>Yes. The proposed C-1 (Commercial) zoning district will provide the integration of commercial uses with C-3 (Commercial), A-2 (Apartment), and R-5 (Residential) zoning districts in the surrounding area. Conditions are recommended to safeguard single-family uses allowed in the proximity.</p>
<p>Preferred Development Locations: Located along an arterial (or greater street classification) or the intersection of two collectors (or greater street classification). The site for proposed rezoning is not located mid-block, resulting in it being the only property on the block with an alternative zoning district, density, use and/or land use.</p>	<p>Yes. Access to the subject property is from Saul Kleinfeld Drive, which is designated as a major street per the City of El Paso's Major Thoroughfare Plan (MTP). The classification of the road is appropriate for the proposed use.</p>

THE PROPOSED ZONING DISTRICT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.	None. The proposed development is not within any historic districts or study area plan boundaries.
Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the requested rezoning.	The proposed development is not anticipated to pose any adverse effects on the community.
Natural Environment: Anticipated effects on the natural environment.	The subject property does not involve sensitive land or arroyo disturbance.
Stability: Whether the area is stable or in transition.	The area has been stable with no rezoning within the last 10 years.
Socioeconomic & Physical Conditions: Any changed social, economic, or physical conditions that make the existing zoning no longer suitable for the property.	None.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: The proposed development will have access from Saul Kleinfeld Drive, which is designated as a major street in the City's Major Thoroughfare Plan. The classification of this road is appropriate for the proposed development. Sidewalks are currently present along Saul Kleinfeld Drive. There are two (4) bus stops located within walkable distance (0.25 miles) of the subject property. The closest bus stop is along Montwood Drive to the south, which is located 0.2 mile from the subject property.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: No adverse comments were received from reviewing departments.

PUBLIC COMMENT: There are no registered neighborhood associations applicable to the subject property. Public notices were mailed to property owners within 300 feet on September 25, 2025. As of October 2, 2025, the Planning Division has not received any communication in support or opposition to the request.

CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

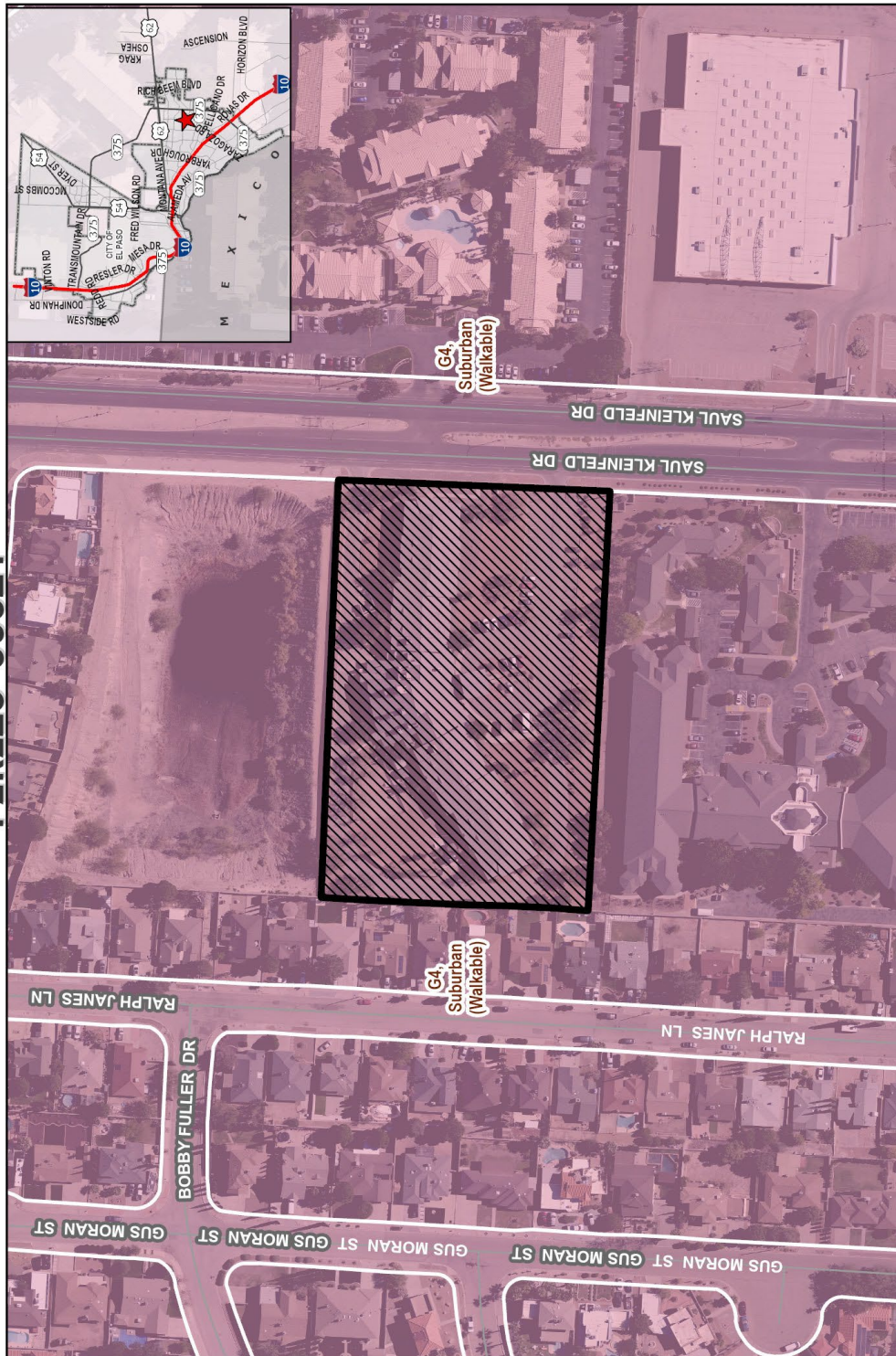
1. **Recommend Approval** of the rezoning request, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan.
2. **Recommend Approval of the rezoning request With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan. **(Staff Recommendation)**
3. **Recommend Denial** of the rezoning request, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

ATTACHMENTS:

1. Future Land Use Map
2. Generalized Plot Plan
3. Ordinance No. 012433, Special Permit
4. Ordinance No. 9104, Special Contract
5. Department Comments
6. Neighborhood Notification Boundary Map

ATTACHMENT 1

PZR25-00021



0 37.5 75 150 225 300 Feet

Subject Property



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretation of the information shown. The City of El Paso Planning Division makes no claim to its accuracy or completeness.

ATTACHMENT 3

23 G

ORDINANCE NO. 012433

AN ORDINANCE GRANTING SPECIAL PERMIT NO. SP95-11, TO ALLOW FOR A PERSONAL CARE FACILITY TYPE B ON A PORTION OF LOT 35, BLOCK 56, VISTA HILLS #11. PURSUANT TO SECTION 20.22.040.B (ZONING) OF THE EL PASO MUNICIPAL CODE.

WHEREAS, INTERNATIONAL CITY DEVELOPERS has applied for a Special Permit under Section 20.22.040.B of the El Paso Municipal Code, to allow for A PERSONAL CARE FACILITY TYPE B (as defined by Texas Health and Safety Code, Chapter 247), and;

WHEREAS, a report was made to the City Plan Commission and a public hearing was held regarding such application;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

1. That the property described as follows is in a A-2sc and C-1sc District:
A PORTION OF LOT 35, BLOCK 56, VISTA HILLS #11, City and County of El Paso, Texas, as more particularly described in the attached and incorporated Exhibit "A", and municipally known and numbered as 1991 SAUL KLEINFELD DRIVE; and

2. That A PERSONAL CARE FACILITY TYPE B, as defined by Texas Health and Safety Code, Chapter 247 has been determined by the zoning administrator, to be authorized by Special Permit in A-2sc and C-1sc districts under Section 20.22.040.B of the El Paso Municipal Code; and

Ordinance No. 012433

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3. That the requirements for A PERSONAL CARE FACILITY TYPE B under Section 20.22.040.B have been satisfied; and

4. That the City Council hereby grants a Special Permit under Section 20.22.040.B of the El Paso Municipal Code, to allow A PERSONAL CARE FACILITY TYPE B on the above-described property; and

5. That this Special Permit is issued subject to the development standards in the A-2sc and C-1sc district regulations and subject to the approved Site Development Plan, signed by the Applicant, the Mayor and the Executive Secretary to the City Plan Commission. A copy of this plan is attached hereto as Exhibit "B" and incorporated herein by reference for all purposes; and

6. That the Applicant shall sign an Agreement incorporating the requirements of this Ordinance. Such Agreement shall be signed and filed with the Zoning Administrator and the Executive Secretary of the City Plan Commission before building permits are issued; and

7. That if the Applicant fails to comply with any of the requirements of this Ordinance, Special Permit No. SP95-11 shall automatically terminate, and construction shall stop or occupancy shall be discontinued, until any such violation ceases.

ADOPTED this 13th day of June, 1995.

THE CITY OF EL PASO


Mayor

Ordinance No. 012433

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ATTEST:

Carole Hunter
City Clerk

APPROVED AS TO FORM:

Kimberley Mickelson
Kimberley Mickelson,
Assistant City Attorney

APPROVED AS TO CONTENT:

[Signature]
Department of Planning

AGREEMENT

INTERNATIONAL CITY DEVELOPERS, the Applicant ^{Close} referred to in the above Ordinance, hereby agrees to develop the above-described property in accordance with the approved Site Development Plan and in accordance with the standards identified in the A-2sc and C-1sc District regulations, and subject to all other requirements set forth in this Ordinance.

EXECUTED this 18th day of May, 1995.

By: [Signature]
Title: VICE PRESIDENT

ACKNOWLEDGMENT

THE STATE OF TEXAS)
COUNTY OF EL PASO)

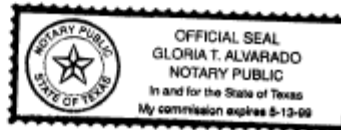
This instrument is acknowledged before me on this 18th day of May, 1995, by Angela Adams Schantz as Applicant, on behalf of INTERNATIONAL CITY DEVELOPERS.

My Commission Expires: MAY 13, 1999
SPECIAL PERMIT #SP95-11

[Signature]
Notary Public, State of Texas
Notary's Printed or Typed Name: GLORIA T. ALVARADO

Ordinance No. _____
MICKEL\26984.1\ZON\PLA\R7.

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ATTACHMENT 4

009104

AN ORDINANCE CHANGING THE ZONING OF
A PORTION OF TRACT 1, SECTION 43, BLOCK 79,
TSP. 2, T&P RR. CO. SURVEYS, LOTS 2 AND 3,
BLOCK 54, AND LOT 1, BLOCK 54A, EAST
GLENN ADDITION UNIT 4, REPLAT "A",
THE PENALTY BEING AS PROVIDED IN
SECTION 20.68.010 OF THE EL PASO CITY CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the zoning of a portion of Tract 1, Section 43, Block 79, Tsp. 2, T&P RR. Co. Surveys, Lots 2 and 3, Block 54, and Lot 1, Block 54A, East Glenn Addition Unit 4, Replat "A", as more particularly described by metes and bounds in the attached Exhibit "A", be changed from C-1 (Commercial), A-2 (Apartment) and R-3A and R-3 (Residential) to A-2 (Apartment), C-1 (Commercial), R-3A and R-5 (Residential) and A-O (Apartment/Office) within the meaning of the zoning ordinance, subject to a special contract placing certain restrictions, conditions and covenants on the property, and that the zoning map of the City of El Paso be revised accordingly.

PASSED AND APPROVED this 21st day of July,
1987.

[Signature]
Mayor PRO-TEM

ATTEST:

[Signature]
City Clerk acting

I certify that the zoning map has been revised to
reflect the amendment of ordinance # 9104
by [Signature] Date 7-16-87

APPROVED AS TO FORM:

[Signature]
Assistant City Attorney

APPROVED AS TO CONTENT:

[Signature]
Department of Planning,
Research and Development

I CERTIFY THAT THE FOLLOWING ZONING MAPS
ENG2:5280.87 HAVE BEEN REVISED: L.D.

9-16-87 COUNTER

9-16-87 ORIGINAL

9-16-87 Bldg. Inspection

9-16-87 CONTROL

[Signature]

Contract 7-21-87
009104

RECEIVED

SEP 1 - 1987

PLANNING DEPARTMENT

THE STATE OF TEXAS)
COUNTY OF EL PASO)

CONTRACT

THIS CONTRACT made this 21st day of July, 1987, by and between INTERNATIONAL CITY DEVELOPERS, INC., First Party, and the CITY OF EL PASO, Second Party, witnesseth:

Application has been made to the City of El Paso for the rezoning of a portion of Tract 1, Section 43, Block 79, Tsp. 2, T&P RR. Co. Surveys, Lots 2 and 3, Block 54, and Lot 1, Block 54A, East Glenn Addition Unit 4, Replat "A", City and County of El Paso, Texas, which is more particularly described by metes and bounds in the attached Exhibit "A" which is made a part hereof by reference. To remove certain objections to such rezoning, First Party covenants that if the property is rezoned from C-1 (Commercial) [Parcels 1, 4, 24 and 25], A-2 (Apartment) [Parcels 23, 27 and 28], and R-3A and R-3 (Residential) [Parcels 2, 3, 5-22 and 26] to A-2 (Apartment) [Parcels 1, 6, 9, 12, 16, 20 and 26], C-1 (Commercial) [Parcels 2, 5, 8, 15, 27 and 28], R-3A and R-5 (Residential) [Parcels 3, 4, 10, 11, 13, 14, 18, 19 and 21-24], and A-O (Apartment/Office) [Parcels 7 and 17] within the meaning of the zoning ordinance of the City of El Paso, it shall be subject to the following restrictions, conditions and covenants:

Prior to the issuance of a building permit for any parcel, a subdivision plat must be filed of record with the County Clerk for said parcel.

This agreement is a restriction, condition and covenant running with the land and a charge and servitude thereon, and shall bind First Party and its successors in title. Any future conveyance of the land shall contain this restriction, condition and covenant and shall embody this agreement by express reference.

The City may enforce this agreement by injunction or any other legal or equitable remedy. The City Council of the City of El Paso may amend or release the above restrictions, conditions

Ord. #9104

87-5280
RECEIVED
SEP 1 - 1987

PLANNING DEPT. 87-5280

and covenants in its discretion without the consent of any third person who may be benefited thereby, and without affecting the validity or necessitating the amendment of the ordinance passed by the City Council embodying this change of zoning and subject to this contract.

WITNESS THE FOLLOWING SIGNATURES AND SEALS:

FIRST PARTY:
INTERNATIONAL CITY DEVELOPERS, INC.

By I. T. Schwartz
Title President

ATTEST:

NOT REQUIRED
Secretary

SECOND PARTY:
THE CITY OF EL PASO

By Ed. J. [Signature]
Mayor Ed. J. [Signature]

ATTEST:
[Signature]
City Clerk [Signature]

APPROVED AS TO FORM:

[Signature]
Assistant City Attorney

APPROVED AS TO CONTENT:

[Signature]
Department of Planning,
Research and Development

THE STATE OF TEXAS)
COUNTY OF EL PASO)

This instrument was acknowledged before me on this 3rd
day of August, 1987, by I. T. Schwartz as
President, on behalf of INTERNATIONAL CITY DEVELOPERS,
INC.

My Commission Expires:
TINA BRIDGES, Notary Public
in and for the State of Texas
My Commission Expires Aug. 28, 1988

[Signature]
Notary Public, State of Texas

SIGNATURES CONTINUED ON NEXT PAGE

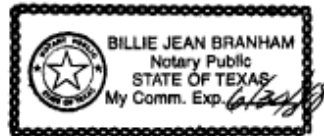
THE STATE OF TEXAS)
)
COUNTY OF EL PASO)

This instrument was acknowledged before me on this 23rd
day of July, 1987, by Ed Elsey as
Mayor of THE CITY OF EL PASO.
Pro Tem

Billie Jean Branham
Notary Public, State of Texas

My Commission Expires:

4/30/88
ZNG2:5280.87



Being a portion of Tract 3, Section 6,
Block 79, TSP.3, T & P RR Survey
City of El Paso, El Paso County, Texas
Prepared for: Foster Schwartz
April 29, 1987

FROM R3 TO A2

PARCEL 26

METES AND BOUNDS DESCRIPTION

Description of a parcel of land being a portion of Tract 3, Section 6, Block 79,
TSP.3 T & P RR Survey, City of El Paso, El Paso County, Texas being more par-
ticularly described by metes and bounds as follows to wit;


The "POINT OF BEGINNING" being the Northeast corner of said Section 6;

Thence South $00^{\circ}33'12''$ East a distance of 691.25 feet;

Thence North $90^{\circ}00'00''$ West a distance of 552.46 feet;

Thence North $00^{\circ}00'00''$ East a distance of 689.62 feet;

Thence North $89^{\circ}49'59''$ East a distance of 545.79 feet to the "POINT OF
BEGINNING" containing in all 379,127.64 square feet or 8.704 acres of land
more or less.



Tony G. Conde, P.E.
CONDE, INC.

287-97-26
RO

9/04

Being a portion of Tract 1, Section 43,
Block 79, TSP.2, T & P RR Survey
City of El Paso, El Paso County, Texas
Prepared for: Foster Schwartz
April 21, 1987

PARCEL 27
A2 TO C1

METES AND BOUNDS DESCRIPTION

Description of a parcel of land being a portion of Tract 1, Section 43, Block 79,
TSP.2 T & P RR Survey, City of El Paso, El Paso County, Texas being more par-
ticularly described by metes and bounds as follows to wit:

From a point being the Northeast corner of said Section 43; Thence South $89^{\circ}58'52''$
West a distance of 2651.26 feet; Thence South $00^{\circ}30'57''$ East a distance of 150.00
feet to the "POINT OF BEGINNING";

Thence South $00^{\circ}30'57''$ East a distance of 287.19 feet;

Thence South $89^{\circ}29'20''$ West a distance of 494.38 feet;

Thence North $00^{\circ}00'50''$ East a distance of 291.42 feet;

Thence North $89^{\circ}58'52''$ East a distance of 491.85 feet to the "POINT OF
BEGINNING" containing in all 142,657.26 square feet or 3.275 acres of land
more or less.



Tony G. Conde, P.E.
CONDE, INC.

287-97-27
RO

#9104

Being a portion of Tract 3, Section 6,
Block 79, TSP.3, T & P RR Survey
City of El Paso, El Paso County, Texas
Prepared for: Foster Schwartz
April 21, 1987

PARCEL 28
FROM A2 TO C1

METES AND BOUNDS DESCRIPTION

Description of a parcel of land being a portion of Tract 3, Section 6, Block 79,
TSP.3 T & P RR Survey, City of El Paso, El Paso County, Texas being more par-
ticularly described by metes and bounds as follows to wit:


From a point being the Northeast corner of said Section 6; Thence South $89^{\circ}49'59''$
West a distance of 2651.26 feet; Thence South $00^{\circ}30'57''$ East a distance of 431.19
feet; Thence North $89^{\circ}29'20''$ West a distance of 1844.43 feet to the "POINT OF
BEGINNING";

Thence South $89^{\circ}29'20''$ West a distance of 290.77 feet;

Thence North $00^{\circ}00'50''$ East a distance of 305.52 feet;

Thence North $89^{\circ}58'52''$ East a distance of 290.76 feet;

Thence South $00^{\circ}00'50''$ East a distance of 303.02 feet to the "POINT OF
BEGINNING" containing in all 88,469.71 square feet or 2.031 acres of land
more or less.



Tony G. Conde, P.E.
CONDE, INC.

287-97-28
R.O.

#9104

RESOLUTION

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the Mayor be authorized to sign a contract between THE CITY OF EL PASO and INTERNATIONAL CITY DEVELOPERS, INC., placing certain restrictions, conditions and covenants on the property being rezoned by Ordinance No. 9104, more particularly described as a portion of Tract 1, Section 43, Block 79, Tsp. 2, T&P RR. Co. Surveys, Lots 2 and 3, Block 54, and Lot 1, Block 54A, East Glenn Addition Unit 4, Replat "A"

ADOPTED this 21st day of July, 1987.



Mayor
PRO-TAM

ATTEST:



City Clerk (acting)

APPROVED AS TO FORM:



Assistant City Attorney

ZNG2:5280.87

9104

ATTACHMENT 5

Planning and Inspections Department - Planning Division

Staff recommends **APPROVAL WITH CONDITIONS** of the rezoning request. The proposed zoning district is compatible with the current uses in the surrounding area and is consistent with Plan El Paso, the City's adopted Comprehensive Plan and the G4, Suburban (Walkable) future land use designation. The recommended conditions are the following:

- 1. That a detailed site development plan be reviewed and approved per City Code prior to the issuance of certificates of occupancy or certificates of completion.*
- 2. That a ten-foot (10') landscaped buffer with high-profile native or naturalized trees of at least two-inch (2") caliper and ten feet (10') in height shall be placed at twenty feet (20') on center along the property line abutting residential districts or uses. The landscaped buffer shall be irrigated and maintained by the property owner at all times and shall be installed prior to the issuance of any certificates of occupancy.*
- 3. That no outdoor amplified sound be permitted within the property.*
- 4. That a minimum 500-foot distance be required between any establishments deriving 51% or more of their income from the sale of alcoholic beverages for on-premise consumption.*

Planning and Inspections Department – Plan Review & Landscaping Division

No objections to the proposed rezoning. At the time of submittal for building permit, the project will need to comply with all applicable provisions of the ICC, TAS and Municipal Code.

Planning and Inspections Department – Land Development

The code encourages the use of nonstructural storm water management such as the preservation of greenspace, water harvesting, and the Preservation of Natural Arroyos, to the maximum extent practicable, per Chapter 19.19, Section 19.19.010, and Subparagraph A-2 & A-5.

Fire Department

No adverse comments.

Police Department

No comments received.

Environment Services

No comments received.

Sun Metro

No comments received.

Streets and Maintenance Department

Traffic & Transportation Engineering

No objections to application.

No TIA is required.

Streets Lighting

Does not object to this request.

Street Lights Department requires that all projects that involve a roadway are to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be

shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

For the development of a project a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management

No comments received.

El Paso Water

EPWater does not object to this request.

Water

There is an existing 16-inch diameter water main located 35 feet west of the eastern right-of-way line of Saul Kleinfeld Dr. No direct service connections are allowed to this main as per the El Paso Water - Public Service Board Rules & Regulations.

EPWater records indicate a 4-inch domestic water service and an 8-inch fire line serving the subject property. The address for these services is 1991 Saul Kleinfeld Dr.

Previous water pressure from fire hydrant #6155 located on the northwest corner of Privada Ln. and Saul Kleinfeld Dr. has yielded a static pressure of 48 psi, a residual pressure of 46 psi, and a discharge of 1,061 gallons per minute.

Sanitary Sewer

There is an existing 27-inch sanitary sewer main located approximately 50-feet east of the property. No direct service connections are allowed to this main as per the El Paso Water - Public Service Board Rules & Regulations.

General

An application for additional water and sanitary sewer services should be made 6 to 8 weeks prior to construction to ensure water for construction work. New service applications are available at 1154 Hawkins, 3rd Floor. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater

As per the Municipal Code: new developments and redevelopments are required to maintain the pre-development hydrologic response in their post-development state as nearly as practicable to reduce flooding. The code also encourages the use of nonstructural storm water management such as the preservation of green space, water harvesting, and other conservation efforts, to the maximum extent practicable, per Chapter 19.19, Section 19.19.010, and Subparagraph A-2 & A-5.

EPWater-SW recommends using principles of low impact development (such as recessed landscaping, rainwater harvesting, and porous pavement) to reduce the amount of developed stormwater runoff.

El Paso County 911 District

No comments or concerns regarding this zoning.

Texas Department of Transportation

No comments as there appears to be no work affecting the ROW.

El Paso County Water Improvement District #1

No comments received.

Texas Gas Service

Texas Gas Service has a service line at 1991 Saul Kleinfeld.

Disclaimer: Texas Gas Service does not allow permanent structures nor trees to be installed on top of TGS gas mains or service lines. If a conflict is anticipated, the developer, contractors or owner representative should contact TGS to relocate the gas main and/or service at the developer's expense.

El Paso Electric

No comments.

ATTACHMENT 6





Legislation Text

File #: BC-1281, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZST25-00006: A portion of Tract 228, Sunrise Acres, City of El Paso,
El Paso County, Texas
Location: 8701 Gateway South Blvd.
Zoning: R-4 (Residential)
Request: Special Permit and Detailed Site Development Plan
approval for reduction to rear and side street setback
and to allow the use of a contractor's yard (small)
Existing Use: Contractor's yard (small)
Proposed Use: Contractor's yard (small), with a watchman dwelling and
professional office
Property Owner: Dela Riva Properties, Inc.
Representative: John Cook
District: 2
Staff Contact: Jose Beltran, (915) 212-1607,
BeltranJV@elpasotexas.gov

8701 Gateway South

City Plan Commission — October 9, 2025



CASE NUMBER: PZST25-00016
CASE MANAGER: Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov
PROPERTY OWNER: DeLa Riva Properties, Inc
REPRESENTATIVE: John Cook
LOCATION: 8701 Gateway South Blvd. (District 2)
PROPERTY AREA: 0.29 acres
EXISTING ZONING: R-4 (Residential) – proposed to be rezoned to C-2 (Commercial)
REQUEST: Special Permit and Detailed Site Development Plan approval for reduction to rear yard and side street setback and to allow the use of contractor's yard (small)
RELATED APPLICATIONS: Rezoning Application PZRZ24-00016
PUBLIC INPUT: One (1) letter in support received as of October 2, 2025

SUMMARY OF REQUEST: The applicant is requesting a special permit and detailed site development plan approval to allow for the use of a contractor's yard (small) and reduction to setbacks in a C-2 (Commercial) zoning district.

SUMMARY OF STAFF RECOMMENDATION: Staff recommends **APPROVAL** of the special permit and detailed site development plan request for reduction to rear yard and side street setback and to allow the use of contractor's yard (small) per Section 20.04.320 – Special Permit Approvals and Section 20.04.150 – Detailed Site Development Plan Procedures. Furthermore, the proposed development is in accordance with both the G3, Post-War Future Land Use designation and *Plan El Paso*, the City's adopted Comprehensive Plan.

PZRZ24-00016 & PZST25-00006



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Engineers of this map to scales greater than 1:10,000 can indicate errors and may lead to misinterpretations of the data. The Planning & Inspection Department Planning Division makes no claim to its accuracy or completeness.



0 5 10 20 30 40 Feet



Figure A. Subject Property & Immediate Surrounding

DESCRIPTION OF REQUEST: The applicant is requesting a special permit and detailed site development plan approval with reduction to rear yard and side street setbacks and to allow for the use of contractor's yard (small) in a C-2 (Commercial) zone district. The subject property is approximately 0.29 acres in size. The Detailed Site Development Plan shows a 1,280 square foot building with a maximum height of 14 feet to be used as a professional office and a 660 square foot building with a maximum height of 10 feet to be used as a resident watchman dwelling along with proposed storage structures, landscaping and parking. Access to the subject property will be from Sunrise Avenue. Vehicular access is from Sunrise Avenue. Proposed access from Gateway South Boulevard will be subject to approval from the Texas Department of Transportation (TxDOT). The Detailed Site Development Plan is being reviewed for compliance with Title 20 of the El Paso City Code and is binding. The applicant is requesting the following:

Density/Dimensional Standard C-2 (Commercial) Zone District - Other Permitted Uses (Contractor's Yard (small), Office, professional, watchman dwelling)	Required	Proposed
Lot area	No minimum required.	N/A
Lot width	No minimum required.	N/A
Lot depth	No minimum required.	N/A
Front yard setback	0 feet.	No Change
Rear yard setback	10 ft.	0 ft.
Side yard setback	10 feet when abutting residential or apartment district	No change
Side street yard setback	10 ft.	0 ft.

COMPLIANCE WITH SPECIAL PERMIT REQUIREMENTS (EL PASO CITY CODE SECTION 20.04.320.D)	
Criteria	Does the Request Comply?
1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located.	Yes. the Detailed Site Development Plan demonstrates compliance with all applicable standards per the El Paso City Code.
2. Furthers <i>Plan El Paso</i> and applicable neighborhood plans or policies.	Yes. The request complies with the recommendations of <i>Plan El Paso</i> and the G3, Post-War Future Land Use designation. The proposed development is suitable for infill development and will integrate with existing commercial development along Gateway South Boulevard.
3. Adequately served by and will not impose an undue burden upon public improvements.	A Traffic Impact Analysis (TIA) was not required for the proposed development. The property has immediate access to Gateway South Boulevard and US Highway 54 which are designated as a major arterial and highway, respectively, in the City's Major Thoroughfare Plan (MTP).
4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development.	No impact is anticipated from the approval of the proposed special permit and detailed site development plan. The proposed development will adhere to zoning requirements and will not impose a risk to neighboring properties.

COMPLIANCE WITH SPECIAL PERMIT REQUIREMENTS (EL PASO CITY CODE SECTION 20.04.320.D)	
5. The design of the proposed development mitigates substantial environmental problems.	The subject property does not involve greenfield/environmentally sensitive land or arroyo disturbance.
6. The proposed development provides adequate landscaping and/or screening where needed.	Yes. The proposed development will provide adequate landscaping and/or screening where required.
7. The proposed development is compatible with adjacent structures and uses.	Yes. The subject property is located near other commercial uses and zoning districts, making it compatible with existing commercial zoning along Gateway South Boulevard.
8. The proposed development is not materially detrimental to the property adjacent to the site.	Yes. The proposed development is similar in intensity and scale to the surrounding development. The surrounding development will not be impacted due to the commercial nature of the area that fronts a major arterial and freeway.

COMPLIANCE WITH <i>PLAN EL PASO</i> GOALS & POLICIES – When evaluating whether a proposed special permit is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Criteria	Does the Request Comply?
<p>Future Land Use Map: Proposed zone change is compatible with the Future Land Use designation for the property:</p> <p>G-3, Post-War: This sector applies to transitional neighborhoods typically developed from the 1950s through the 1980s. Streets were laid out with curvilinear patterns without alleys and shopping centers are located at major intersections behind large parking lots. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.</p>	Yes. The subject property and the proposed development meet the intent of the G-3, Post-War Future Land Use designation of <i>Plan El Paso</i> . The proposed development will provide additional commercial uses along Gateway South Boulevard.
<p>Compatibility with Surroundings: The proposed zoning district is compatible with those surrounding the site:</p> <p>C-2 (Commercial) District: The purpose of the district is to accommodate establishments providing goods and services which are used in support of the community's trade and service establishments and serving multi-neighborhoods within a planning area of the city. The regulations of the district will permit intensities designed to be compatible with each other and to provide for a wide range of types of commercial activity, including light automobile related uses.</p>	Yes. The proposed C-2 (Commercial) zoning district is compatible with the area. It will allow for the integration of the development with the surrounding C-2 (Commercial), C-3 (Commercial), and S-D (Special Development) zoning districts, expanding the existing commercial zoning along Gateway South Boulevard.
THE PROPOSED PROJECT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
<p>Historic District or Special Designations & Study Area Plans: Any historic district or other special designations</p>	No. The proposed development is not within any historic districts or study area plan boundaries.

COMPLIANCE WITH <i>PLAN EL PASO</i> GOALS & POLICIES – When evaluating whether a proposed special permit is in accordance with <i>Plan El Paso</i>, consider the following factors:	
that may be applicable. Any adopted small areas plans, including land-use maps in those plans.	
Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the requested rezoning.	The proposed development is not anticipated to pose any adverse effects on the community.
Natural Environment: Anticipated effects on the natural environment.	The subject property does not involve any greenfield or environmentally sensitive land or arroyo disturbance.
Stability: Whether the area is stable or in transition.	The area has been in transition the last 10 years with several rezonings to allow for commercial uses. Properties to the north and south along Gateway South Boulevard have undergone rezonings from R-4 (Residential) to C-3 (Commercial), C-2 (Commercial) and S-D (Special Development).
Socioeconomic & Physical Conditions: Any changed social, economic, or physical conditions that make the existing zoning no longer suitable for the property.	The subject property is located along Gateway South Boulevard and US Highway 54 which are designated as a major arterial and a freeway, respectively in the City's Major Thoroughfare Plan (MTP). Residential use is no longer suitable for the property as commercial zoning is expanding along Gateway Boulevard South.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: Access to the subject property is proposed from Sunrise Avenue (a local road) which connects to Gateway South Boulevard (a major arterial), and is appropriate for the proposed commercial use. Sidewalks are currently present along Gateway South Boulevard and the applicant will be providing a 5-foot sidewalk abutting the subject property along Sunrise Avenue. There are no bus stops located within walking distance (0.25 miles) of the subject property. The closest bus stop is located 0.52 miles away from the subject property on Hercules Avenue.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: No adverse comments were received from the reviewing departments.

PUBLIC COMMENT: The subject property lies within the boundaries of the Sunrise Neighborhood Association which was notified of the rezoning request by the applicant. Public notices were sent to property owners within 300 feet on September 26, 2025. The Planning Division has received one (1) letter in support from the public of the request.

RELATED APPLICATIONS: A rezoning application (PZRZ24-00016) is running concurrently with this special permit to allow for the proposed use of a contractor's yard (small), watchman's dwelling, and a professional office in a proposed C-2 (Commercial) zoning district.

CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

1. **Recommend Approval** of the special permit request, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. (Staff Recommendation)
2. **Recommend Approval of the special permit request With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

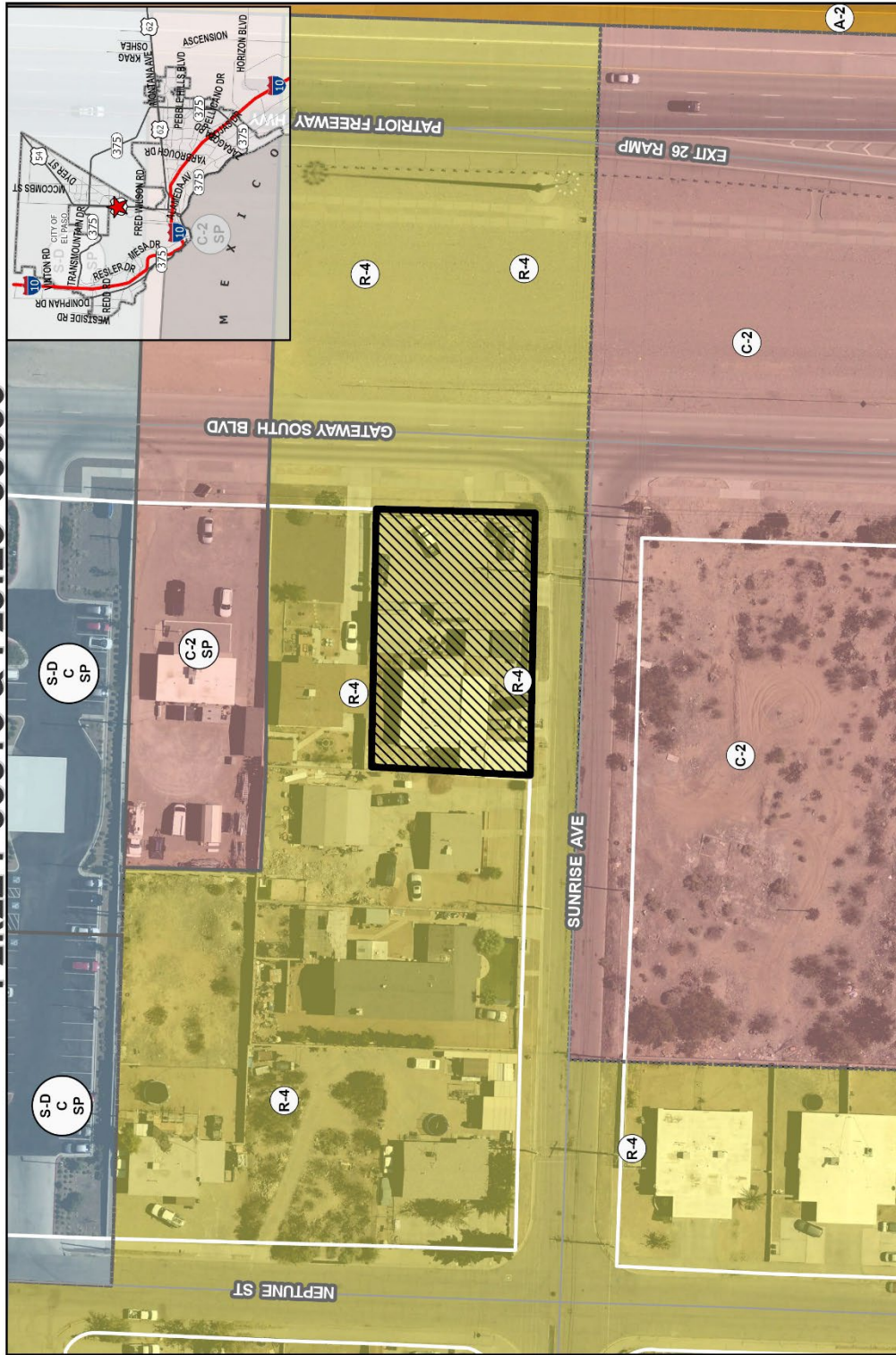
3. **Recommend Denial** of the special permit request, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.


ATTACHMENTS:

1. Zoning Map
2. Detailed Site Development Plan
3. Elevations
4. Department Comments
5. Neighborhood Notification Boundary Map
6. Letter in Support

ATTACHMENT 1

PZRZ24-00016 & PZST25-00006



 Subject Property

This map is designed for illustrative purposes only. The features depicted here are approximate and more site specific studies may be required to confirm the accuracy of the information shown on this map to scales greater than its original form. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.

G A T E W A Y S O U T H B L V D



ATTACHMENT 3



PICTURE 7 - EXISTING STRUCTURE (MATCHMAN'S DWELLING)



PICTURE 6 - EXISTING STRUCTURE (MATCHMAN'S DWELLING)



PICTURE 5 - EXISTING STRUCTURE (OFFICE)



PICTURE 4 - EXISTING STRUCTURE (OFFICE)



PICTURE 3 - STREET FACING



PICTURE 2 - YARD FACING

ATTACHMENT 4

Planning and Inspections Department - Planning Division

Staff recommends **APPROVAL** of the special permit request detailed site development plan request for a contractor's yard (small) per Section 20.04.320 – Special Permit Approvals and Section 20.04.150 – Detailed Site Development Plan Procedures. Furthermore, the proposed development is in accordance with both the G3, Post-War Future Land Use designation and *Plan El Paso*, the City's adopted Comprehensive Plan.

Planning and Inspections Department – Plan Review & Landscaping Division

No comments to provide.

Planning and Inspections Department – Land Development

TXDOT review and approval are required of the proposed subdivision for drainage and access requirements at the time of grading permit.

It is recommended harvesting area on the property.

Note: Comments to be addressed at the permitting stage.

Fire Department

No adverse comments.

Police Department

No comments received.

Environment Services

Please ensure a 36 ft. trash truck has a clear path to empty the dumpster.

Sun Metro

No comments received.

Streets and Maintenance Department

Transportation Engineering

No objections to the application.

Streets Lighting:

Street Lights Department does not object to this request.

Gateway South Blvd. is a Texas Department of Transportation (TXDOT) right-of-way (ROW).

Street Lights Department requires that all projects that involve a roadway are to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

For the development of a project a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans

shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management:

For all proposed improvements within the city right-of-way (ROW), please follow DSC and include construction detail information.

Signs and Markings:

If any work encroaches in City ROW:

All construction plan set submittals and all work shall be in compliance with all applicable City of El Paso Municipal Code, Ordinances, Design Standards for Construction (DSC), Americans with Disabilities Act (ADA), Texas Accessibility Standards (TAS), and Texas Department of Licensing and regulation (TDLR), Street Design Manual (SDM), and all applicable state and federal rules and regulations. The city may refer to TXDOT specs and standards as may be required or not covered by DSC or SDM.

Typical – Identify and differentiate City Of El Paso ROW from TXDOT ROW.

Gateway South is TxDot R.O.W.

El Paso Water

There is an existing 24-inch diameter water main that extends along Sunrise Drive, located approximately 15-feet south of the northern right of way line. No direct service connections are allowed to this main as per the El Paso Water – Public Service Board (EPWater-PSB) Rules and Regulations.

There is an existing 12-inch diameter water main that extends along Gateway South Boulevard, located approximately 10-feet east of the western right of way line. This main is available for service.

Previous water pressure reading from fire hydrant #03138, located at the intersection of Sunrise Avenue and Gateway South Boulevard has yielded a static pressure of 50 (psi), a residual pressure of 48 (psi), and a discharge of 750 (gpm).

EPWater records indicate an existing 3/4-inch water meter serving the subject property with service address of 8701 Gateway South Boulevard.

Water

EPWater-PSB does not object to this request.

Sanitary Sewer

There is an existing 12-inch diameter sanitary sewer main that extends along Sunrise Drive located approximately 33-feet south of the northern right-of-way line. This main is available for service. There is an existing 8-inch diameter sanitary sewer main that extends along Gateway South Boulevard located 13-feet east of the west right-of-way line. This main is available for service.

General

EPWater-PSB requires a new service application to provide additional service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater-PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site

and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

EPWater-SW had previously reviewed this proposal and has no objections to the rezoning & special permit request.

El Paso County 911 District

The 911 District has no comments or concerns regarding this special permit.

Texas Department of Transportation

TXDOT comments are to remove driveway on US 54 since it does not meet current spacing requirements from the intersection. Additionally, use curb to close the opening and match existing parkway along US 54.

El Paso County Water Improvement District #1

No comments received.

El Paso Electric

We have no comments for 8701 Gateway South Boulevard.

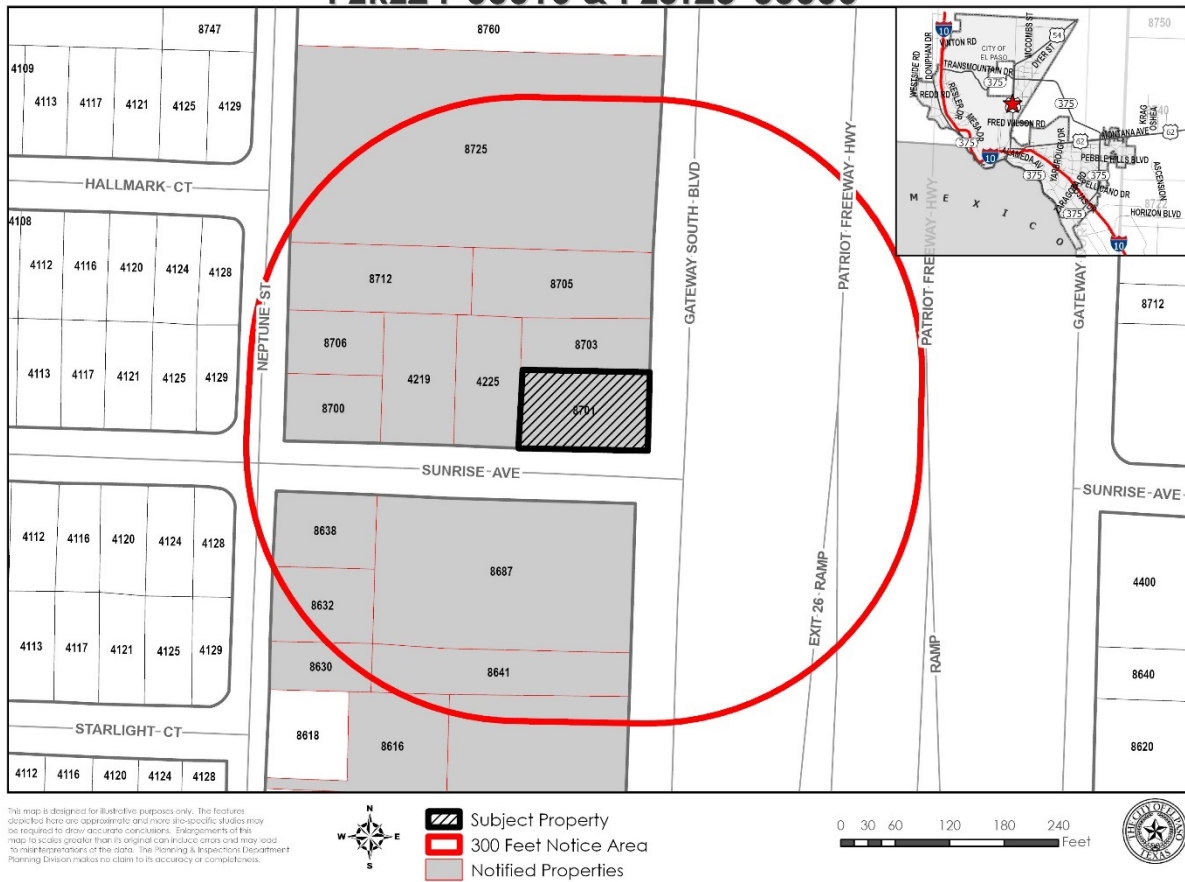
Texas Gas Service

Texas Gas Service has a service line at 8701 Gateway South Blvd.

Disclaimer: Texas Gas Service does not allow permanent structures nor trees to be installed on top of TGS gas mains or service lines. If a conflict is anticipated, the developer, contractors or owner representative should contact TGS to relocate the gas main and/or service at the developer's expense.

ATTACHMENT 5

PZRZ24-00016 & PZST25-00006



ATTACHMENT 6

Mr. David Delgado
4225 Sunrise Avenue
El Paso, TX 79904

Mike DelaRiva
8701 Gateway South Blvd
El Paso, TX 79904

April 25, 2025

RE: Rezoning and Special Permit

Dear Mr. DelaRiva:

Thank you for your recent letter asking for my support of your applications for a change of zoning and a special permit to operate a contractor's yard on your property located at 8701 Gateway South Blvd. We also understand that you are requesting our support to allow the non-conforming structure abutting the southeastern boundary of our property. We further understand the City of El Paso has no record of building permits being issued for that structure.

You have our complete support for the zoning change to C2, for the special permit to operate a contractor's yard, and for a waiver of the setback requirements between our property.

Please let us know if you need anything from us going forward to support you in your efforts.

Sincerely,



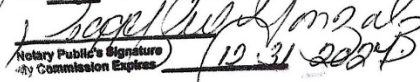
David Delgado Jr.

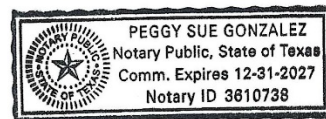
Owner—4225 Sunrise Avenue, El Paso, TX 79904



State of TX
County of EL PASO

Sworn to and subscribed before me on
the 28 day of April, 2025


Notary Public's Signature
My Commission Expires 12-31-2027





Legislation Text

File #: BC-1282, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

PZST25-00008: Lots 11, 12, 13 and 14, Block 104, Campbell's Addition,
City of El Paso, El Paso County, Texas.

Location: 600 S. Stanton Street

Existing Zoning: C-4 (Commercial)

Request: Special Permit and Detailed Site Development Plan
approval to allow for an Infill Development with a
reduction to the side street setback and a 60%
parking reduction in the C-4 (Commercial) zone district

Existing Use: Vacant

Proposed Use: Ballroom

Property Owner: Alicia Coronel and Luis Carlos Coronel

Representative: Enrique Escobedo, AIA

District: 8

Staff Contact: Jose Beltran, (915)-212-1607,
BeltranJV@elpasotexas.gov

600 S. Stanton

City Plan Commission — October 9, 2025



CASE NUMBER:	PZST25-00008
CASE MANAGER:	Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov
PROPERTY OWNER:	Alicia Coronel and Luis Carlos Coronel
REPRESENTATIVE:	Enrique Escobedo, AIA
LOCATION:	600 S. Stanton St. (District 8)
PROPERTY AREA:	0.29 acres
EXISTING ZONING:	C-4 (Commercial)
REQUEST:	Special Permit and Detailed Site Development Plan approval for Infill Development with reduction to the side street setback and a 60% parking reduction in the C-4 (Commercial) zone district.
RELATED APPLICATIONS:	None
PUBLIC INPUT:	No support or opposition received as of October 2, 2025

SUMMARY OF REQUEST: The applicant is requesting approval of special permit for an infill development with a reduction to the side street setback and a 60% parking reduction for the use of a ballroom in a C-4 (Commercial) zone district.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the special permit for infill development and reduction of setbacks and parking in the C-4 (Commercial) zone district. The proposal meets all the requirements of El Paso City Code Sections 20.04.320 – Special Permit, 20.04.150 – Detailed Site Development Plan, and 20.10.280 – Infill Development. The proposed development is consistent with *Plan El Paso*, the City's adopted Comprehensive Plan.

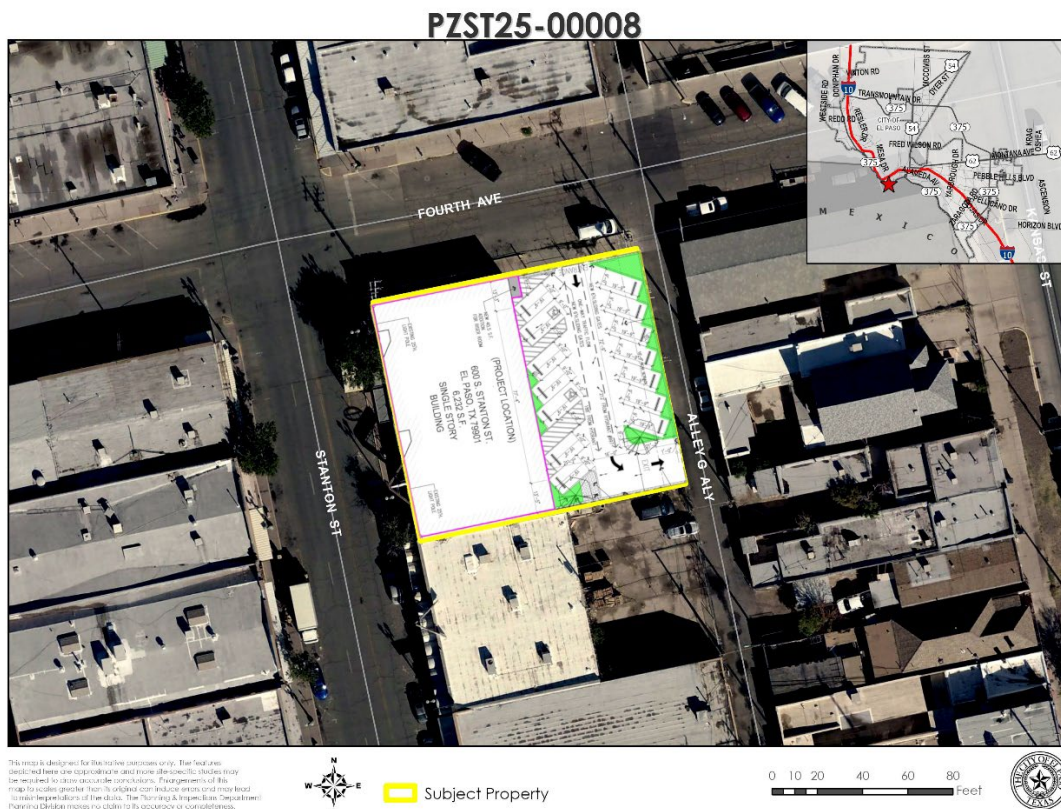


Figure A. Subject Property & Immediate Surroundings

DESCRIPTION OF REQUEST: The applicant is requesting review and approval of a Special Permit and Detailed Site Development Plan for Infill Development in a C-4 (Commercial) zoning district to allow for a proposed ballroom. The Detailed Site Development Plan illustrates the existing 6,252.5 square foot structure to be used as a ballroom with a maximum height of seventeen feet (17') and a proposed side street setback of zero feet (0') along with landscaping and parking areas.

The following table summarizes the reduction requested:

C-4 (Commercial) Zone District - Ballroom		
Density/Dimensional Standard	Required	Proposed
Front Yard Setback (min.)	0 ft.	No Change
Rear Yard Setback (min.)	10 ft.	No Change
Cumulative Front & Rear Yard Setback (min.)	No cumulative required.	N/A
Side Yard Setback (min.)	10 ft. when abutting residential or apartment district	N/A
Side Street Yard Setback (min.)	10 ft.	0 ft.
Height (max.)	60 ft.	17 ft.

Note: bold indicated requested reductions

In addition, the applicant is requesting a 60% parking reduction. A total of thirty-five (35) parking spaces are required, and the applicant is proposing to provide fourteen (14) parking spaces along with three (3) bicycle spaces. A parking study was submitted (Attachment 4), which shows twenty-eight (28) on-street parking spaces available per day on average. Pedestrian access to the property will be from Stanton Street and Fourth Avenue, with vehicular access through a one-way entrance along Fourth Avenue with exit through the alley.

COMPLIANCE WITH SPECIAL PERMIT FOR INFILL DEVELOPMENT STANDARDS (EL PASO CITY CODE SECTION 20.10.280)	
Criteria	Does the Request Comply?
Location Criteria: An infill development may be located on any parcel of land which meets at least one of the location criteria.	Yes. The subject property is located within the Downtown Plan Area and was annexed prior to 1955, thereby satisfying Mandatory Requirement 20.10.280.B.2 of the El Paso City Code.
Mandatory Design Requirement 1.1: Where on-site surface parking is proposed, it shall be located at the rear of the property and when possible accessed via alleyway; or at the side of the property and screened in accordance with Section 21.50.070.F.5.	Yes. The subject property has access through an entranceway located on the side of the property and the proposed parking will be located in the rear of the property. The principal building will screen the proposed parking from public view, ensuring compliance with the applicable requirement.
Mandatory Design Requirement 1.2: Buildings shall be placed on the parcels such that the principal orientation is toward the main street and the principal entrance is from the sidewalk.	Yes. The proposed development has the structure oriented towards Stanton Street, providing pedestrian access along the same frontage. The main entrance to the principal building will be accessed directly from the sidewalk along Stanton Street.
Mandatory Design Requirement 1.3: For proposals abutting existing residential development the front setback shall not deviate from the average front setback of lots within the same block as the proposed development by more than 15%.	Yes. The properties along this block have an average front setback of zero feet (0'). The proposed front setback of zero feet (0') is within the allowable 15% deviation from this average.
Selective Design Requirement 2.1: Any new structure with a ground floor commercial use shall demonstrate that building façades facing public rights-of-way have a	Yes. The proposed development will provide a majority transparent surface facing public rights-of-way via doors and non-opaque windows.

COMPLIANCE WITH SPECIAL PERMIT FOR INFILL DEVELOPMENT STANDARDS (EL PASO CITY CODE SECTION 20.10.280)	
majority (fifty percent or more) transparent surface on the ground floor. Transparent surface elements include, but are not limited to, doors and non-opaque windows.	
Selective Design Requirement 2.5: The total width of the primary structure shall be greater than or equal to 80% of the total lot width along the main street. For the purposes of this calculation, any necessary vehicular access driveway shall be subtracted from the total lot width.	Yes. The proposed development provides a primary structure with a total width of 100% of the lot's width along the main street frontage.
Selective Design Requirement 2.6: The project shall demonstrate compliance with one of the architectural styles defined in the Community Design Manual of Plan El Paso.	Yes. The proposed development complies with the architectural component requirements outlined in the Community Design Manual of <i>Plan El Paso</i> . The single-story structure will adhere to the Contemporary Style and will include the required features.

COMPLIANCE WITH SPECIAL PERMIT REQUIREMENTS (El Paso City Code 20.04.320.D)	
Criteria	Does the Request Comply?
1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located.	Yes. Aside from the reductions requested, the detailed site development plan demonstrates compliance with all applicable standards of the El Paso City Code.
2. Furthers <i>Plan El Paso</i> and applicable neighborhood plans or policies.	Yes. The request complies with recommendations of <i>Plan El Paso</i> and the G-2, Traditional Neighborhood (Walkable) Future Land Use designation. The proposed development will integrate with existing commercial uses along Stanton Street, while also permitting pedestrian and vehicular access.
3. Adequately served by and will not impose an undue burden upon public improvements.	Yes. The subject property fronts Stanton Street, a major arterial, as classified on the City of El Paso's Major Thoroughfare Plan (MTP). None of the reviewing departments had adverse comments and the existing infrastructure is deemed appropriate for the proposed use.
4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development.	No impact is anticipated from the approval of the proposed special permit and detailed site development plan. The proposed development will adhere to zoning requirements based on the detailed site development plan and will not impose a risk to neighboring properties.
5. The design of the proposed development mitigates substantial environmental problems.	Yes. The subject property does not involve greenfield/environmentally sensitive land or arroyo disturbance.
6. The proposed development provides adequate landscaping and/or screening where needed.	Yes. The proposed development will be complying with landscaping standards and will screen the parking area from the street and neighboring properties.
7. The proposed development is compatible with adjacent structures and uses.	Yes. The subject property is located adjacent to a variety of commercial uses under the same C-4 (Commercial) zoning district.

COMPLIANCE WITH SPECIAL PERMIT REQUIREMENTS (El Paso City Code 20.04.320.D)	
8. The proposed development is not materially detrimental to the property adjacent to the site.	Yes. The proposed use and building design are compatible with surrounding properties. The structure's scale, architectural style and placement will complement the character of the existing development and maintain neighborhood consistency.

COMPLIANCE WITH <i>PLAN EL PASO</i> GOALS & POLICIES – When evaluating whether a proposed special permit is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Criteria	Does the Request Comply?
<p>Future Land Use Map: Proposed zone change is compatible with the Future Land Use designation for the property:</p> <p>G-2, Traditional Neighborhood: This sector includes the remainder of Central El Paso as it existing through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in the Comprehensive Plan.</p>	<p>Yes. The proposed development meets the intent of the G-2, Traditional Neighborhood (Walkable) Future Land Use designation by integrating with nearby commercial and residential uses. Main access to the proposed development is through a pedestrian sidewalk along Stanton Street, while secondary access will be provided for vehicles and pedestrians through a side entryway along Fourth Avenue. This prioritizes pedestrian connectivity and supports the walkable character of the area.</p>
<p>Compatibility with Surroundings: The current zoning district is compatible with those surrounding the site:</p> <p>C-4 (Commercial) District: The purpose of these districts is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities.</p>	<p>Yes. The property is located in an area comprising mostly of other C-4 (Commercial) zoning districts to the north, south and west as well as SRR (Specialized Residential Revitalization) districts to the east. The surrounding uses consist mostly of commercial retail.</p>
THE PROPOSED PROJECT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
<p>Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.</p>	<p>The proposed development is not located within historic districts or study area plan boundaries.</p>
<p>Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the request.</p>	<p>The proposed development is not anticipated to pose any adverse effects on the surrounding community as it is predominantly commercial.</p>
<p>Natural Environment: Anticipated effects on the natural environment.</p>	<p>The subject property does not involve any greenfield areas, environmentally sensitive land, or arroyo disturbance.</p>

COMPLIANCE WITH <i>PLAN EL PASO</i> GOALS & POLICIES – When evaluating whether a proposed special permit is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Stability: Whether the area is stable or in transition.	The area is stable with no rezonings within the last 10 years.
Socioeconomic & Physical Conditions: Any changed social, economic, or physical conditions that make the existing zoning no longer suitable for the property.	The existing zoning will remain unchanged.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: The subject property has direct access to Stanton Street which is designated as a major arterial under the City of El Paso’s Major Thoroughfare Plan (MTP). The classification of this road is appropriate for the proposed development due to the existing infrastructure and services connecting commercial uses in the vicinity. Additionally, the subject property has quick access to the Stanton Bridge International Border Crossing which offers quick access to pedestrians and vehicles crossing to and from the international border. There are eleven (11) bus stops,) as well as one (1) El Paso Street Car stop within walking distance (0.25 miles). The closest bus stop is 0.06 miles away along Kansas Street. Sidewalks are currently present along Stanton Street and Fourth Avenue, as well as the majority of the surrounding area, providing primary access to the property. Secondary access will be from a proposed vehicular entranceway along Fourth Avenue that will exit through the rear alleyway. The alleyway will be improved and maintained for vehicular access.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: No adverse comments were received from the reviewing departments. There is a portion of a roof canopy encroaching into the right-of-way which may require a special privilege. If any portion of the proposed building façade encroaches into the right-of-way, a special privilege will be required prior to the issuance of building permits.

PUBLIC COMMENT: The subject property lies within the bounds of three (3) recognized neighborhood associations including the El Paso Central Business Association, the Southside Neighborhood Association, and the Sunrise Civic Group Association. As of October 2, 2025, the Planning Division has not received any communication in support or opposition to the request.

CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

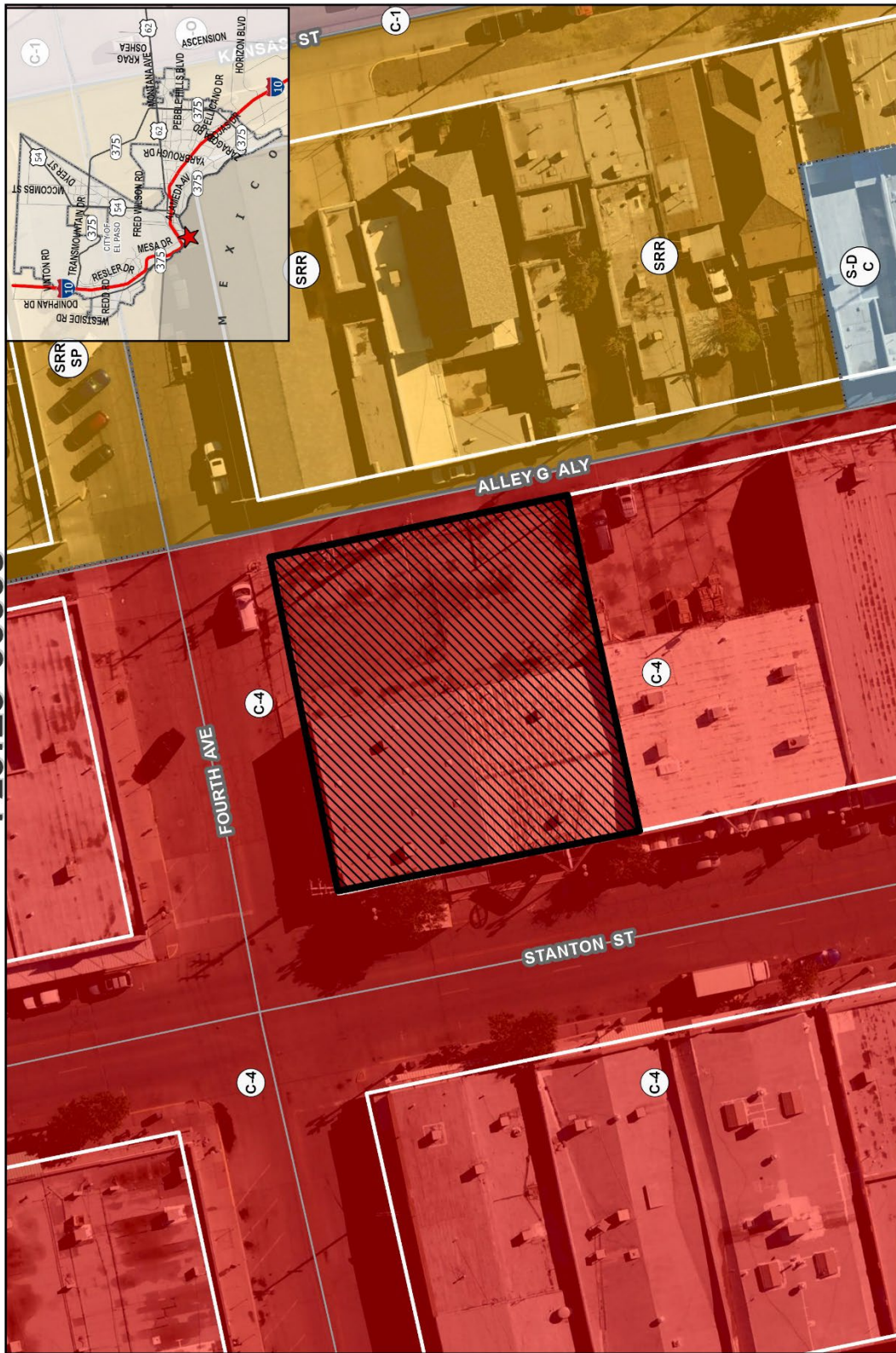
1. **Recommend Approval** of the special permit request, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. **(Staff Recommendation)**
2. **Recommend Approval of the special permit request With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Recommend Denial** of the special permit request, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

ATTACHMENTS:

1. Zoning Map
2. Detailed Site Development Plan
3. Elevations
4. Parking Study
5. Department Comments
6. Neighborhood Notification Boundary Map

ATTACHMENT 1

PZST25-00008



0 10 20 40 60 80 Feet

Subject Property



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required. The Planning & Inspection Department may lead to misinterpretations of the data. The Planning & Inspection Department makes no claim to its accuracy or completeness.

EXISTING 35' H. POWER POLE

4. PARKING LOCATION AT THE REAR OF THE PROPERTY AND ACCESSIBLE BY THE ALLEY AND SIDE STREET.

20' PAVED ALLEY
REPAIRING OF ALLEY IS REQUIRED AT THE TIME OF BUILDING AND GRADING PERMIT

NEW 6' H. ROCK WALL
NEW 6' H. SLIDING GATE
20'-0" DRIVEWAY WIDTH
1'-0"

EXISTING 35' H. POWER POLE

PAINTED TRAFFIC FLOW ARROWS
NEW 6' H. ROCK WALL
NEW PARKING TREE. SPECIE TO BE NOTED DURING PERMITTING.
TRAFFIC EXIT SIGN
4" THICK CONCRETE PAD
3-BICYCLE RACK, 35' FROM NEAREST DOOR
GRAVEL SCREENING AREA DEPICTED IN GREEN HATCH (LANDSCAPE AREA)

NEW 6' H. SLIDING GATES
NEW 6' H. SLIDING GATES
ONE-WAY TRAFFIC FLOW
NEW 6' H. SLIDING GATES
188' FROM HYDRANT
212' FROM HYDRANT #997
16'-9"

ENTRANCE
EXIT

NEW 40.5 S.F. ADDITION FOR RISER ROOM
(PROJECT LOCATION)
600 S. STANTON ST.
EL PASO, TX 79901
6,232 S.F.
SINGLE STORY BUILDING

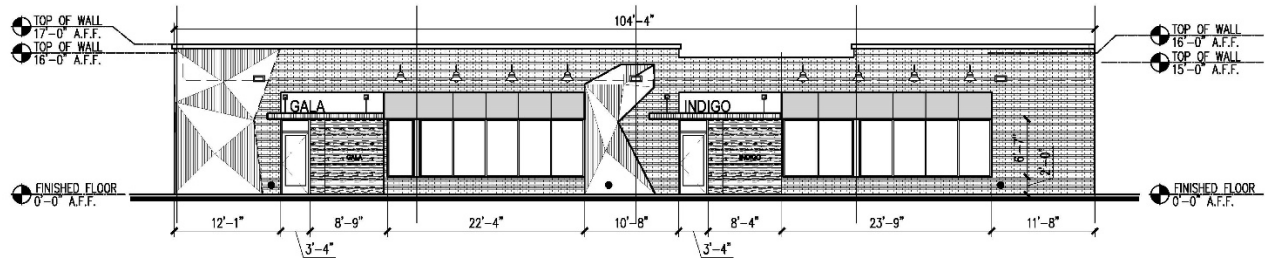
EXISTING 25' H. LIGHT POLE
EXISTING CANOPY TO BE REFURBISHED
EXISTING CANOPY TO BE REFURBISHED
EXISTING 25' H. LIGHT POLE

EXISTING SIDEWALK
EXISTING PARKWAY

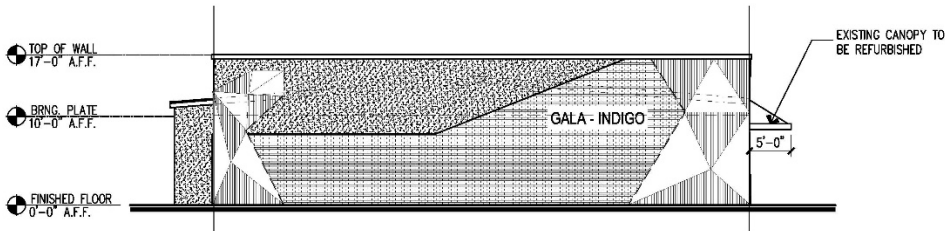
STANTON STREET

225' FROM HYDRANT

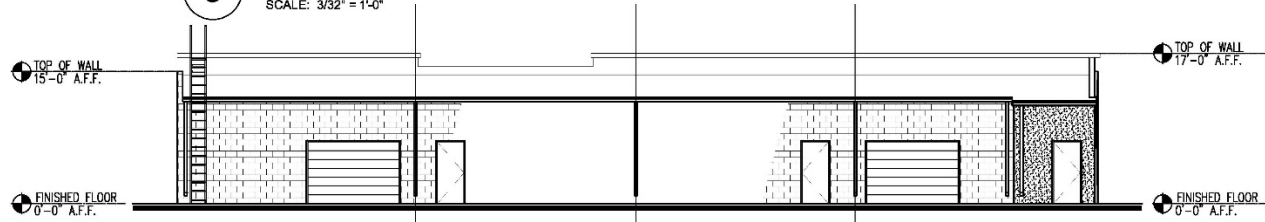
ATTACHMENT 3



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



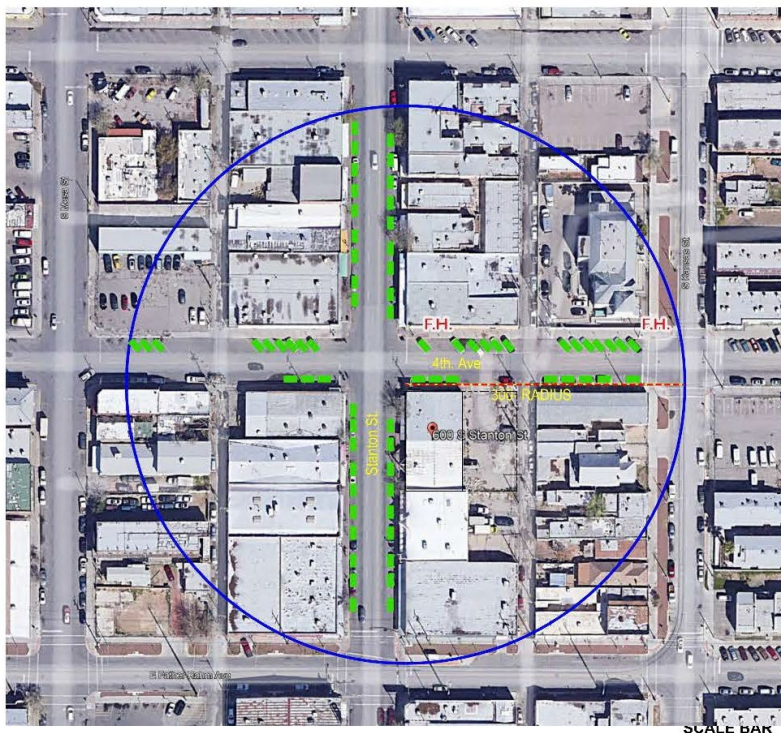
3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
SCALE: 3/32" = 1'-0"

ATTACHMENT 4

PARKING SURVEY MAY-31-2025					
TIME	STANTON 37 TOTAL AVAILABLE	4 th . AVENUE 33 TOTAL AVAILABLE			TOTAL 70 AVAILABLE
7 AM	32	18			50
8 AM	18	15			33
9 AM	16	12			28
10 AM	12	11			28
11 PM	10	11			21
12 PM	8	10			18
1 PM	8	9			17
2 PM	6	9			15
3 PM	6	9			15
4 PM	12	11			23
5 PM	17	12			29
6 PM	28	15			43
7 PM	32	18			50
TOTAL AVRG.	16	12			28
AVERAGE AVAILABLE					28



- BUILDINGS
- 18'X8' PARKING SPACE
- 300' RADIUS
- FH - FIRE HYDRANT

ATTACHMENT 5

Planning and Inspections Department - Planning Division

Staff recommends **APPROVAL** of the special permit for infill development and reduction of setbacks and parking in the C-4 (Commercial) zone district. The proposal meets all the requirements of El Paso City Code Sections 20.04.320 – Special Permit, 20.04.150 – Detailed Site Development Plan, and 20.10.280 – Infill Development. The proposed development is consistent with *Plan El Paso*, the City’s adopted Comprehensive Plan.

Planning and Inspections Department – Plan Review & Landscaping Division

No comments or objections to the proposed special permit request.

Planning and Inspections Department – Land Development

No objections to the proposed detailed site development plan.

Fire Department

No adverse comments.

Police Department

No comments received.

Environment Services

No comments received.

Streets and Maintenance Department

Transportation Engineering

No objections to the application. Parking study approved.

Traffic Division

We have communication lines at these locations: Contractor shall Email copy of 811 tickets to: LINESPOTS@ELPASOTEXAS.GOV and PAVEMENTCUT@ELPASOTEXAS.GOV, to schedule this work with the City of El Paso, Texas Traffic Signals line spotter’s staff.

Street Lights Department

Street Lights Department does not object to this request.

Stanton St. or US-85 or US-62 is a Texas Department of Transportation (TXDOT) right-of-way (ROW). Street Lights Department requires that all projects that involve a roadway are to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

For the development of a project a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

****18.18.190 – Submission contents.**

***** 19.02.040 Criteria for approval.**

Contract Management Section

Indicate that any infrastructure that is on city right of way must be done as per Design Standards for Construction and Municipal Code.

Indicate that any damaged structure must be restored to same or better condition, this goes for asphalt, concrete, manholes, or water valves.

Ensure that driveways comply with Municipal Code Chapter 13.12

When installing sidewalks, ensure compliance with Municipal Code Chapter 19.21 governing sidewalks and Chapter 13.04.020 specifying sidewalk standards.

Sun Metro

No comments received.

El Paso Water

EPWater-PSB does not object to this request.

There is an existing 8-inch diameter water main that extends along Stanton Street, this main is located approximately 45-feet west of the property. This main is available to provide service.

There is an existing 6-inch diameter water main that extends along Fourth Avenue, this main is located approximately 72-feet north of the property. This main is available to provide service.

There is an existing 4-inch diameter water main that extends along the alley G Aly between Kansas street and Stanton Street. This main is located approximately 14.5-feet east of the property. This main is available to provide service.

Previous water pressure reading from fire hydrant #1001, located on the northeast corner of Stanton Street and Fourth Avenue has yielded a static pressure of 96 psi, a residual pressure of 94 psi, and a discharge flow of 1,501 gallons per minute. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer, and relief valve, to be set for pressure as desired by the customer. The lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

EPWater records indicate an active ¾ -inch water meter serving the subject property. The service address for this meter is 600 S. Stanton Street.

Sanitary Sewer

There is an existing 8-inch diameter sanitary sewer main that extends along the alley G Aly between Kansas street and Staton Street. This main is located approximately 10-feet east of the property. This main is available to provide service.

General

EPWater-PSB requires a new service application to provide additional service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater-PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

EPWater-SW has reviewed the proposed plans and has no objections.

El Paso County 911 District

The 911 District has no comments or concerns regarding this special permit.

Texas Department of Transportation

No comments received.

El Paso County Water Improvement District #1

No comments received.

Texas Gas Service

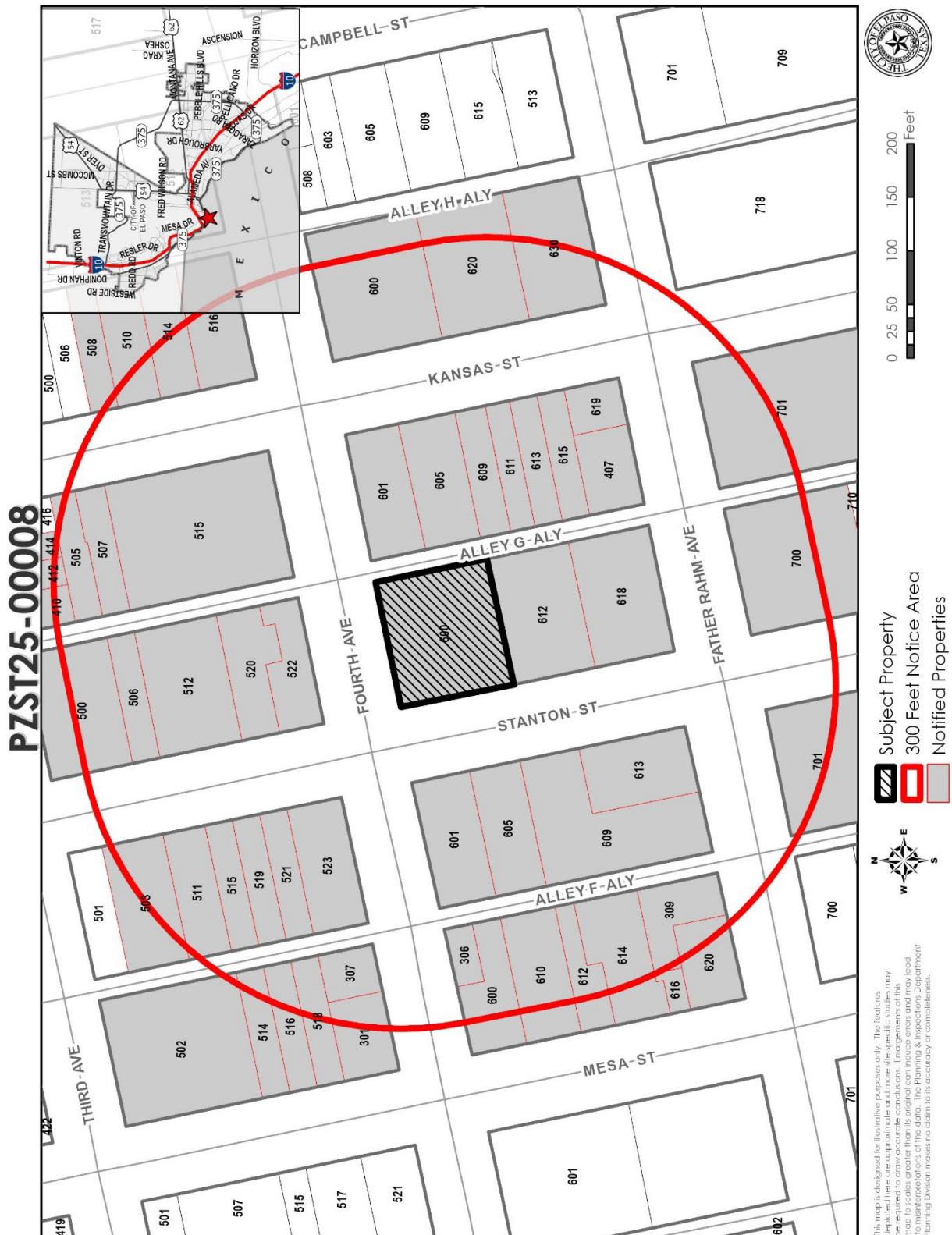
In reference to case PZST25-00008 - 600 S. Stanton St., Texas Gas Service has 2 service lines at 600 & 604 S Stanton St.

Disclaimer: Texas Gas Service does not allow permanent structures nor trees to be installed on top of TGS gas mains or service lines. If a conflict is anticipated, the developer, contractors or owner representative should contact TGS to relocate the gas main and/or service at the developer's expense.

El Paso Electric

We have no comments for 600 South Stanton Street.

ATTACHMENT 6





The diagram illustrates a street intersection. A red L-shaped building is positioned at the corner where Main Street and Academy Street meet. Blue arrows on Main Street indicate traffic flow, and yellow arrows on Academy Street indicate traffic flow.

[illegible]

1

Architectural elevation drawing of the building facade. The drawing shows a long, low structure with a flat roof and a series of windows and doors. The facade is divided into sections with different materials and colors. The roofline is marked with a dashed line and a dimension of 104'-4". The ground level is marked with a solid line and a dimension of 0'-0" A.F.F. The facade features two main entrance areas labeled "GALA" and "INDIGO". The "GALA" entrance has a large, dark, textured wall and a set of stairs. The "INDIGO" entrance has a similar wall and a set of stairs. The facade is also marked with various dimensions and elevations. The top of the wall is marked with a dashed line and a dimension of 16'-0" A.F.F. The bottom of the wall is marked with a solid line and a dimension of 0'-0" A.F.F. The drawing includes a north arrow pointing towards the top right.

Dimensions and Elevations:

- TOP OF WALL: 17'-0" A.F.F.
- TOP OF WALL: 16'-0" A.F.F.
- FINISHED FLOOR: 0'-0" A.F.F.
- FINISHED FLOOR: 0'-0" A.F.F.
- 104'-4"
- 12'-1"
- 8'-9"
- 22'-4"
- 10'-8"
- 8'-4"
- 23'-9"
- 11'-8"
- 3'-4"
- 3'-4"
- 6'-7"
- 2'-0"
- GALA
- INDIGO

2

Architectural elevation drawing of the GALA - INDIGO building facade. The drawing shows a long, low structure with a sloped roofline. Key features include:

- TOP OF WALL**: 17'-0" A.F.F.
- BRNG. PLATE**: 10'-0" A.F.F.
- FINISHED FLOOR**: 0'-0" A.F.F.
- GALA - INDIGO**: Label on the central section of the facade.
- EXISTING CANOPY TO BE REFURBISHED**: Note pointing to a triangular feature on the right side.
- 5'-0"**: Dimension indicating the width of a section on the right.

3

4

2

80' FRONTAGE BUILDOUT

LOT WIDTH MINUS DRIVEWAY

An architectural rendering of the proposed building at 1000 E. 1st Avenue. The building is a single-story structure with a brick facade and large glass windows. The left side of the building features a large, stylized geometric logo and the word 'GALA' above the entrance. The right side features a similar logo and the word 'INDIGO' above the entrance. A yellow taxi is parked on the right side of the building, and a person is walking on the sidewalk in front of the 'GALA' entrance. The sky is blue with scattered clouds.

MARK	DATE	DESCRIPTION
5		
4		
3		
2		
1		

REGISTERED ARCHITECT
ENRIQUE ESCOBEDO
29937
STATE OF TEXAS
Enrique Escobedo
SEPTEMBER 30, 2025

119



El Paso, TX

300 N. Campbell
El Paso, TX

Legislation Text

File #: BC-1283, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

Discussion and action on amendments to Titles 15, 19, 20, and 21 in accordance with Texas Senate Bills 15 and 840.

Contact: Philip Etiwe, Director of Planning and Inspections, (915) 212-1553,
EtiwePF@elpasotexas.gov

Appendix A - TABLE OF PERMISSIBLE USES — REDLINES

		Residential																Commercial					Manufacturing				Special Purpose																	Supplemental Standards	Accessory Uses Permitted to Specific Use
<u>W</u>	Use	R-1	R-2	R-2A	R-3	R-3A	R-4	R-5	RMH	A-1	A-2	A-3	A-4	A-O	A-3/O	A-M	C-OP	C-1	C-2	C-3	C-4	C-5	Q	M-1	M-2	M-3	R-F	PMD***	S-D*	U-P*	P-R I*	P-R II*	P-C*	P-I*	SRR*	R-MU*	G-MU*	I-MU*	NO S	UR D					
13.00 Residential																																													
13.02	Apartment/ <u>Multifamily Residential</u> (5 or more units)	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	X P	P	P	P	P	P	X	X		X	X		D P	D P	D P	D P	D P	X P	X	D P	Z P	Z	X		X	\$ 20.10.010; \$ 20.10.020; \$ 20.10.3860 \$ 20.10.363	Administrative office, laundry room, sauna and exercise room, or vending machine per Section 20.10.050		
<u>13.21</u> <u>5</u>	<u>Mixed-use Residential</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>X</u>	<u>P</u>	<u>ZP</u>	<u>Z</u>	<u>X</u>		<u>X</u>	<u>\$ 20.10.010;</u> <u>\$ 20.10.020;</u> <u>\$ 20.10.360;</u> <u>\$ 20.10.363</u>	<u>Administrative office, laundry room, sauna and exercise room, or vending machine per Section 20.10.050</u>			
13.25	Quadrplex	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	X	P	P	P	P	P	X	X	X	X	X	D	D	P	D	D	X	X	D	Z	Z	X	-	X	\$ 20.10.010; \$ 20.10.020	-			
13.30	Single-family attached dwelling (atrium, patio, townhouse, condominium)	X	X	X	X	X	P	P	X	P	P	P	P	P	P	P	X	P	P	P	P	P	X	X	X	X	X	D	D	D	D	D	X	X	D	Z	Z	X		X	\$ 20.10.010; \$ 20.10.020; \$ 20.10.050	Admini- strative office, laundry room, sauna and exercise room, or vending machine per Section 20.10.050			
<u>13.31</u>	<u>Single-family detached dwelling</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	X	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>X</u>	X	X	X	X	X	X	X	X	X	D	D	X	D	D	X	X	D	Z	X	X		X	\$ 20.10.010; \$ 20.10.020					
<u>13.31</u> <u>5</u>	<u>Single-family detached dwelling small lot development</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>X</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>X</u>	<u>D</u>	<u>P</u>	<u>X</u>	<u>P</u>	<u>P</u>	<u>X</u>	<u>X</u>	<u>P</u>	<u>Z</u>	<u>X</u>	<u>X</u>	<u>-</u>	<u>X</u>	<u>\$ 20.10.010;</u> <u>\$ 20.10.020;</u> <u>\$ 20.10.625</u>	<u>-</u>				
13.33	Triplex	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	X	P	P	P	P	P	X	X	X	X	X	D	D	P	D	D	X	X	D	Z	Z	X	-	X	\$ 20.10.010; \$ 20.10.020				

Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

A		SUBPART A	SUBPART B					SUBPART C								SUBPART D
B			Lot & Dwelling Size					Building Setbacks (in feet)								
C	Zoning District	Minimum District Area	Permitted Use (as established in Chapter 20.08)	Minimum Lot Area (square feet)	Minimum Average Lot Width (in feet)	Minimum Lot Depth (in feet)	Other Standards	Minimum Front Yard (in feet)	Minimum Rear Yard (in feet)	Minimum Cumulative Front & Rear Yard Total	Minimum Side Yard (in feet)	Minimum Side Street Yard (in feet)	Minimum Cumulative Side & Side Street Yard Total	Other Standards	Small Lot Development Standards	Maximum Height Limitation (in feet)
D	R-1	No minimum	Single-family dwelling	20,000	125	150	None	30	30	100	15	20	40	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
D.1	R-1	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	30	30	100	15	20	40	See Chapter 20.10	N/A	35
E	R-2	No minimum	Single-family dwelling	10,000	80	110	None	25	25	60	8	10	20	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
E-1	R-2	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	25	25	60	8	10	20	See Chapter 20.10	N/A	35
F	R-2A	No minimum	Single-family dwelling	8,000	70	100	None	25	25	60	8	10	16	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
F.1	R-2A	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	25	25	60	8	10	16	See Chapter 20.10	N/A	35
G	R-3	No minimum	Single-family dwelling	6,000	60	90	None	20	20	50	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
G.1	R-3	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	20	20	50	5	10	N/A	See Chapter 20.10	N/A	35
H	R-3A	No minimum	Single-family dwelling	5,000	50	90	None	15, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
H.1	R-3A	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	15, except that a 20' driveway must be provided	15	45	5	10	N/A	See Chapter 20.10	N/A	35
I	R-4	No minimum	Single-family dwelling	6,000	50	90	None	10, except that a 20' driveway	10	45	5	10	N/A	Accessory structures, see	See Section 20.10.625	35

Title 20 - ZONING
Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

								must be provided						Section 20.10.030		
I.1	R-4	No minimum	Two-family dwelling (Duplex)	7,000	70	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
I.2	R-4	No minimum	Other permitted uses, except as otherwise specified in this title	No minimum	No minimum	No minimum	See Chapter 20.10	10, except that a 20' driveway must be provided	10	45	5	10	N/A	See Chapter 20.10	N/A	35; except that buildings may increase the height about thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
J	R-5	No minimum	Single-family dwelling	4,500	45	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
J.1	R-5	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
J.2	R-5	No minimum	Other permitted uses, except as otherwise specified in this title	No minimum	No minimum	No minimum	See Chapter 20.10	10, except that a 20' driveway must be provided	10	45	5	10	N/A	See Chapter 20.10	N/A	35; except that buildings may increase the height about thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
K	RMH	4 acres; provided that extensions to an RMH District may be considered in increments of 4 acres or less	Manufactured homes	4,000	40	90	See Development Standards in Section 20.10.540 of this title	20	5	N/A	5	10	N/A	See Development Standards in Section 20.10.540 of this Title	N/A	16
K.1	RMH	4 acres; provided that extensions to an RMH District may be considered in increments of 4 acres or less	Other permitted uses, except as otherwise specified in this title	4,000	40	90	See Chapter 20.10	20	5	N/A	5	10	N/A	See Chapter 20.10	N/A	35

Title 20 - ZONING
Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

L	A-1	No minimum	Single-family dwelling	4,000	40	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
L.1	A-1	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
L.2	A-1	No minimum	Single-family attached dwellings (Atrium, Patio, and Townhomes) & apartments	24,000	60	100	Minimum lot area of 2,400 sf per unit; open space minimum of 50% for interior lots and 40% for corner lots	20	25	N/A	5	10	N/A	20% of required front yard shall be landscaped; this area may be included in meeting landscape requirements of Title 18	N/A	35
L.3	A-1	No minimum	Other permitted uses, except as otherwise specified in this title	4,500	45	90	See Chapter 20.10	20	25	N/A	5	10	N/A	See Chapter 20.10	N/A	35
L.4	A-1	No Minimum	Apartments and Mixed Use Residential Development	24,000	60	100	Multi-family: maximum of 145 units per acre; open space minimum of 50% for interior lots and 40% for corner lots	20	25	N/A	5	10	N/A	20% of required front yard shall be landscaped; this area may be included in meeting landscape requirements of Title 18	See Section 20.10.363	45
M	A-2	No minimum	Single-family dwelling	3,500	35	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
M.1	A-2	No minimum	Two-family dwelling (Duplex)	5,000	50	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
M.2	A-2	No minimum	Single-family attached dwellings (Atrium, Patio, and Townhomes) & apartments	6,000	50	100	Minimum lot area of 1,750 sf per unit; open space minimum of 50% for interior lots and 40% for corner lots	0	25	N/A	5	10	N/A	N/A	N/A	35
M.3	A-2	No minimum	Other permitted uses, except as otherwise specified in this title	4,500	45	90	See Chapter 20.10	20	25	N/A	5	10	N/A	See Chapter 20.10	N/A	35
M.4	A-2	No minimum	Apartments and Mixed Use Residential Development	6,000	50	100	Multi-family: maximum of 145 units per acre; open space	0	25	N/A	5	10	N/A	N/A	See Section 20.10.363	45

Title 20 - ZONING
Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

							<u>minimum of 50% for interior lots and 40% for corner lots</u>									
N	A-3	No minimum	Single-family dwelling	2,400	40	60	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
N.1	A-3	No minimum	Two-family dwelling (Duplex)	4,000	50	80	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	N/A	35
N.2	A-3	No minimum	Single-family attached dwellings (Atrium, Patio, Condominium and Townhomes) & apartments	4,000	50	80	Minimum lot area of 750 sf per unit; except for buildings 3 stories or more in height, minimum lot area of 500 sf per unit is required; minimum open space of 40% of interior lots and 30% of corner lots	0	20	N/A	4	5	N/A	N/A	N/A	35; buildings may exceed thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
N.3	A-3	No minimum	Other permitted uses, except as otherwise specified in this title	2,400	40	60	See Chapter 20.10	20	25	N/A	15	20	N/A	See Chapter 20.10	N/A	35; buildings may exceed thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
N.4	A-3	No minimum	Apartments and Mixed Use Residential Development	4,000	50	80	Multi-family: maximum of 145 units per acre; minimum open space of 40% of interior lots and 30% of corner lots	0	20	N/A	4	5	N/A	N/A	See Section 20.10.363	45
O	A-4	No minimum	Single-family dwelling	2,400	40	60	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
O.1	A-4	No minimum	Two-family dwelling (Duplex)	4,000	50	80	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	N/A	35
O.2	A-4	No minimum	Single-family attached dwellings (Atrium, Patio, Condominium and	20,000	100	100	Multi-family: maximum of 145 units per acre; Multi-family: minimum floor	0	20	N/A	4	10	N/A	Perimeter designed to ensure compatibility with adjacent	N/A	Per approved site development plan

Title 20 - ZONING
Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

			Townhomes) & apartments				area of 300 sf per dwelling unit							development thru the use of setbacks, screening walls or landscaping; minimum setback of 10 feet between any structure and adjoining ROW		
O.3	A-4	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	100	See Chapter 20.10; mixed-use developments shall be designed in a manner that separates the residential and non-residential uses	20	25	N/A	5	10	N/A	Perimeter designed to ensure compatibility with adjacent development thru the use of setbacks, screening walls or landscaping; minimum setback of 10 feet between any structure and adjoining ROW	N/A	Per approved site development plan
O.4	A-4	No minimum	Apartments and Mixed Use Residential Development	4,000	50	80	Multi-family: maximum of 145 units per acre; open space minimum of 50% for interior lots and 40% for corner lots	0	20	N/A	4	10	N/A		See Section 20.10.363	45
P	A-0	No minimum	Single-family dwelling	4,000	40	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street.
P.1	A-0	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street.
P.2	A-0	No minimum	Single-family attached dwellings (Atrium, Patio, Condominium and	6,000	50	100	Minimum lot area of 750 sf per dwelling unit; lot	0	25	N/A	5	10	N/A	N/A	N/A	Max height equal to the distance between the centerline of

Title 20 - ZONING
Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

			<u>Townhomes) & apartments</u>				coverage not to exceed 50%									<u>abutting street and face of the building abutting that street. 45</u>
P.3	A-0	No minimum	Other permitted uses, except as otherwise specified in this title	6,000	50	90	See Chapter 20.10	0	5	N/A	5	10	N/A	See Chapter 20.10	<u>N/A</u>	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street.
<u>P.4</u>	<u>A/O</u>	<u>No minimum</u>	<u>Apartments and Mixed Use Residential Development</u>	<u>6,000</u>	<u>50</u>	<u>90</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>0</u>	<u>5</u>	<u>N/A</u>	<u>5</u>	<u>10</u>	<u>N/A</u>	<u>N/A</u>	<u>See Section 20.10.363</u>	<u>45</u>
Q	A-3/0	No minimum	Churches	N/A	150	200	N/A	20	10	N/A	5	10	N/A	N/A	<u>N/A</u>	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street; above 60' in height an additional setback of 1' is required from all yard lines per 2' of height above 60'.
Q.1	A-3/0	No minimum	Other permitted uses, except as otherwise specified in this title	6,000	50	N/A	Minimum lot area of 750 sf per dwelling unit; unless 3 or more stories, then minimum lot area of 500 sf per dwelling unit; open space requirement of 40% of the lot area of an interior lot and 30% of a corner lot	0	10	N/A	5	10	N/A	See Chapter 20.10	<u>N/A</u>	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street; above 60' in height an additional setback of 1' is required from all yard lines per 2' of height above 60'.
<u>Q.2</u>	<u>A-3/O</u>	<u>No minimum</u>	<u>Apartments and Mixed Use Residential Development</u>	<u>6,000</u>	<u>50</u>	<u>90</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>0</u>	<u>10</u>	<u>N/A</u>	<u>5</u>	<u>10</u>	<u>N/A</u>	<u>N/A</u>	<u>See Section 20.10.363</u>	<u>45</u>
R	A-M	No minimum	Single-family dwelling	4,500	45	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	<u>See Section 20.10.625</u>	35

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R.1	A-M	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
R.2	A-M	No minimum	Apartments and Residential Mixed Use development	6,000	50	100	Multi-family: maximum of 145 units per acre Minimum lot area of 1,750-sf per unit; open space minimum of 50% for interior lots and 40% for corner lots	20	25	N/A	5	10	N/A	See Development Standards in Section 20.10.380 of this Title	See Section 20.10.363	35-45
R.3	A-M	No minimum	Manufactured home park	20,000	100	200	See Development Standards in Section 20.10.340 of this title	20	25	N/A	5	10	N/A	See Development Standards in Section 20.10.340 of this Title	N/A	Maximum height for manufactured homes 16', all other buildings 35'
R.4	A-M	No minimum	Other permitted uses, except as otherwise specified in this title	6,000	60	100	See Chapter 20.10	20	25	N/A	5	10	N/A	See Chapter 20.10	N/A	35
S	COP	No minimum	Other permitted uses, except as otherwise specified in this title All uses	20,000	150	100	Each site shall have a minimum street frontage of 150 feet along a street with adequate capacity to serve the proposed project, except that lots abutting a cul de sac or turning heel shall have a minimum average lot width of 150 feet	20	5	N/A	5	10	N/A	Required front yards shall be landscaped except for necessary walks and drives; this area may be included in meeting landscape requirements of Title 18	N/A	35; may exceed 35 feet when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
S.1	COP	No minimum	Apartments and Mixed Use Residential development	6,000	50	100	Multi-family: maximum of 145 units per acre	20	5	N/A	5	10	N/A	N/A	N/A	See Section 20.10.363
T	C-1	No minimum	Apartments and Mixed Use Residential development	1,500 per dwelling unit N/A	N/A	N/A	Multi-family: maximum of 145 units per acre Maximum of 29 units per acre	0	25 10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 and 20.10.363 of this Title	N/A	35-45 ; may exceed 35-45 feet when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35-45 .
T.1	C-1	No minimum	Other permitted uses, except as	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a	10	N/A	See Chapter 20.10	N/A	35; may exceed 35 feet when an

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			otherwise specified in this title								residential or apartment district					additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
U	C-2	No minimum	Apartments Apartments and Mixed Use Residential development	1,500-per dwelling-unit N/A	N/A	N/A	Multi-family: maximum of 145 units per acre Maximum of 29 units per acre	0	25-10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 of this Title	N/A	35-45 ; may exceed 35-45 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35-45 .
U.1	C-2	No minimum	Self-storage warehouse	Minimum site of 2 acres, unless abutting & adjacent to a minimum of 4 acres zoned commercial, then the minimum shall be 1 acre	200	200	See Development Standards in Section 20.10.610 of this title	15	20	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.610 of this Title	N/A	See Development Standards in Section 20.10.610 of this Title
U.2	C-2	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10	N/A	35; may exceed 35 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
V	C-3	No minimum	Apartments and Mixed Use Residential development	1,500-per dwelling-unit N/A	N/A	N/A	Multi-family: maximum of 145 units per acre Maximum of 29 units per acre	0	25-10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 and 20.10.363 of this Title	N/A	35-45 ; may exceed 35-45 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35-45 .
V.1	C-3	No minimum	Self-storage warehouse	Minimum site of 2 acres, unless abutting & adjacent to a minimum of 4 acres zoned commercial, then the	200	200	See Development Standards in Section 20.10.610 of this title	15	20	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.610 of this Title	N/A	See Development Standards in Section 20.10.610 of this Title

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				minimum shall be 1 acre												
V.2	C-3	No minimum	Manufactured home park	30,000	N/A	N/A	See Development Standards in Section 20.10.340 of this title	15	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.340 of this Title	N/A	See Development Standards in Section 20.10.340 of this Title
V.3	C-3	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10	N/A	35; may exceed 35 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
W	C-4	No minimum	Apartments <u>and Mixed Use Residential development</u>	Minimum site area of 4,000 sf N/A	50 N/A	N/A	<u>Multi-family: maximum of 145 units per acre</u> Minimum lot area of 750 sf per dwelling unit; unless 3 or more stories, then minimum lot area of 500 sf per dwelling unit	0	25 -10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 <u>and 20.10.363</u> of this title	N/A	60; may exceed 60' when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 60.
W.1	C-4	No minimum	Manufactured home parks	30,000	N/A	N/A	See Development Standards in Section 20.10.340 of this title	15	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.340 of this title	N/A	See Development Standards in Section 20.10.340 of this title
W.2	C-4	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10; Floor area ratio of 1.5	N/A	60; may exceed 60' when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 60.
X	C-5	No minimum	Apartments <u>and Mixed Use Residential development</u>	Minimum site area of 4000 sf	50	N/A	<u>Multi-family: maximum of 145 units per acre</u> Each apartment dwelling unit shall have a minimum of 400 sf	0	0	N/A	0	0	N/A	See Development Standards in Section 20.10.380 <u>and 20.10.363</u> of this title	N/A	N/A
X.1	C-5	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	0	N/A	0	0	N/A	See Chapter 20.10	N/A	N/A

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Y	Q	5 acres; extensions to the district from a common boundary may be considered in increments of 5 acres or less	Extraction operations	N/A	N/A	N/A	See Development Standards in Section 20.10.500 of this title	100	100	N/A	100	100	N/A	See Development Standards in Section 20.10.500 of this title	N/A	N/A
Y.1	Q	5 acres; extensions to the district from a common boundary may be considered in increments of 5 acres or less	Accessory uses	N/A	N/A	N/A	See Development Standards in Section 20.10.500 of this title	25	25	N/A	25	25	N/A	See Development Standards in Section 20.10.500 of this title	N/A	N/A
Z	M-1/ M-2/ M-3	No minimum	All uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	15	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10; Floor area ratio of 1.0	N/A	60; may exceed 60' when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 60.
AA	R-F	None	Single-family dwelling	1 acre	125	200	Secondary Manufactured home, see Section 20.10.600	50	50	N/A	20	25	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
AA.1	R-F	None	Nursery, greenhouse, raising or harvesting field (tree or bush crops), poultry, pasturage	5 acres	125	200	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from any major arterial right-of-way as shown on the City's major thoroughfare plan	N/A	35
AA.2	R-F	None	Small or large animal veterinary hospital or clinic	1 acre	100	150	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from any major arterial right-of-way as shown on the City's major thoroughfare plan	N/A	35
AA.3	R-F	None	Kennels & animal training establishments	6 acres	125	200	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from	N/A	35

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														any major arterial right-of-way as shown on the City's major thoroughfare plan		
AA.4	R-F	None	Feeder lots	20 acres	125	200	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from any major arterial right-of-way as shown on the City's major thoroughfare plan	N/A	35
AA.5	R-F	None	Other permitted uses, except as otherwise specified in this title	1 acre	125	200	See Chapter 20.10	50	50	N/A	20	25	N/A	See Chapter 20.10	N/A	35
BB	PMD	1 acre where common or public open space is dedicated; provided that extensions of 1 acre or less to an existing PMD from a common boundary may be considered	All Uses: maximum density per gross acre is determined on a percent average slope basis of the property (see Section 20.10.370 of this title)	No minimum; except where private open space is proposed, a minimum lot area of one-half (1/2) acre for single & two-family dwellings	None	None	See Section 20.10.370 of this title	10, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	10, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	N/A	5, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	10, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	10' between detached structures, plus 2 additional feet of separation for each story over 2; minimum 10' setback for all structures abutting public or private ROW; except that a 20' driveway is required	See Chapter 20.10	N/A	35; measured from the lowest living area floor level & shall not exceed 35 from the highest elevation of the lot, or as approved by City Council where it can be demonstrated that the additional height will not have a detrimental effect on surrounding land uses
BB.1	PMD	<u>1 acre where common or public open space is dedicated; provided that extensions of 1 acre or less to an existing PMD from a common boundary may be considered</u>	<u>Apartments and Mixed Use Residential development</u>	<u>None</u>	<u>None</u>	<u>None</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>0</u>	<u>0</u>	<u>N/A</u>	<u>0</u>	<u>0</u>	<u>N/A</u>	<u>N/A</u>	<u>See Chapter 20.10.370 and 20.10.363</u>	<u>45; measured from the lowest living area floor level & shall not exceed 45 from the highest elevation of the lot, or as approved by City Council where it can be demonstrated that the additional height will not have a detrimental effect on</u>

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																surrounding land uses
CC	S-D	1 acre (City Council may designate sites of less than one acre) None	Single-family detached	4,000	40	100	See Section 20.10.360 of this title; reduced lot sizes may be requested thru approval of a site development plan	10, except that a 20' driveway must be provided	10	N/A	10 feet between structures	10	N/A	See Section 20.10.360 of this title; reduced setbacks may be requested thru approval of a site development plan	See Section 20.10.625	45; except in developments of more than 25 acres or as approved by City Council
CC.1	S-D	1 acre (City Council may designate sites of less than one acre) None	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	Max of 20 dwelling units per acre N/A	20	10	N/A	10 feet between structures	10	N/A	See Section 20.10.360 of this title; reduced setbacks may be requested thru approval of a site development plan	N/A	45; except in developments of more than 25 acres or as approved by City Council
CC.2	S-D	1 acre (City Council may designate sites of less than one acre) None	Apartments and Mixed Use Residential development	N/A	N/A	N/A	Multi-family: maximum of 145 units per acre	20	10	N/A	10 feet between structures	10	N/A	N/A	N/A	45
DD	U-P	See Development Standards in Section 20.10.360 of this title	Single-family detached & attached, two-family	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	Accessory structures, see Section 20.10.030	N/A	See Development Standards in Section 20.10.360 of this title
DD.1	U-P	See Development Standards in Section 20.10.360 of this Title	Apartments and Mixed Use Residential development	No minimum	N/A	N/A	Multi-family: maximum of 145 units per acre See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	See Development Standards in Section 20.10.360 of this title 45
DD.2	U-P	See Development Standards in Section 20.10.360 of this title	Residential/Commercial mixed-use	No minimum	No minimum	N/A	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	See Chapter 20.10	N/A	See Development Standards in Section 20.10.360 of this title
DD.3	U-P	See Development Standards in Section 20.10.360 of this title	Church	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title
DD.4	U-P	See Development Standards in Section 20.10.360 of this title	Performing arts center	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	N/A	N/A	90
DD.5	U-P	See Development Standards in Section 20.10.360 of this title	Sports area (multi-purpose)	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	N/A	N/A	90
EE	P-R I	1 acre; extensions to the original district from a	Single-family detached	4,000	40	100	Maximum of 7 units per acre; lot size may be	10, except that a 20' driveway	10	N/A	10 between structures	10	N/A	See Section 20.10.360 of this title; setbacks	See Section 20.10.625	35; except as approved by City Council

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		common boundary may be considered in increments of 1 acre or less.					reduced by site development plan; see Development Standards in Section 20.10.360	must be provided						may be reduced if approved on site development plan		
EE1	P-R I	1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.	Other permitted uses, except as otherwise specified in this title	As approved on site development plan	As approved on site development plan	As approved on site development plan	Maximum of 7 units per acre; see Development Standards in Section 20.10.360 N/A	As approved on site development plan	As approved on site development plan	N/A	10 between structures	As approved on site development plan	N/A	See Section 20.10.360 of this title; setbacks determined by site development plan	N/A	35; except as approved by City Council
EE2	P-R I	<u>1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.</u>	<u>Apartments and Mixed Use Residential development</u>	<u>4,000</u>	<u>40</u>	<u>100</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>10</u>	<u>10</u>	<u>N/A</u>	<u>10 between structures</u>	<u>10</u>	<u>N/A</u>	<u>See Section 20.10.360 and 20.10.363</u>	<u>N/A</u>	<u>45; except as approved by City Council</u>
FF	P-R II	1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.	Single-family detached	4,000	40	100	Maximum of 14 units per acre; lot size maybe reduced by site development plan; see Development Standards in Section 20.10.360	10, except that a 20' driveway must be provided	20	N/A	10 between structures	10	N/A	See Section 20.10.360 of this title; setbacks may be reduced if approved on site development plan	<u>See Section 20.10.625</u>	35; except as approved by City Council
FF.1	P-R II	1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.	Other permitted uses, except as otherwise specified in this title	As approved on site development plan	As approved on site development plan	As approved on site development plan	Maximum of 14 units per acre; see Development Standards in Section 20.10.360 N/A	As approved on site development plan	As approved on site development plan	N/A	10 between structures	As approved on site development plan	N/A	See Section 20.10.360 of this title; setbacks determined by site development plan	N/A	35; except as approved by City Council
FF.2	P-R II	<u>1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.</u>	<u>Apartments and Mixed Use Residential development</u>	<u>4,000</u>	<u>40</u>	<u>100</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>10</u>	<u>10</u>	<u>N/A</u>	<u>10 between structures</u>	<u>10</u>	<u>N/A</u>	<u>See Section 20.10.360 and 20.10.363</u>	<u>N/A</u>	<u>45; except as approved by City Council</u>
GG	P-C	No minimum	Neighborhood shopping center	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	Principal access shall be from collector or arterial streets. No access from a residential street.	N/A	25

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GG.1	P-C	No minimum	Community shopping center	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	Principal access shall be from collector or arterial streets. No access from a residential street.	N/A	45
GG.2	P-C	No minimum	Regional shopping center	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	Principal access shall be from collector or arterial streets. No access from a residential street.	N/A	100' or 8 stories, provided any building over 45' is located at least 300' from any residential or apartment district where the height limit is less than 100'
GG.3	P-C	No minimum	Other permitted uses, except as otherwise specified in this title	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	See Chapter 20.10	N/A	Per approved site development plan
GG.4	P-C	No minimum	Apartments and Mixed Use Residential development	N/A	N/A	N/A	Multi-family: maximum of 145 units per acre	10	10	N/A	10	10	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	45; except as approved by City Council
HH	P-I	No minimum	All Uses, except as otherwise specified in this title	12,000	80	150	Floor area ratio not to exceed 50%; see Chapter 20.10	15	10, except that all structures shall be a minimum of 25 ft. from an abutting residential or apartment district	N/A	0, except that all structures shall be a minimum of 25 ft. from an abutting residential or apartment district	10	N/A	Where a P-I tract abuts railroad property containing a spur track on the rear or side property line, structures may extend to the property line for the purpose of receiving railroad service.	N/A	No building shall exceed 40', not including machinery rooms, spires, antennas, etc.
II	SRR	1,000 sf	Single-family attached & detached	1,000	N/A	N/A	See Development Standards in Section 20.10.360 of this title	0' when abutting more than 50 ft. street ROW; 20' when abutting 50 ft. or less street ROW	0' when abutting a dedicated alley; 20' when not abutting an alley	N/A	5	5	N/A	Reduction in side yard setbacks may be considered with site plan approval	N/A	35 feet; additional height may be granted by special permit
II.1	SRR	2,400	Two-family	2,400	N/A	N/A	See Development Standards in Section 20.10.360 of this title	0' when abutting more than 50 ft. street ROW; 20' when abutting 50 ft.	0' when abutting a dedicated alley; 20' when not abutting an alley	N/A	5	5	N/A	Reduction in side yard setbacks may be considered with site plan approval	N/A	35 feet; additional height may be granted by special permit

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								or less street ROW								
II.2	SRR	3,000	Apartments <u>and Mixed Use Residential development</u>	3000 sf site area; 500 sf lot area required per dwelling unit	N/A	N/A	Multi-family: maximum of 145 units per acre See Development Standards in Section 20.10.360 of this title	0' when abutting more than 50 ft. street ROW; 20' when abutting 50 ft. or less street ROW	0' when abutting a dedicated alley; 20' when not abutting an alley	N/A	5	5	N/A	Reduction in side yard setbacks may be considered with site plan approval	N/A	35-45 feet; additional height may be granted by special permit
II.3	SRR	1,000 sf	Other permitted uses, except as otherwise specified in this title	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	See Chapter 20.10	N/A	35 feet: additional height may be granted by special permit
JJ	R-MU	1 acre; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Determined by master zoning plan	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	See Chapter 20.10	N/A	No maximum; determined by master zoning plan
JJ.1	R-MU	1 acre; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Apartments and Mixed Use Residential development	No Minimum	No Minimum	No Minimum	Multi-family: maximum of 145 units per acre	No minimum	No minimum	N/A	No minimum	No minimum	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	No maximum
KK	G-MU	3 acres; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Determined by master zoning plan	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	See Chapter 20.10	N/A	No maximum; determined by master zoning plan
KK.1	G-MU	3 acres; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Apartments and Mixed Use Residential development	No Minimum	No Minimum	No Minimum	Multi-family: maximum of 145 units per acre	No Minimum	No Minimum	N/A	No Minimum	No Minimum	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	No Maximum
LL	I-MU	3 acres; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Determined by master zoning plan	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	See Chapter 20.10	N/A	No maximum; determined by master zoning plan
MM	NOS	1 acre; extensions to the original district from a common	See permitted uses in Section 20.10.385	43,560	N/A	N/A	See Development Standards in Section 20.10.385	10	10	N/A	10	10	N/A	See development standards in Section 20.10.385	N/A	35

		boundary may be considered in increments of 1 acre or less.														
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(Ord. No. 17306, § 7, 4-6-2010; Ord. No. 17625, § 1, 8-16-2011; Ord. No. 17756, § 1(Exh. A), 3-20-2012; Ord. No. 18289, § 1, 12-16-2014; Ord. No. 18459, §§ 1, 2, 1-12-2016; Ord. No. 019578, § 73—77, 12-12-2023)

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Appendix C - TABLE OF PARKING REQUIREMENTS AND STANDARDS -REDLINES

13.00	Residential	Automobile & Light Truck		Bicycle	Heavy Truck Trailer	Gravel Screen Parking	
		Minimum	Maximum			Required	Notes
13.02	Apartments (5-3 or more units)	0.7/elderly apt; 1/efficiency apt; 1.5/one bedroom apt — 2/two or more 1/Residential Unit		NOTE 3	None	Allowed	2C
13.235	Mixed Use Residential development	1/dwelling unit, plus 1/288 sf GFA commercial	1/200 sf GFA commercial	NOTE 3	None	Allowed	2I
13.25	Quadraplex	2/dwelling unit		None	None	Allowed	2H
13.315	Single-family detached dwelling small lot development	1/dwelling unit		None	None	Allowed	2H

Chapter 20.02 – Definition – Redlines

20.02.074 – Apartment/~~Multifamily residential~~ building (~~five three or more units~~).

"Apartment/~~Multifamily residential~~ building (~~five three or more units~~)" means a building or part of a building containing ~~five three~~ or more attached ~~or detached~~ dwelling units. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property.

20.02.252 - Condominium.

See "Apartment/Multifamily residential building" or "Mixed-use residential." "Condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property.

20.02.573 - Mixed-use residential

"Mixed-use residential" when used to describe land use or development, means the use or development, as applicable, of a site consisting of residential and nonresidential uses in which the residential uses are at least 65 percent of the total square footage of the development and meets the criteria found in El Paso City Code section 20.10.363. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property. Developments not meeting the criteria listed above shall not be considered mixed-use residential and shall be required to meet the requirements of the base zoning or use requirements.

20.02.760 - Quadraplex.

See "Apartment/Multifamily residential building." "~~Quadraplex~~" means a building designed or occupied as four dwelling units.

20.02.988 Single-family attached dwelling (atrium, patio, townhouse, ~~condominium~~).

See "Atrium house, patio house, townhouse, ~~condominium~~."

20.02.1003 – Small Lot

"Small lot" means a residential lot that is 4,000 square feet or less and meets the criteria found in El Paso City Code section 20.10.625.

20.02.1120 - Triplex.

See "Apartment/Multifamily residential building." ~~"Triplex (three family dwelling)" means a building designed or occupied as three dwelling units.~~

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Chapter 20.04 - ADMINISTRATIVE PROVISIONS

Article III. - Detailed Site Development Plan Approval Process

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for apartment or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363 or for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

20.04.150 Procedure.

- A. An application for detailed site development plan shall be prepared in accordance with the specifications outlined in Section 20.04.160, except where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- C. Administrative approval. Detailed site development plans meeting the following conditions shall be reviewed and approved by the zoning administrator:
 - 6. — Any site within the "U P" Union Plaza District.

20.04.170 Modification of detailed site development plan.

Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, approval of minor modifications shall not be required.

Article IV. - Master Zoning Plan Approval Process

20.04.200 Master zoning plan.

- B. Amendments to an Approved Master Zoning Plan. An applicant may request amendments to an approved MZP. These amendments shall be delineated as minor or major amendments according to the criteria set forth herein. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a master zoning plan shall not be required.

Chapter 20.10 – Supplemental Regulations - Redlines

20.10.320 - Live-work flex units.

Where permitted in a zoning district, live-work flex units encourage design solutions for compatible mixed uses and are subject to the following restrictions and provisions. Where the live-work development meets the criteria of El Paso City Code section 20.10.363, the standards found in that section shall supersede.

20.10.360 Mixed-use development.

Where section 20.10.363 – Mixed use Residential applies, it supersedes any requirements under 20.10.360 that may be in conflict.

A. Special Development (S-D).

5. Height Regulations. No building shall exceed ~~three stories or~~ forty-five feet in height, except as follows:
6. Review Standards for Establishment of S-D District.
 - b. Where the development is for single-family detached dwellings that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) a detailed site development plan shall not be required. Where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
 - c. Where the development is for single-family detached dwellings, apartments, or mixed-use residential development, but does not meet the requirements set forth in Chapter 20.12 (Density and Dimensional Standards); or where the development proposes permitted uses other than single-family detached dwellings, a detailed site development plan shall be submitted in accordance with Chapter 20.04. Additional reasonable conditions may be recommended by the city plan commission and approved by the city council in order to protect the public health, safety and welfare

B. Union Plaza (U-P).

1. Applicability. The provisions of this section will apply to all parcels of land within the "U-P" Union Plaza District. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
2. Development Standards.

- ~~a. For mixed-use developments over 1 story in height, where residential and other uses are combined in a single building, residential uses may not occupy the ground floor, except where they comply with the design standards in the "2023 Union Plaza Architectural and Design Guidelines." In other multifamily dwelling buildings, not including commercial uses, residential uses may occupy the ground floor.~~
 - ~~ba.~~ Off-Street Parking. Off-street parking requirements of Chapter 20.14 shall not apply to properties in the district. Additionally, surface parking lots shall be prohibited in the district.
 - ~~eb.~~ Drive-thru facilities are prohibited in the district.
 - ~~ec.~~ In the district, height limits of buildings or structures within a seven-hundred-foot radius of any part of the facade of the Union Depot shall not exceed forty feet, except where the development is for apartments or mixed-use residential development that meet all requirements set forth in Section 20.10.363, the height shall not exceed forty-five feet.
- 4. Architectural and Design Guidelines. The purpose of these guidelines is to protect the district from unsightly construction that would ultimately diminish the appeal of the district. All applications for redevelopment of existing buildings or structures or new construction must comply with the Union Plaza Architectural and Design Guidelines. Copies of the Union Plaza Architectural and Design Guidelines are on file in the planning and inspections department. Where conflict exists between this section and the adopted design guidelines, section 20.10.360.B shall supersede.
- 5. Application Requirements. In addition to those items required for the application for a building permit, a detailed site development plan is required prior to development within the district. The process for application and approval shall be in accordance with Title 20, Article III - Detailed Site Development Plan Approval Process. The requirement for a detailed site development plan shall only apply to new construction or additions to existing structures. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- C. Planned Residential (PR-1 and PR-2).
 - 4. Review Standards for Establishment of P-R District.
 - b. Where the development is for single-family detached dwellings that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) a detailed site development plan shall not be required. Where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- D. Planned Commercial (P-C).
 - 2. General Procedures—Plans Required.

- a. Establishment of a P-C planned commercial district shall follow the procedures for changes and amendments of Chapter 20.04, including notice and hearings, recommendations by the city plan commission and action by the city council. A detailed site development plan complying with the requirements of Chapter 20.04 shall be required, except where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- G. Residential, General and Industrial Mixed Use Districts (RMU, GMU and IMU). Uses permitted in a mixed-use development are as approved by city council through a master zoning plan. In an RMU zoning district where the development is entirely for apartments or entirely for mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, these uses shall be permitted without approval of a master zoning plan. A mixed-use development may be authorized to encourage use schemes such as but not limited to, residential, entertainment, medical, and employment centers. The following principles and requirements shall apply to a mixed-use development and shall serve as the basis for approval of a master zoning plan.

20.10.363 Mixed Use Residential or Apartment Development

- A. Mixed-use residential development. Developments not meeting the criteria listed below shall not be considered mixed-use residential and shall be required to meet the requirements of the base zoning or use requirements.
 - 1. New mixed use residential development
 - a) This section applies only to a mixed-use residential development project initiated on or after September 1, 2025
 - b) The standards in this section supersede the base zoning districts standards
 - c) To meet the requirements of a mixed-use residential development, the parcel to be developed shall meet all of the following requirements:
 - i. Shall consist of residential and nonresidential uses; and
 - ii. Minimum of 65 percent of the total square footage of the development shall be utilized for residential uses.
 - 2. Conversion of existing buildings to mixed use residential development
 - a) This section applies only to a building proposed to be converted to mixed-use residential use in which a building permit was submitted on or after September 1, 2025.
 - b) Conversion of an existing building to mixed use residential development shall meet the following requirements:
 - i. Is a building that is being used for office, retail, or warehouse uses

- ii. Minimum of 65 percent of the total square footage of the development shall be utilized for residential uses and a minimum of 65 percent of each floor area shall be used for residential uses; and
 - iii. The proposed building to be converted shall be 5 years old or more.
- c) The following shall not be required for the conversion of an existing building to mixed use residential development:
 - i. Traffic impact analysis;
 - ii. Construction of improvements or payment of a fee in connection with mitigating traffic effects; or
 - iii. Extension, upgrade, replacement, or oversizing of a utility facility except as necessary to provide the minimum capacity needed to serve the proposed converted building.

B. Apartment development

1. This section applies only to an apartment development project initiated on or after September 1, 2025
2. The standards in this section supersede the base zoning districts standards
3. Conversion of existing buildings to apartment development
 - a) This section applies only to a building proposed to be converted to apartment use in which a building permit was submitted on or after September 1, 2025.
 - b) Conversion of an existing building to apartment development shall meet the following requirements:
 - i. Is a building that is being used for office, retail, or warehouse uses; and
 - ii. The proposed building to be converted shall be 5 years old or more.
 - c) The following shall not be required for the conversion of an existing building to apartment development:
 - i. Traffic impact analysis;
 - ii. Construction of improvements or payment of a fee in connection with mitigating traffic effects; or
 - iii. Extension, upgrade, replacement, or oversizing of a utility facility except as necessary to provide the minimum capacity needed to serve the proposed converted building.

20.10.625 Small Lot Development

- A. The standards in this section supersede the base zoning districts standards
- B. To meet the requirements of a small lot development, the parcel to be platted shall meet all the following requirements:
 1. Shall be 5 acres or more:
 2. Have no previously recorded plat: and

3. Lots shall not exceed 4000 square feet.

C. When all the provisions of 20.10.625.B are met, the following shall apply:

1. Lot Size:

- a) Minimum Lot area: 2250 square feet
- b) Minimum average lot width: 30 feet
- c) Minimum lot depth: 75 feet

2. Minimum Setbacks

- a) Front setback: 15 feet
- b) Rear setback: 10 feet
- c) Side setback: 5 feet
- d) Cumulative setbacks: N/A

D. Parking minimum: 1 per residential unit

E. For subdivisions located in on-site ponding areas a minimum of 30% permeable area shall be provided.

F. Small lot developments shall not be located:

- 1. within 3,000 feet of an airport or military base; or
- 2. 15,000 feet of the boundary of a military base if the area is designated by a municipality or joint airport zoning board, as applicable, as a military airport overlay zone with a clear zone and accident potential zone designation, as described by the military base's air installation compatible use zone report.

20.10.370 Mountain development.

D. Density Permitted. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Section 20.10.363, density shall be as stated in Appendix B. Where the development is for single-family detached small lot development that meet all minimum requirements set forth in Section 20.10.625, density shall be as stated in Appendix B. For other permitted uses, the maximum dwelling units per gross acre shall be calculated based on the percentage average slope of the property as follows:

G. Property Development Standards. The following property development standards shall apply to all land, buildings and structures within a mountain development district:

- 2. Site Plan. A detailed site development plan complying with all of the requirements of Chapter 20.04 (Administrative Review Procedures) shall be required for all property within a mountain development district, except where a development is for single-family detached dwellings meeting the minimum yard requirements of Chapter 20.12 (Density and Dimensional Regulations) and where common or public open space is

provided to satisfy the open space requirements of this section. If a development is to be undertaken in a series of phases, a development schedule indicating the proposed phasing shall accompany the required detailed site plan. Where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required;

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20.12.050 - Supplemental density regulations

Density regulations may be modified in the following instances:

D. In the C-5 zoning district and in order to support the City of El Paso's goal for increased housing and in support of the City's comprehensive plan, the maximum number of permitted dwelling units shall not be limited when approved by City Council as per a City program or economic incentive program and residential units are a minimum of four hundred square feet per unit; or when residential units are a minimum of four hundred square feet per unit and three of the following criteria are met:

1. When abutting a public right-of-way, at least fifty percent of the ground floor façade abutting the right-of-way is constructed to the property line and the principal entrance is from the public sidewalk; or
2. Common open space is provided with amenities including, but not limited to, recreational areas, artwork, outdoor seating, or planters; or
3. No parking is provided or, if provided, parking shall be covered by either street screening, fencing, masonry wall, or enclosed within a structure; or
4. Building energy consumption is supplemented by alternative energy such as solar or wind-generated; or
5. Located within a quarter mile of a transit stop or transit-oriented corridor.

Chapter 21.80 - TABLES

21.80.140 - Table 11: Parking Calculations.

REQUIRED PARKING (See Table 10)

	T2 T3	T4	T4O T5 T5O T6
APARTMENT AND MIXED USE RESIDENTIAL	1.0/dwelling	1.0/dwelling	1.0/dwelling

21.80.150 Table 12: Specific Function & Use.

	T1	T2	T3	T4	T4O	T5	T5O	T6	SD
a. RESIDENTIAL									
Apartment Building		■	■	■	■	■	■	■	■
Mixed-use Residential		■	■	■	■	■	■	■	■
f. OTHER: AGRICULTURE									
Greenhouse	■	■	■						
Stable	■	■							
Kennel	■	■	■	■	■	■	■		
f. OTHER: AUTOMOTIVE									
Roadside Stand	■	■		■					■

21.80.170 Table 14: Summary Table.

	T1 NATURAL ZONE	T2 RURAL ZONE	T3 SUB-URBAN ZONE	T4 GENERAL URBAN ZONE	T4O GENERAL URBAN ZONE-OPEN	T5 URBAN CENTER ZONE	T5O URBAN CENTER ZONE-OPEN	T6 URBAN CORE ZONE	SD SPECIAL DISTRICT	
b. BASE RESIDENTIAL DENSITY (see Section 3.8)										
Reserved										
By Right	by Variance	by Variance, <u>145 unit/ac for</u>	6 units/ac. Gross	15 units/ac. Gross	20 units/ac. Gross	24 units/ac. Gross	26 units/ac. Gross	<u>145 unit/ac for Apartment</u>		

				Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	s and Mixed-use Residential uses			
		f. LOT OCCUPATION											
		Lot Width	not applicable	120 ft. min. Small Lot Development : See Section 20.10.625	50 ft. min 120 ft. max. Small Lot Development : See Section 20.10.625.	20 ft. min 80 ft. max	20 ft. min 450 ft. max	18 ft. min 180 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max		DISPOSITION	
		Lot Coverage	not applicable	30% max. None for Small Lot Development under Section 20.10.625	60% max. None for Small Lot Development under Section 20.10.625	70% max. None for Small Lot Development under Section 20.10.625	90% max. None for Small Lot Development under Section 20.10.625	90% max. None for Small Lot Development under Section 20.10.625	90% max. None for Small Lot Development under Section 20.10.625	100% max			
		g. SETBACKS - PRINCIPAL BUILDING			*only one building in excess of 200 ft. permitted per Pedestrian Shed								
		Front Setback (Principal)	not applicable	48 ft. min. 0 ft. min for Apartments and Mixed-use Residential	20 ft. min. 0 ft. min for Apartments and Mixed-use Residential	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 8 ft. max			
		Front Setback (Secondary)	not applicable	48 ft. min. 0 ft. min for Apartments and Mixed-	12 ft. min. 0 ft. min for Apartments and Mixed-	6 ft. min 12 ft. max. 0 ft. min 12 ft. max for Apartments	6 ft. min 12 ft. max. 0 ft. min 12 ft. max for Apartments	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 8 ft. max			

				use Residential	use Residential	and Mixed-use Residential	and Mixed-use Residential				
		Side Setback	not applicable	96 ft. min. 0 ft. min for Apartments and Mixed-use Residential	0 ft. or 18 ft. total min	0 ft. min	0 ft. min	0 ft. min 24 ft. max	0 ft. min 24 ft. max	0 ft. min 8 ft. max	
		Rear Setback	not applicable	96 ft. min. 0 ft. min for Apartments and Mixed-use Residential	12 ft. min. 0 ft. min for Apartments and Mixed-use Residential	0 ft. min	0 ft. min	0 ft. min	0 ft. min	0 ft. min	
		k. BUILDING CONFIGURATION (see Table 8)									
		Principal Building	not applicable	2 Stories max	2 Stories max. 4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.	3 Stories max. 4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.	4 Stories max, 20 ft. min	5 Stories max., 2 min	6 Stories max., 2 min	2 Stories min	

21.80.180 Table 15A. Form-Based Code Graphics - T3.

BUILDING CONFIGURATION (see Table 8)	
a. Principal Building	2 stories max. 4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.
LOT OCCUPATION	

a. Lot Width	50 ft. min 120 ft. max. <u>Small Lot Development: See Section 20.10.625.</u>
b. Lot Coverage	60% max. <u>None for Small Lot Development under Section 20.10.625</u>
SETBACKS - PRINCIPAL BUILDING	
a. Front Setback (P)	20 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>
b. Front Setback (S)	12 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>
d. Rear Setback	12 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>

21.80.190 Table 15B. Form-Based Code Graphics - T4.

BUILDING CONFIGURATION (see Table 8)	
a. Principal Building	2 stories max. <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.</u>
LOT OCCUPATION	
b. Lot Coverage	70% max. <u>None for Small Lot Development under Section 20.10.625</u>
SETBACKS - PRINCIPAL BUILDING	
b. Front Setback (S)	6 ft. min. 12 ft. max. <u>0 ft. min for Apartments and Mixed-use Residential</u>

21.80.200 Table 15C. Form-Based Code Graphics - T4O.

LOT OCCUPATION	
b. Lot Coverage	90% max. <u>None for Small Lot Development under Section 20.10.625</u>
SETBACKS - PRINCIPAL BUILDING	
b. Front Setback (S)	6 ft. min. 12 ft. max. <u>0 ft. min 12 ft. max for Apartments and Mixed-use Residential</u>

21.80.230 Table 16: Special District Standards.

	SD1	SD2	SD3	SD4	SD5	SD6	SD7
b. BASE RESIDENTIAL DENSITY							
By Right	24_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	24_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	NA_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	NA_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	NA_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	48_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	24_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>
f. LOT OCCUPATION							
Lot Coverage	NA	NA	90% max. <u>None for Small Lot Development under Section 20.10.625</u>	90% max. <u>None for Small Lot Development under Section 20.10.625</u>	90% max. <u>None for Small Lot Development under Section 20.10.625</u>	100% max.	NA
g. SETBACKS - PRINCIPAL BUILDING							
Rear Setback	0 ft. min.	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. or 20 ft. min.** <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	0 ft. min.
j. BUILDING CONFIGURATION							
Principal Building	6 Stories, max.	8 Stories, max.	12 Stories, max.***_	6 Stories, max.***_	3 Stories, max.***_ <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.***</u>	NA***	6 stories max.
Outbuilding	NA	NA	3 Stories, max.***_	3 Stories, max.***_	2 Stories, max.***_	NA	NA

Title 15 Redlines

Chapter 15.22 WATER AND WASTEWATER IMPACT FEES

15.22.200 Exception.

An impact fee shall not be collected on land where a building has been converted to mixed-use residential or apartment use as defined in El Paso City Code Title 20 unless the land on which the building is located was already subject to an impact fee before a building permit related to the conversion was filed with the municipality.

Title 19 Redlines

Chapter 19.18 TRAFFIC IMPACT ANALYSIS

19.18.010 Purpose and applicability.

B. Applicability.

1. A traffic impact analysis (TIA), in adherence to standards contained within this title and City of El Paso approved guidelines, shall be required under the following criteria:
 - a. For all proposed developments within the city limits and within the city's extraterritorial jurisdiction where the development is expected to generate traffic in excess of one thousand average daily trips.
 - b. If a development project will generate more than one hundred peak hour trips.
2. The number of trips generated by the proposed development shall be based on land uses and intensities according to the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual or locally approved trip generation rates. The daily trip generation rate shall be computed based upon the maximum land use intensity allowed under the proposed new zoning.
3. Exceptions. An applicant may request that the city manager or designee waive the requirement for a TIA. The requirement for a TIA may be waived under the following criteria:
 - a. The city manager or designee determine that a TIA is not needed due to traffic analysis or traffic studies already completed; or
 - b. Improvements are already, constructed that will serve and support the new development; or
 - c. Redevelopment of a building that was being used for office, retail, or warehouse use that is proposed to be converted to mixed-use residential development or apartment use as defined in El Paso City Code Title 20.10.363.

Chapter 19.23 EASEMENTS, BLOCK AND LOT DESIGN AND IMPROVEMENT STANDARDS

19.23.040 Lots—Determination and regulation of size.

- A. Zoning District Requirements, if Applicable. Lots shall conform to the minimum requirements of the established zoning district in which they are located, if located within the city's corporate limits. For small lot development as defined in El Paso City Code Title 20, the development shall meet the criteria found in 20.10.625 of the El Paso City Code.

Article 6. Definitions

Chapter 19.50 DEFINITIONS

19.50.030 Definitions.

“Small lot development” means a residential lot that is 4,000 square feet or less and meets the criteria in El Paso City Code Title 20.10.625.

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Title 21 Redlines

Chapter 21.10 - GENERAL TO ALL PLANS

21.10.040 Process.

- C. Once the property is rezoned to SmartCode Zone (SCZ), the property owner is authorized to proceed under Chapters 21.30 and 21.40, whichever is applicable, and Chapter 21.50 under this title. El Paso City Council, hereby creates a Consolidated Review Committee (CRC) comprised of a designated member or designated alternate member from each city department or other agency represented by the development coordinating committee. The CRC shall be responsible for approving adjustments to new community plans as defined in Chapter 21.30 or infill community plans as defined in Chapter 21.40 of this title and approving building scale plans as defined in Chapter 21.50 of this title. Building scale plans shall not be approved unless a new community plan or an infill community plan for the property has been approved. No building scale plan shall be required where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and 20.10.363. An owner may appeal a decision of the CRC to the city council.
- D. Once the property owner receives approval of a preliminary building scale plan from the CRC (see Section 21.50.010), except that no building scale plan shall be required where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and 20.10.363, the property owner must comply with the provisions of Title 19 Subdivisions to receive plat approval, provided that any provisions concerning platting requirements that are specifically addressed in this title, shall take precedence over similar requirements in Title 19. Prior to the submission of any plat, the property to be developed under this title must be part of an approved preliminary building scale plan. When reviewing a plat submitted in compliance with the provisions of this title, to include approval of the building scale plan, the city plan commission shall determine whether the preliminary building scale plans were approved by the CRC and whether the plat provisions contained in Title 19 which are not addressed in this title have been complied with. The city plan commission shall have no authority over the building scale plans other than to determine whether such preliminary plans comply with both Title 21 and Title 19, provided that where Title 19 conflicts with a specific provision under this title, addressing the same issue, the standard or requirement of this title shall prevail.

Chapter 21.30 NEW COMMUNITY PLANS

21.30.090 Special requirements.

- A. A new community regulating plan may designate and upon designation shall enforce any of the following special requirements which, if approved, shall then be enforced at the building scale plan stage (except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, no building scale plan shall be required):

Chapter 21.40 INFILL COMMUNITY PLANS

21.40.010 Instructions.

- E. Upon rezoning of an area as a SmartCode Zone, all parcels within the zone shall be marked as such on the zoning map of El Paso. Within the SmartCode Zone, the approved infill regulating plan and this title shall become the exclusive and mandatory zoning regulation, and its provisions, as altered by approved warrants, variances, and adjustments, shall be applied in their entirety property owners within the plan area may submit building scale plans under Chapter 21.50 in accordance with the provisions of this title. Building scale plans requiring no variances shall be approved administratively by the CRC, except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, no building scale plan shall be required.

21.40.030 Transect zones.

- B. After approval into a SmartCode Zone by the city council, landowners in each transect zone may obtain building scale plans that include any of the elements indicated by Chapters 21.40 and 21.50, except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, no building scale plan shall be required.

21.40.070 Special requirements.

- A. An infill regulating plan may designate any of the following special requirements, which if approved shall then be enforced at the building scale plan stage, except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, shall be enforced prior to issuance of building permits:

Chapter 21.50 - BUILDING SCALE PLANS

21.50.070 Building configuration.

- B. Specific to zones T2, T3, T4, T4-O, T5, T5O, T-6, SD-1, SD-2, SD-3, SD-4, SD-5, SD-6, SD-7.

Chapter 21.70 - DEFINITIONS OF TERMS

21.70.010 Definitions.

"Apartment/Multifamily residential building" means a building or part of a building containing three or more attached or detached dwelling units, to include condominium. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property.

"Live-work" means a mixed use unit consisting of a commercial and residential function. The commercial function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activity or industry. Where the live-work development meets the definition of mixed-use residential, that shall supersede. See Work-Live. (Syn: flexhouse.)

"Mixed-use residential," when used to describe land use or development, means the use or development, as applicable, of a site consisting of residential and nonresidential uses in which the residential uses are at least 65 percent of the total square footage of the development and meets the criteria found in El Paso City Code section 20.10.363. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property. Developments not meeting the criteria listed above shall not be considered mixed-use residential and shall be required to meet the requirements of the base zoning or use requirements.

"Rowhouse" means a single-family dwelling individually on a lot that shares a party wall with another of the same type on a separate lot and occupies the full frontage line. See Rearyard Building. (Syn: Townhouse)

"Small lot" means a residential lot that is 4,000 square feet or less and meets the criteria found in El Paso City Code section 20.10.625.



El Paso, TX

300 N. Campbell
El Paso, TX

Legislation Text

File #: BC-1284, Version: 1

**CITY OF EL PASO, TEXAS
LEGISTAR AGENDA ITEM SUMMARY FORM**

AGENDA LANGUAGE:

This is the language that will be posted to the agenda. Please use ARIAL 11 Font.

Presentation on the Comprehensive Plan update- Envision El Paso

Contact: Kasi Schnell, Comprehensive Plan Program Manager, schnellk@elpasotexas.gov

Chapter 20.10 – Supplemental Regulations - Redlines

20.10.320 - Live-work flex units.

Where permitted in a zoning district, live-work flex units encourage design solutions for compatible mixed uses and are subject to the following restrictions and provisions. Where the live-work development meets the criteria of El Paso City Code section 20.10.363, the standards found in that section shall supersede.

20.10.360 Mixed-use development.

Where section 20.10.363 – Mixed use Residential applies, it supersedes any requirements under 20.10.360 that may be in conflict.

A. Special Development (S-D).

5. Height Regulations. No building shall exceed ~~three stories or~~ forty-five feet in height, except as follows:
6. Review Standards for Establishment of S-D District.
 - b. Where the development is for single-family detached dwellings that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) a detailed site development plan shall not be required. Where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
 - c. Where the development is for single-family detached dwellings, apartments, or mixed-use residential development, but does not meet the requirements set forth in Chapter 20.12 (Density and Dimensional Standards); or where the development proposes permitted uses other than single-family detached dwellings, a detailed site development plan shall be submitted in accordance with Chapter 20.04. Additional reasonable conditions may be recommended by the city plan commission and approved by the city council in order to protect the public health, safety and welfare

B. Union Plaza (U-P).

1. Applicability. The provisions of this section will apply to all parcels of land within the "U-P" Union Plaza District. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
2. Development Standards.

- ~~a. For mixed-use developments over 1 story in height, where residential and other uses are combined in a single building, residential uses may not occupy the ground floor, except where they comply with the design standards in the "2023 Union Plaza Architectural and Design Guidelines." In other multifamily dwelling buildings, not including commercial uses, residential uses may occupy the ground floor.~~
 - ~~ba.~~ Off-Street Parking. Off-street parking requirements of Chapter 20.14 shall not apply to properties in the district. Additionally, surface parking lots shall be prohibited in the district.
 - ~~eb.~~ Drive-thru facilities are prohibited in the district.
 - ~~ec.~~ In the district, height limits of buildings or structures within a seven-hundred-foot radius of any part of the facade of the Union Depot shall not exceed forty feet, except where the development is for apartments or mixed-use residential development that meet all requirements set forth in Section 20.10.363, the height shall not exceed forty-five feet.
- 4. Architectural and Design Guidelines. The purpose of these guidelines is to protect the district from unsightly construction that would ultimately diminish the appeal of the district. All applications for redevelopment of existing buildings or structures or new construction must comply with the Union Plaza Architectural and Design Guidelines. Copies of the Union Plaza Architectural and Design Guidelines are on file in the planning and inspections department. Where conflict exists between this section and the adopted design guidelines, section 20.10.360.B shall supersede.
- 5. Application Requirements. In addition to those items required for the application for a building permit, a detailed site development plan is required prior to development within the district. The process for application and approval shall be in accordance with Title 20, Article III - Detailed Site Development Plan Approval Process. The requirement for a detailed site development plan shall only apply to new construction or additions to existing structures. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- C. Planned Residential (PR-1 and PR-2).
 - 4. Review Standards for Establishment of P-R District.
 - b. Where the development is for single-family detached dwellings that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) a detailed site development plan shall not be required. Where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- D. Planned Commercial (P-C).
 - 2. General Procedures—Plans Required.

- a. Establishment of a P-C planned commercial district shall follow the procedures for changes and amendments of Chapter 20.04, including notice and hearings, recommendations by the city plan commission and action by the city council. A detailed site development plan complying with the requirements of Chapter 20.04 shall be required, except where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- G. Residential, General and Industrial Mixed Use Districts (RMU, GMU and IMU). Uses permitted in a mixed-use development are as approved by city council through a master zoning plan. In an RMU zoning district where the development is entirely for apartments or entirely for mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, these uses shall be permitted without approval of a master zoning plan. A mixed-use development may be authorized to encourage use schemes such as but not limited to, residential, entertainment, medical, and employment centers. The following principles and requirements shall apply to a mixed-use development and shall serve as the basis for approval of a master zoning plan.

20.10.363 Mixed Use Residential or Apartment Development

- A. Mixed-use residential development. Developments not meeting the criteria listed below shall not be considered mixed-use residential and shall be required to meet the requirements of the base zoning or use requirements.
 - 1. New mixed use residential development
 - a) This section applies only to a mixed-use residential development project initiated on or after September 1, 2025
 - b) The standards in this section supersede the base zoning districts standards
 - c) To meet the requirements of a mixed-use residential development, the parcel to be developed shall meet all of the following requirements:
 - i. Shall consist of residential and nonresidential uses; and
 - ii. Minimum of 65 percent of the total square footage of the development shall be utilized for residential uses.
 - 2. Conversion of existing buildings to mixed use residential development
 - a) This section applies only to a building proposed to be converted to mixed-use residential use in which a building permit was submitted on or after September 1, 2025.
 - b) Conversion of an existing building to mixed use residential development shall meet the following requirements:
 - i. Is a building that is being used for office, retail, or warehouse uses

- ii. Minimum of 65 percent of the total square footage of the development shall be utilized for residential uses and a minimum of 65 percent of each floor area shall be used for residential uses; and
 - iii. The proposed building to be converted shall be 5 years old or more.
- c) The following shall not be required for the conversion of an existing building to mixed use residential development:
 - i. Traffic impact analysis;
 - ii. Construction of improvements or payment of a fee in connection with mitigating traffic effects; or
 - iii. Extension, upgrade, replacement, or oversizing of a utility facility except as necessary to provide the minimum capacity needed to serve the proposed converted building.

B. Apartment development

1. This section applies only to an apartment development project initiated on or after September 1, 2025
2. The standards in this section supersede the base zoning districts standards
3. Conversion of existing buildings to apartment development
 - a) This section applies only to a building proposed to be converted to apartment use in which a building permit was submitted on or after September 1, 2025.
 - b) Conversion of an existing building to apartment development shall meet the following requirements:
 - i. Is a building that is being used for office, retail, or warehouse uses; and
 - ii. The proposed building to be converted shall be 5 years old or more.
 - c) The following shall not be required for the conversion of an existing building to apartment development:
 - i. Traffic impact analysis;
 - ii. Construction of improvements or payment of a fee in connection with mitigating traffic effects; or
 - iii. Extension, upgrade, replacement, or oversizing of a utility facility except as necessary to provide the minimum capacity needed to serve the proposed converted building.

20.10.625 Small Lot Development

- A. The standards in this section supersede the base zoning districts standards
- B. To meet the requirements of a small lot development, the parcel to be platted shall meet all the following requirements:
 1. Shall be 5 acres or more:
 2. Have no previously recorded plat: and

3. Lots shall not exceed 4000 square feet.

C. When all the provisions of 20.10.625.B are met, the following shall apply:

1. Lot Size:

- a) Minimum Lot area: 2250 square feet
- b) Minimum average lot width: 30 feet
- c) Minimum lot depth: 75 feet

2. Minimum Setbacks

- a) Front setback: 15 feet
- b) Rear setback: 10 feet
- c) Side setback: 5 feet
- d) Cumulative setbacks: N/A

D. Parking minimum: 1 per residential unit

E. For subdivisions located in on-site ponding areas a minimum of 30% permeable area shall be provided.

F. Small lot developments shall not be located:

- 1. within 3,000 feet of an airport or military base; or
- 2. 15,000 feet of the boundary of a military base if the area is designated by a municipality or joint airport zoning board, as applicable, as a military airport overlay zone with a clear zone and accident potential zone designation, as described by the military base's air installation compatible use zone report.

20.10.370 Mountain development.

D. Density Permitted. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Section 20.10.363, density shall be as stated in Appendix B. Where the development is for single-family detached small lot development that meet all minimum requirements set forth in Section 20.10.625, density shall be as stated in Appendix B. For other permitted uses, the maximum dwelling units per gross acre shall be calculated based on the percentage average slope of the property as follows:

G. Property Development Standards. The following property development standards shall apply to all land, buildings and structures within a mountain development district:

- 2. Site Plan. A detailed site development plan complying with all of the requirements of Chapter 20.04 (Administrative Review Procedures) shall be required for all property within a mountain development district, except where a development is for single-family detached dwellings meeting the minimum yard requirements of Chapter 20.12 (Density and Dimensional Regulations) and where common or public open space is

provided to satisfy the open space requirements of this section. If a development is to be undertaken in a series of phases, a development schedule indicating the proposed phasing shall accompany the required detailed site plan. Where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required;

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20.12.050 - Supplemental density regulations

Density regulations may be modified in the following instances:

D. In the C-5 zoning district and in order to support the City of El Paso's goal for increased housing and in support of the City's comprehensive plan, the maximum number of permitted dwelling units shall not be limited when approved by City Council as per a City program or economic incentive program and residential units are a minimum of four hundred square feet per unit; or when residential units are a minimum of four hundred square feet per unit and three of the following criteria are met:

1. When abutting a public right-of-way, at least fifty percent of the ground floor façade abutting the right-of-way is constructed to the property line and the principal entrance is from the public sidewalk; or
2. Common open space is provided with amenities including, but not limited to, recreational areas, artwork, outdoor seating, or planters; or
3. No parking is provided or, if provided, parking shall be covered by either street screening, fencing, masonry wall, or enclosed within a structure; or
4. Building energy consumption is supplemented by alternative energy such as solar or wind-generated; or
5. Located within a quarter mile of a transit stop or transit-oriented corridor.

Chapter 21.80 - TABLES

21.80.140 - Table 11: Parking Calculations.

REQUIRED PARKING (See Table 10)

	T2 T3	T4	T4O T5 T5O T6
APARTMENT AND MIXED USE RESIDENTIAL	1.0/dwelling	1.0/dwelling	1.0/dwelling

21.80.150 Table 12: Specific Function & Use.

	T1	T2	T3	T4	T4O	T5	T5O	T6	SD
a. RESIDENTIAL									
Apartment Building		■	■	■	■	■	■	■	■
Mixed-use Residential		■	■	■	■	■	■	■	■
f. OTHER: AGRICULTURE									
Greenhouse	■	■	■						
Stable	■	■							
Kennel	■	■	■	■	■	■	■		
f. OTHER: AUTOMOTIVE									
Roadside Stand	■	■		■					■

21.80.170 Table 14: Summary Table.

	T1 NATURAL ZONE	T2 RURAL ZONE	T3 SUB- URBAN ZONE	T4 GENERAL URBAN ZONE	T4O GENERAL URBAN ZONE-OPEN	T5 URBAN CENTER ZONE	T5O URBAN CENTER ZONE- OPEN	T6 URBAN CORE ZONE	SD SPECIAL DISTRICT	
b. BASE RESIDENTIAL DENSITY (see Section 3.8)										
Reserved										
By Right	by Variance	by Variance, 145 unit/ac for	6 units/ac. Gross	15 units/ac. Gross	20 units/ac. Gross	24 units/ac. Gross	26 units/ac. Gross	145 unit/ac for Apartment		

				Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	145 unit/ac for Apartments and Mixed-use Residential uses	s and Mixed-use Residential uses			
		f. LOT OCCUPATION											
		Lot Width	not applicable	120 ft. min. Small Lot Development : See Section 20.10.625	50 ft. min 120 ft. max. Small Lot Development : See Section 20.10.625.	20 ft. min 80 ft. max	20 ft. min 450 ft. max	18 ft. min 180 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max		DISPOSITION	
		Lot Coverage	not applicable	30% max. None for Small Lot Development under Section 20.10.625	60% max. None for Small Lot Development under Section 20.10.625	70% max. None for Small Lot Development under Section 20.10.625	90% max. None for Small Lot Development under Section 20.10.625	90% max. None for Small Lot Development under Section 20.10.625	90% max. None for Small Lot Development under Section 20.10.625	100% max			
		g. SETBACKS - PRINCIPAL BUILDING			*only one building in excess of 200 ft. permitted per Pedestrian Shed								
		Front Setback (Principal)	not applicable	48 ft. min. 0 ft. min for Apartments and Mixed-use Residential	20 ft. min. 0 ft. min for Apartments and Mixed-use Residential	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 8 ft. max			
		Front Setback (Secondary)	not applicable	48 ft. min. 0 ft. min for Apartments and Mixed-	12 ft. min. 0 ft. min for Apartments and Mixed-	6 ft. min 12 ft. max. 0 ft. min 12 ft. max for Apartments	6 ft. min 12 ft. max. 0 ft. min 12 ft. max for Apartments	0 ft. min 12 ft. max	0 ft. min 12 ft. max	0 ft. min 8 ft. max			

				<u>use Residential</u>	<u>use Residential</u>	<u>and Mixed-use Residential</u>	<u>and Mixed-use Residential</u>					
			Side Setback	not applicable	96 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	0 ft. or 18 ft. total min	0 ft. min	0 ft. min	0 ft. min 24 ft. max	0 ft. min 24 ft. max	0 ft. min 8 ft. max	
			Rear Setback	not applicable	96 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	12 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	0 ft. min	0 ft. min	0 ft. min	0 ft. min	0 ft. min	
		k. BUILDING CONFIGURATION (see Table 8)										
			Principal Building	not applicable	2 Stories max	2 Stories max. <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.</u>	3 Stories max. <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.</u>	4 Stories max, 20 ft. min	5 Stories max., 2 min	6 Stories max., 2 min	2 Stories min	

21.80.180 Table 15A. Form-Based Code Graphics - T3.

BUILDING CONFIGURATION (see Table 8)	
a. Principal Building	2 stories max. <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.</u>
LOT OCCUPATION	

a. Lot Width	50 ft. min 120 ft. max. <u>Small Lot Development: See Section 20.10.625.</u>
b. Lot Coverage	60% max. <u>None for Small Lot Development under Section 20.10.625</u>
SETBACKS - PRINCIPAL BUILDING	
a. Front Setback (P)	20 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>
b. Front Setback (S)	12 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>
d. Rear Setback	12 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>

21.80.190 Table 15B. Form-Based Code Graphics - T4.

BUILDING CONFIGURATION (see Table 8)	
a. Principal Building	2 stories max. <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.</u>
LOT OCCUPATION	
b. Lot Coverage	70% max. <u>None for Small Lot Development under Section 20.10.625</u>
SETBACKS - PRINCIPAL BUILDING	
b. Front Setback (S)	6 ft. min. 12 ft. max. <u>0 ft. min for Apartments and Mixed-use Residential</u>

21.80.200 Table 15C. Form-Based Code Graphics - T4O.

LOT OCCUPATION	
b. Lot Coverage	90% max. <u>None for Small Lot Development under Section 20.10.625</u>
SETBACKS - PRINCIPAL BUILDING	
b. Front Setback (S)	6 ft. min. 12 ft. max. <u>0 ft. min 12 ft. max for Apartments and Mixed-use Residential</u>

21.80.230 Table 16: Special District Standards.

	SD1	SD2	SD3	SD4	SD5	SD6	SD7
b. BASE RESIDENTIAL DENSITY							
By Right	24_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	24_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	NA_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	NA_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	NA_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	48_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>	24_ <u>145 unit/ac for Apartments and Mixed-use Residential uses</u>
f. LOT OCCUPATION							
Lot Coverage	NA	NA	90% max. <u>None for Small Lot Development under Section 20.10.625</u>	90% max. <u>None for Small Lot Development under Section 20.10.625</u>	90% max. <u>None for Small Lot Development under Section 20.10.625</u>	100% max.	NA
g. SETBACKS - PRINCIPAL BUILDING							
Rear Setback	0 ft. min.	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. or 20 ft. min.** <u>0 ft. min for Apartments and Mixed-use Residential</u>	3 ft. min. <u>0 ft. min for Apartments and Mixed-use Residential</u>	0 ft. min.
j. BUILDING CONFIGURATION							
Principal Building	6 Stories, max.	8 Stories, max.	12 Stories, max.***_	6 Stories, max.***_	3 Stories, max.***_ <u>4 stories max for Apartments and Mixed-use Residential not to exceed 45 feet max.***</u>	NA***	6 stories max.
Outbuilding	NA	NA	3 Stories, max.***_	3 Stories, max.***_	2 Stories, max.***_	NA	NA

Title 15 Redlines

Chapter 15.22 WATER AND WASTEWATER IMPACT FEES

15.22.200 Exception.

An impact fee shall not be collected on land where a building has been converted to mixed-use residential or apartment use as defined in El Paso City Code Title 20 unless the land on which the building is located was already subject to an impact fee before a building permit related to the conversion was filed with the municipality.

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Title 19 Redlines

Chapter 19.18 TRAFFIC IMPACT ANALYSIS

19.18.010 Purpose and applicability.

B. Applicability.

1. A traffic impact analysis (TIA), in adherence to standards contained within this title and City of El Paso approved guidelines, shall be required under the following criteria:
 - a. For all proposed developments within the city limits and within the city's extraterritorial jurisdiction where the development is expected to generate traffic in excess of one thousand average daily trips.
 - b. If a development project will generate more than one hundred peak hour trips.
2. The number of trips generated by the proposed development shall be based on land uses and intensities according to the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual or locally approved trip generation rates. The daily trip generation rate shall be computed based upon the maximum land use intensity allowed under the proposed new zoning.
3. Exceptions. An applicant may request that the city manager or designee waive the requirement for a TIA. The requirement for a TIA may be waived under the following criteria:
 - a. The city manager or designee determine that a TIA is not needed due to traffic analysis or traffic studies already completed; or
 - b. Improvements are already, constructed that will serve and support the new development; or
 - c. Redevelopment of a building that was being used for office, retail, or warehouse use that is proposed to be converted to mixed-use residential development or apartment use as defined in El Paso City Code Title 20.10.363.

Chapter 19.23 EASEMENTS, BLOCK AND LOT DESIGN AND IMPROVEMENT STANDARDS

19.23.040 Lots—Determination and regulation of size.

- A. Zoning District Requirements, if Applicable. Lots shall conform to the minimum requirements of the established zoning district in which they are located, if located within the city's corporate limits. For small lot development as defined in El Paso City Code Title 20, the development shall meet the criteria found in 20.10.625 of the El Paso City Code.

Article 6. Definitions

Chapter 19.50 DEFINITIONS

19.50.030 Definitions.

“Small lot development” means a residential lot that is 4,000 square feet or less and meets the criteria in El Paso City Code Title 20.10.625.

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Title 21 Redlines

Chapter 21.10 - GENERAL TO ALL PLANS

21.10.040 Process.

- C. Once the property is rezoned to SmartCode Zone (SCZ), the property owner is authorized to proceed under Chapters 21.30 and 21.40, whichever is applicable, and Chapter 21.50 under this title. El Paso City Council, hereby creates a Consolidated Review Committee (CRC) comprised of a designated member or designated alternate member from each city department or other agency represented by the development coordinating committee. The CRC shall be responsible for approving adjustments to new community plans as defined in Chapter 21.30 or infill community plans as defined in Chapter 21.40 of this title and approving building scale plans as defined in Chapter 21.50 of this title. Building scale plans shall not be approved unless a new community plan or an infill community plan for the property has been approved. No building scale plan shall be required where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and 20.10.363. An owner may appeal a decision of the CRC to the city council.
- D. Once the property owner receives approval of a preliminary building scale plan from the CRC (see Section 21.50.010), except that no building scale plan shall be required where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and 20.10.363, the property owner must comply with the provisions of Title 19 Subdivisions to receive plat approval, provided that any provisions concerning platting requirements that are specifically addressed in this title, shall take precedence over similar requirements in Title 19. Prior to the submission of any plat, the property to be developed under this title must be part of an approved preliminary building scale plan. When reviewing a plat submitted in compliance with the provisions of this title, to include approval of the building scale plan, the city plan commission shall determine whether the preliminary building scale plans were approved by the CRC and whether the plat provisions contained in Title 19 which are not addressed in this title have been complied with. The city plan commission shall have no authority over the building scale plans other than to determine whether such preliminary plans comply with both Title 21 and Title 19, provided that where Title 19 conflicts with a specific provision under this title, addressing the same issue, the standard or requirement of this title shall prevail.

Chapter 21.30 NEW COMMUNITY PLANS

21.30.090 Special requirements.

- A. A new community regulating plan may designate and upon designation shall enforce any of the following special requirements which, if approved, shall then be enforced at the building scale plan stage (except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, no building scale plan shall be required):

Chapter 21.40 INFILL COMMUNITY PLANS

21.40.010 Instructions.

- E. Upon rezoning of an area as a SmartCode Zone, all parcels within the zone shall be marked as such on the zoning map of El Paso. Within the SmartCode Zone, the approved infill regulating plan and this title shall become the exclusive and mandatory zoning regulation, and its provisions, as altered by approved warrants, variances, and adjustments, shall be applied in their entirety property owners within the plan area may submit building scale plans under Chapter 21.50 in accordance with the provisions of this title. Building scale plans requiring no variances shall be approved administratively by the CRC, except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, no building scale plan shall be required.

21.40.030 Transect zones.

- B. After approval into a SmartCode Zone by the city council, landowners in each transect zone may obtain building scale plans that include any of the elements indicated by Chapters 21.40 and 21.50, except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, no building scale plan shall be required.

21.40.070 Special requirements.

- A. An infill regulating plan may designate any of the following special requirements, which if approved shall then be enforced at the building scale plan stage, except where development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 21 (SmartCode) and Section 20.10.363, shall be enforced prior to issuance of building permits:

Chapter 21.50 - BUILDING SCALE PLANS

21.50.070 Building configuration.

- B. Specific to zones T2, T3, T4, T4-O, T5, T5O, T-6, SD-1, SD-2, SD-3, SD-4, SD-5, SD-6, SD-7.

Chapter 21.70 - DEFINITIONS OF TERMS

21.70.010 Definitions.

"Apartment/Multifamily residential building" means a building or part of a building containing three or more attached or detached dwelling units, to include condominium. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property.

"Live-work" means a mixed use unit consisting of a commercial and residential function. The commercial function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activity or industry. Where the live-work development meets the definition of mixed-use residential, that shall supersede. See Work-Live. (Syn: flexhouse.)

"Mixed-use residential," when used to describe land use or development, means the use or development, as applicable, of a site consisting of residential and nonresidential uses in which the residential uses are at least 65 percent of the total square footage of the development and meets the criteria found in El Paso City Code section 20.10.363. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property. Developments not meeting the criteria listed above shall not be considered mixed-use residential and shall be required to meet the requirements of the base zoning or use requirements.

"Rowhouse" means a single-family dwelling individually on a lot that shares a party wall with another of the same type on a separate lot and occupies the full frontage line. See Rearyard Building. (Syn: Townhouse)

"Small lot" means a residential lot that is 4,000 square feet or less and meets the criteria found in El Paso City Code section 20.10.625.

Appendix A - TABLE OF PERMISSIBLE USES — REDLINES

		Residential																Commercial					Manufacturing				Special Purpose																	Supplementa I Standards	Accessory Uses Permitted to Specific Use
<u>W</u>	Use	R -1	R -2	R- 2 A	R -3	R- 3 A	R -4	R -5	RM H	A -1	A -2	A -3	A -4	A - O	A- 3/ O	A - M	C- O P	C -1	C -2	C -3	C -4	C -5	Q	M -1	M -2	M -3	R -F	PMD*** *	S- D* *	U- P* *	P- R I* *	P-R II* *	P- C* *	P- I* *	SRR* *	R- MU* *	G- MU* *	I- MU* *	NO S	UR D					
13.00 Residential																																													
13.02	Apartment/ <u>Multifamil y Residential</u> -(5 or more units)	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	X P	P	P	P	P	P	X	X	X	X	X	D P	D P	D P	D P	D P	X P	X	D P	Z P	Z	X		X	\$ 20.10.010; \$ 20.10.020; \$ <u>20.10.360</u> ; \$ <u>20.10.363</u>	Administrative office, laundry room, sauna and exercise room, or vending machine per Section 20.10.050 .			
<u>13.21</u> <u>5</u>	<u>Mixed-use Residential</u>	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	P	P	P	P	P	P	X	X	X	X	X	P	P	P	P	P	P	X	P	Z P	<u>Z</u>	X		X	\$ 20.10.010; \$ 20.10.020; \$ 20.10.360; \$ 20.10.363	<u>Administrative office, laundry room, sauna and exercise room, or vending machine per Section 20.10.050 .</u>			
13.25	Quadrplex	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	X	P	P	P	P	P	X	X	X	X	X	D	D	P	D	D	X	X	D	Z	Z	X	-	X	\$ 20.10.010; \$ 20.10.020	-			
13.30	Single-family attached dwelling (atrium, patio, townhouse, condominium)	X	X	X	X	X	P	P	X	P	P	P	P	P	P	P	X	P	P	P	P	P	X	X	X	X	X	D	D	D	D	D	X	X	D	Z	Z	X		X	\$ 20.10.010; \$ 20.10.020; \$ <u>20.10.050</u>	Admini- strative office, laundry room, sauna and exercise room, or vending machine per Section 20.10.050 .			
<u>13.31</u>	<u>Single-family detached dwelling</u>	P	P	P	P	P	P	P	X	P	P	P	P	P	P	P	X	X	X	X	X	X	X	X	X	P	D	D	X	D	D	X	X	D	Z	X	X		X	\$ 20.10.010; \$ <u>20.10.020</u>					
<u>13.31</u> <u>5</u>	<u>Single-family detached dwelling small lot development</u>	P	P	P	P	P	P	P	X	P	P	P	P	P	P	P	X	X	X	X	X	X	X	X	X	P	D	P	X	P	P	X	X	P	Z	X	X	-	X	\$ 20.10.010; \$ 20.10.020; \$ 20.10.625	-				
13.33	Triplex	X	X	X	X	X	X	X	X	P	P	P	P	P	P	P	X	P	P	P	P	P	X	X	X	X	X	D	D	P	D	D	X	X	D	Z	Z	X	-	X	\$ 20.10.010; \$ <u>20.10.020</u>				

Appendix B TABLE OF DENSITY AND DIMENSIONAL STANDARDS

A		SUBPART A	SUBPART B					SUBPART C								SUBPART D
B			Lot & Dwelling Size					Building Setbacks (in feet)								
C	Zoning District	Minimum District Area	Permitted Use (as established in Chapter 20.08)	Minimum Lot Area (square feet)	Minimum Average Lot Width (in feet)	Minimum Lot Depth (in feet)	Other Standards	Minimum Front Yard (in feet)	Minimum Rear Yard (in feet)	Minimum Cumulative Front & Rear Yard Total	Minimum Side Yard (in feet)	Minimum Side Street Yard (in feet)	Minimum Cumulative Side & Side Street Yard Total	Other Standards	Small Lot Development Standards	Maximum Height Limitation (in feet)
D	R-1	No minimum	Single-family dwelling	20,000	125	150	None	30	30	100	15	20	40	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
D.1	R-1	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	30	30	100	15	20	40	See Chapter 20.10	N/A	35
E	R-2	No minimum	Single-family dwelling	10,000	80	110	None	25	25	60	8	10	20	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
E-1	R-2	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	25	25	60	8	10	20	See Chapter 20.10	N/A	35
F	R-2A	No minimum	Single-family dwelling	8,000	70	100	None	25	25	60	8	10	16	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
F.1	R-2A	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	25	25	60	8	10	16	See Chapter 20.10	N/A	35
G	R-3	No minimum	Single-family dwelling	6,000	60	90	None	20	20	50	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
G.1	R-3	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	20	20	50	5	10	N/A	See Chapter 20.10	N/A	35
H	R-3A	No minimum	Single-family dwelling	5,000	50	90	None	15, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
H.1	R-3A	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	150	See Chapter 20.10	15, except that a 20' driveway must be provided	15	45	5	10	N/A	See Chapter 20.10	N/A	35
I	R-4	No minimum	Single-family dwelling	6,000	50	90	None	10, except that a 20' driveway	10	45	5	10	N/A	Accessory structures, see	See Section 20.10.625	35

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								must be provided						Section 20.10.030		
I.1	R-4	No minimum	Two-family dwelling (Duplex)	7,000	70	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
I.2	R-4	No minimum	Other permitted uses, except as otherwise specified in this title	No minimum	No minimum	No minimum	See Chapter 20.10	10, except that a 20' driveway must be provided	10	45	5	10	N/A	See Chapter 20.10	N/A	35; except that buildings may increase the height about thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
J	R-5	No minimum	Single-family dwelling	4,500	45	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
J.1	R-5	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
J.2	R-5	No minimum	Other permitted uses, except as otherwise specified in this title	No minimum	No minimum	No minimum	See Chapter 20.10	10, except that a 20' driveway must be provided	10	45	5	10	N/A	See Chapter 20.10	N/A	35; except that buildings may increase the height about thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
K	RMH	4 acres; provided that extensions to an RMH District may be considered in increments of 4 acres or less	Manufactured homes	4,000	40	90	See Development Standards in Section 20.10.540 of this title	20	5	N/A	5	10	N/A	See Development Standards in Section 20.10.540 of this Title	N/A	16
K.1	RMH	4 acres; provided that extensions to an RMH District may be considered in increments of 4 acres or less	Other permitted uses, except as otherwise specified in this title	4,000	40	90	See Chapter 20.10	20	5	N/A	5	10	N/A	See Chapter 20.10	N/A	35

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L	A-1	No minimum	Single-family dwelling	4,000	40	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
L.1	A-1	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
L.2	A-1	No minimum	Single-family attached dwellings (Atrium, Patio, and Townhomes) & apartments	24,000	60	100	Minimum lot area of 2,400 sf per unit; open space minimum of 50% for interior lots and 40% for corner lots	20	25	N/A	5	10	N/A	20% of required front yard shall be landscaped; this area may be included in meeting landscape requirements of Title 18	N/A	35
L.3	A-1	No minimum	Other permitted uses, except as otherwise specified in this title	4,500	45	90	See Chapter 20.10	20	25	N/A	5	10	N/A	See Chapter 20.10	N/A	35
L.4	A-1	No Minimum	Apartments and Mixed Use Residential Development	24,000	60	100	Multi-family: maximum of 145 units per acre; open space minimum of 50% for interior lots and 40% for corner lots	20	25	N/A	5	10	N/A	20% of required front yard shall be landscaped; this area may be included in meeting landscape requirements of Title 18	See Section 20.10.363	45
M	A-2	No minimum	Single-family dwelling	3,500	35	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
M.1	A-2	No minimum	Two-family dwelling (Duplex)	5,000	50	90	None	10, except that a 20' driveway must be provided	15	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
M.2	A-2	No minimum	Single-family attached dwellings (Atrium, Patio, and Townhomes) & apartments	6,000	50	100	Minimum lot area of 1,750 sf per unit; open space minimum of 50% for interior lots and 40% for corner lots	0	25	N/A	5	10	N/A	N/A	N/A	35
M.3	A-2	No minimum	Other permitted uses, except as otherwise specified in this title	4,500	45	90	See Chapter 20.10	20	25	N/A	5	10	N/A	See Chapter 20.10	N/A	35
M.4	A-2	No minimum	Apartments and Mixed Use Residential Development	6,000	50	100	Multi-family: maximum of 145 units per acre; open space	0	25	N/A	5	10	N/A	N/A	See Section 20.10.363	45

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							<u>minimum of 50% for interior lots and 40% for corner lots</u>									
N	A-3	No minimum	Single-family dwelling	2,400	40	60	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
N.1	A-3	No minimum	Two-family dwelling (Duplex)	4,000	50	80	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	N/A	35
N.2	A-3	No minimum	Single-family attached dwellings (Atrium, Patio, Condominium and Townhomes) & apartments	4,000	50	80	Minimum lot area of 750 sf per unit; except for buildings 3 stories or more in height, minimum lot area of 500 sf per unit is required; minimum open space of 40% of interior lots and 30% of corner lots	0	20	N/A	4	5	N/A	N/A	N/A	35; buildings may exceed thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
N.3	A-3	No minimum	Other permitted uses, except as otherwise specified in this title	2,400	40	60	See Chapter 20.10	20	25	N/A	15	20	N/A	See Chapter 20.10	N/A	35; buildings may exceed thirty-five (35) feet if an additional setback of two (2) feet for each one (1) foot of height in excess of thirty-five (35) feet is provided
N.4	A-3	No minimum	Apartments and Mixed Use Residential Development	4,000	50	80	Multi-family: maximum of 145 units per acre; minimum open space of 40% of interior lots and 30% of corner lots	0	20	N/A	4	5	N/A	N/A	See Section 20.10.363	45
O	A-4	No minimum	Single-family dwelling	2,400	40	60	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
O.1	A-4	No minimum	Two-family dwelling (Duplex)	4,000	50	80	None	10, except that a 20' driveway must be provided	10	40	4	5	N/A	Accessory structures, see Section 20.10.030	N/A	35
O.2	A-4	No minimum	Single-family attached dwellings (Atrium, Patio, Condominium and	20,000	100	100	Multi-family: maximum of 145 units per acre; Multi-family: minimum floor	0	20	N/A	4	10	N/A	Perimeter designed to ensure compatibility with adjacent	N/A	Per approved site development plan

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			Townhomes) & apartments				area of 300 sf per dwelling unit							development thru the use of setbacks, screening walls or landscaping; minimum setback of 10 feet between any structure and adjoining ROW		
O.3	A-4	No minimum	Other permitted uses, except as otherwise specified in this title	20,000	100	100	See Chapter 20.10; mixed-use developments shall be designed in a manner that separates the residential and non-residential uses	20	25	N/A	5	10	N/A	Perimeter designed to ensure compatibility with adjacent development thru the use of setbacks, screening walls or landscaping; minimum setback of 10 feet between any structure and adjoining ROW	N/A	Per approved site development plan
O.4	A-4	No minimum	Apartments and Mixed Use Residential Development	4,000	50	80	Multi-family: maximum of 145 units per acre; open space minimum of 50% for interior lots and 40% for corner lots	0	20	N/A	4	10	N/A		See Section 20.10.363	45
P	A-0	No minimum	Single-family dwelling	4,000	40	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street.
P.1	A-0	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street.
P.2	A-0	No minimum	Single-family attached dwellings (Atrium, Patio, Condominium and	6,000	50	100	Minimum lot area of 750 sf per dwelling unit; lot	0	25	N/A	5	10	N/A	N/A	N/A	Max height equal to the distance between the centerline of

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			<u>Townhomes) & apartments</u>				coverage not to exceed 50%									abutting street and face of the building abutting that street. <u>45</u>
P.3	A-0	No minimum	Other permitted uses, except as otherwise specified in this title	6,000	50	90	See Chapter 20.10	0	5	N/A	5	10	N/A	See Chapter 20.10	<u>N/A</u>	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street.
<u>P.4</u>	<u>A/O</u>	<u>No minimum</u>	<u>Apartments and Mixed Use Residential Development</u>	<u>6,000</u>	<u>50</u>	<u>90</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>0</u>	<u>5</u>	<u>N/A</u>	<u>5</u>	<u>10</u>	<u>N/A</u>	<u>N/A</u>	<u>See Section 20.10.363</u>	<u>45</u>
Q	A-3/0	No minimum	Churches	N/A	150	200	N/A	20	10	N/A	5	10	N/A	N/A	<u>N/A</u>	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street; above 60' in height an additional setback of 1' is required from all yard lines per 2' of height above 60'.
Q.1	A-3/0	No minimum	Other permitted uses, except as otherwise specified in this title	6,000	50	N/A	Minimum lot area of 750 sf per dwelling unit; unless 3 or more stories, then minimum lot area of 500 sf per dwelling unit; open space requirement of 40% of the lot area of an interior lot and 30% of a corner lot	0	10	N/A	5	10	N/A	See Chapter 20.10	<u>N/A</u>	Max height equal to the distance between the centerline of abutting street and face of the building abutting that street; above 60' in height an additional setback of 1' is required from all yard lines per 2' of height above 60'.
<u>Q.2</u>	<u>A-3/O</u>	<u>No minimum</u>	<u>Apartments and Mixed Use Residential Development</u>	<u>6,000</u>	<u>50</u>	<u>90</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>0</u>	<u>10</u>	<u>N/A</u>	<u>5</u>	<u>10</u>	<u>N/A</u>	<u>N/A</u>	<u>See Section 20.10.363</u>	<u>45</u>
R	A-M	No minimum	Single-family dwelling	4,500	45	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	<u>See Section 20.10.625</u>	35

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R.1	A-M	No minimum	Two-family dwelling (Duplex)	6,000	50	90	None	10, except that a 20' driveway must be provided	10	45	5	10	N/A	Accessory structures, see Section 20.10.030	N/A	35
R.2	A-M	No minimum	Apartments and Residential Mixed Use development	6,000	50	100	Multi-family: maximum of 145 units per acre Minimum lot area of 1,750-sf per unit; open space minimum of 50% for interior lots and 40% for corner lots	20	25	N/A	5	10	N/A	See Development Standards in Section 20.10.380 of this Title	See Section 20.10.363	35-45
R.3	A-M	No minimum	Manufactured home park	20,000	100	200	See Development Standards in Section 20.10.340 of this title	20	25	N/A	5	10	N/A	See Development Standards in Section 20.10.340 of this Title	N/A	Maximum height for manufactured homes 16', all other buildings 35'
R.4	A-M	No minimum	Other permitted uses, except as otherwise specified in this title	6,000	60	100	See Chapter 20.10	20	25	N/A	5	10	N/A	See Chapter 20.10	N/A	35
S	COP	No minimum	Other permitted uses, except as otherwise specified in this title All uses	20,000	150	100	Each site shall have a minimum street frontage of 150 feet along a street with adequate capacity to serve the proposed project, except that lots abutting a cul de sac or turning heel shall have a minimum average lot width of 150 feet	20	5	N/A	5	10	N/A	Required front yards shall be landscaped except for necessary walks and drives; this area may be included in meeting landscape requirements of Title 18	N/A	35; may exceed 35 feet when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
S.1	COP	No minimum	Apartments and Mixed Use Residential development	6,000	50	100	Multi-family: maximum of 145 units per acre	20	5	N/A	5	10	N/A	N/A	N/A	See Section 20.10.363
T	C-1	No minimum	Apartments and Mixed Use Residential development	1,500 per dwelling unit N/A	N/A	N/A	Multi-family: maximum of 145 units per acre Maximum of 29 units per acre	0	25 10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 and 20.10.363 of this Title	N/A	35-45 ; may exceed 35-45 feet when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35-45 .
T.1	C-1	No minimum	Other permitted uses, except as	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a	10	N/A	See Chapter 20.10	N/A	35; may exceed 35 feet when an

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			otherwise specified in this title								residential or apartment district					additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
U	C-2	No minimum	Apartments Apartments and Mixed Use Residential development	1,500-per dwelling-unit N/A	N/A	N/A	Multi-family: maximum of 145 units per acre Maximum of 29 units per acre	0	25-10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 of this Title	N/A	35-45 ; may exceed 35-45 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35-45 .
U.1	C-2	No minimum	Self-storage warehouse	Minimum site of 2 acres, unless abutting & adjacent to a minimum of 4 acres zoned commercial, then the minimum shall be 1 acre	200	200	See Development Standards in Section 20.10.610 of this title	15	20	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.610 of this Title	N/A	See Development Standards in Section 20.10.610 of this Title
U.2	C-2	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10	N/A	35; may exceed 35 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
V	C-3	No minimum	Apartments and Mixed Use Residential development	1,500-per dwelling-unit N/A	N/A	N/A	Multi-family: maximum of 145 units per acre Maximum of 29 units per acre	0	25-10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 and 20.10.363 of this Title	N/A	35-45 ; may exceed 35-45 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35-45 .
V.1	C-3	No minimum	Self-storage warehouse	Minimum site of 2 acres, unless abutting & adjacent to a minimum of 4 acres zoned commercial, then the	200	200	See Development Standards in Section 20.10.610 of this title	15	20	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.610 of this Title	N/A	See Development Standards in Section 20.10.610 of this Title

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				minimum shall be 1 acre												
V.2	C-3	No minimum	Manufactured home park	30,000	N/A	N/A	See Development Standards in Section 20.10.340 of this title	15	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.340 of this Title	N/A	See Development Standards in Section 20.10.340 of this Title
V.3	C-3	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10	N/A	35; may exceed 35 ft when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 35.
W	C-4	No minimum	Apartments <u>and Mixed Use Residential development</u>	Minimum site area of 4,000 sf N/A	50 N/A	N/A	<u>Multi-family: maximum of 145 units per acre</u> Minimum lot area of 750 sf per dwelling unit; unless 3 or more stories, then minimum lot area of 500 sf per dwelling unit	0	25 -10	N/A	5	10	N/A	See Development Standards in Section 20.10.380 <u>and 20.10.363</u> of this title	N/A	60; may exceed 60' when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 60.
W.1	C-4	No minimum	Manufactured home parks	30,000	N/A	N/A	See Development Standards in Section 20.10.340 of this title	15	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Development Standards in Section 20.10.340 of this title	N/A	See Development Standards in Section 20.10.340 of this title
W.2	C-4	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10; Floor area ratio of 1.5	N/A	60; may exceed 60' when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 60.
X	C-5	No minimum	Apartments <u>and Mixed Use Residential development</u>	Minimum site area of 4000 sf	50	N/A	<u>Multi-family: maximum of 145 units per acre</u> Each apartment dwelling unit shall have a minimum of 400 sf	0	0	N/A	0	0	N/A	See Development Standards in Section 20.10.380 <u>and 20.10.363</u> of this title	N/A	N/A
X.1	C-5	No minimum	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	0	0	N/A	0	0	N/A	See Chapter 20.10	N/A	N/A

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Y	Q	5 acres; extensions to the district from a common boundary may be considered in increments of 5 acres or less	Extraction operations	N/A	N/A	N/A	See Development Standards in Section 20.10.500 of this title	100	100	N/A	100	100	N/A	See Development Standards in Section 20.10.500 of this title	N/A	N/A
Y.1	Q	5 acres; extensions to the district from a common boundary may be considered in increments of 5 acres or less	Accessory uses	N/A	N/A	N/A	See Development Standards in Section 20.10.500 of this title	25	25	N/A	25	25	N/A	See Development Standards in Section 20.10.500 of this title	N/A	N/A
Z	M-1/ M-2/ M-3	No minimum	All uses, except as otherwise specified in this title	N/A	N/A	N/A	See Chapter 20.10	15	10	N/A	10 when abutting a residential or apartment district	10	N/A	See Chapter 20.10; Floor area ratio of 1.0	N/A	60; may exceed 60' when an additional setback of one foot is provided from all adjacent yardlines for each foot of height in excess of 60.
AA	R-F	None	Single-family dwelling	1 acre	125	200	Secondary Manufactured home, see Section 20.10.600	50	50	N/A	20	25	N/A	Accessory structures, see Section 20.10.030	See Section 20.10.625	35
AA.1	R-F	None	Nursery, greenhouse, raising or harvesting field (tree or bush crops), poultry, pasturage	5 acres	125	200	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from any major arterial right-of-way as shown on the City's major thoroughfare plan	N/A	35
AA.2	R-F	None	Small or large animal veterinary hospital or clinic	1 acre	100	150	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from any major arterial right-of-way as shown on the City's major thoroughfare plan	N/A	35
AA.3	R-F	None	Kennels & animal training establishments	6 acres	125	200	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from	N/A	35

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														any major arterial right-of-way as shown on the City's major thoroughfare plan		
AA.4	R-F	None	Feeder lots	20 acres	125	200	See Chapter 20.10 and Title 7	50	50	N/A	20	25	N/A	No structure shall be located closer than fifty (50) feet from any major arterial right-of-way as shown on the City's major thoroughfare plan	N/A	35
AA.5	R-F	None	Other permitted uses, except as otherwise specified in this title	1 acre	125	200	See Chapter 20.10	50	50	N/A	20	25	N/A	See Chapter 20.10	N/A	35
BB	PMD	1 acre where common or public open space is dedicated; provided that extensions of 1 acre or less to an existing PMD from a common boundary may be considered	All Uses: maximum density per gross acre is determined on a percent average slope basis of the property (see Section 20.10.370 of this title)	No minimum; except where private open space is proposed, a minimum lot area of one-half (1/2) acre for single & two-family dwellings	None	None	See Section 20.10.370 of this title	10, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	10, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	N/A	5, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	10, for single family detached dwellings where common open space is provided; or as otherwise approved on detailed site development plan	10' between detached structures, plus 2 additional feet of separation for each story over 2; minimum 10' setback for all structures abutting public or private ROW; except that a 20' driveway is required	See Chapter 20.10	N/A	35; measured from the lowest living area floor level & shall not exceed 35 from the highest elevation of the lot, or as approved by City Council where it can be demonstrated that the additional height will not have a detrimental effect on surrounding land uses
BB.1	PMD	<u>1 acre where common or public open space is dedicated; provided that extensions of 1 acre or less to an existing PMD from a common boundary may be considered</u>	<u>Apartments and Mixed Use Residential development</u>	<u>None</u>	<u>None</u>	<u>None</u>	<u>Multi-family: maximum of 145 units per acre</u>	<u>0</u>	<u>0</u>	<u>N/A</u>	<u>0</u>	<u>0</u>	<u>N/A</u>	<u>N/A</u>	<u>See Chapter 20.10.370 and 20.10.363</u>	<u>45; measured from the lowest living area floor level & shall not exceed 45 from the highest elevation of the lot, or as approved by City Council where it can be demonstrated that the additional height will not have a detrimental effect on</u>

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																surrounding land uses
CC	S-D	1 acre (City Council may designate sites of less than one acre) None	Single-family detached	4,000	40	100	See Section 20.10.360 of this title; reduced lot sizes may be requested thru approval of a site development plan	10, except that a 20' driveway must be provided	10	N/A	10 feet between structures	10	N/A	See Section 20.10.360 of this title; reduced setbacks may be requested thru approval of a site development plan	See Section 20.10.625	45; except in developments of more than 25 acres or as approved by City Council
CC.1	S-D	1 acre (City Council may designate sites of less than one acre) None	Other permitted uses, except as otherwise specified in this title	N/A	N/A	N/A	Max of 20 dwelling units per acre N/A	20	10	N/A	10 feet between structures	10	N/A	See Section 20.10.360 of this title; reduced setbacks may be requested thru approval of a site development plan	N/A	45; except in developments of more than 25 acres or as approved by City Council
CC.2	S-D	1 acre (City Council may designate sites of less than one acre) None	Apartments and Mixed Use Residential development	N/A	N/A	N/A	Multi-family: maximum of 145 units per acre	20	10	N/A	10 feet between structures	10	N/A	N/A	N/A	45
DD	U-P	See Development Standards in Section 20.10.360 of this title	Single-family detached & attached, two-family	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	Accessory structures, see Section 20.10.030	N/A	See Development Standards in Section 20.10.360 of this title
DD.1	U-P	See Development Standards in Section 20.10.360 of this Title	Apartments and Mixed Use Residential development	No minimum	N/A	N/A	Multi-family: maximum of 145 units per acre See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	See Development Standards in Section 20.10.360 of this title 45
DD.2	U-P	See Development Standards in Section 20.10.360 of this title	Residential/Commercial mixed-use	No minimum	No minimum	N/A	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	See Chapter 20.10	N/A	See Development Standards in Section 20.10.360 of this title
DD.3	U-P	See Development Standards in Section 20.10.360 of this title	Church	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title
DD.4	U-P	See Development Standards in Section 20.10.360 of this title	Performing arts center	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	N/A	N/A	90
DD.5	U-P	See Development Standards in Section 20.10.360 of this title	Sports area (multi-purpose)	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	N/A	N/A	90
EE	P-R I	1 acre; extensions to the original district from a	Single-family detached	4,000	40	100	Maximum of 7 units per acre; lot size may be	10, except that a 20' driveway	10	N/A	10 between structures	10	N/A	See Section 20.10.360 of this title; setbacks	See Section 20.10.625	35; except as approved by City Council

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		common boundary may be considered in increments of 1 acre or less.					reduced by site development plan; see Development Standards in Section 20.10.360	must be provided						may be reduced if approved on site development plan		
EE1	P-R I	1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.	Other permitted uses, except as otherwise specified in this title	As approved on site development plan	As approved on site development plan	As approved on site development plan	Maximum of 7 units per acre; see Development Standards in Section 20.10.360 N/A	As approved on site development plan	As approved on site development plan	N/A	10 between structures	As approved on site development plan	N/A	See Section 20.10.360 of this title; setbacks determined by site development plan	N/A	35; except as approved by City Council
EE2	P-R I	<u>1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.</u>	<u>Apartments and Mixed Use Residential development</u>	<u>4,000</u>	<u>40</u>	<u>100</u>	<u>Multi-family; maximum of 145 units per acre</u>	<u>10</u>	<u>10</u>	<u>N/A</u>	<u>10 between structures</u>	<u>10</u>	<u>N/A</u>	<u>See Section 20.10.360 and 20.10.363</u>	<u>N/A</u>	<u>45; except as approved by City Council</u>
FF	P-R II	1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.	Single-family detached	4,000	40	100	Maximum of 14 units per acre; lot size maybe reduced by site development plan; see Development Standards in Section 20.10.360	10, except that a 20' driveway must be provided	20	N/A	10 between structures	10	N/A	See Section 20.10.360 of this title; setbacks may be reduced if approved on site development plan	<u>See Section 20.10.625</u>	35; except as approved by City Council
FF.1	P-R II	1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.	Other permitted uses, except as otherwise specified in this title	As approved on site development plan	As approved on site development plan	As approved on site development plan	Maximum of 14 units per acre; see Development Standards in Section 20.10.360 N/A	As approved on site development plan	As approved on site development plan	N/A	10 between structures	As approved on site development plan	N/A	See Section 20.10.360 of this title; setbacks determined by site development plan	N/A	35; except as approved by City Council
FF.2	P-R II	<u>1 acre; extensions to the original district from a common boundary may be considered in increments of 1 acre or less.</u>	<u>Apartments and Mixed Use Residential development</u>	<u>4,000</u>	<u>40</u>	<u>100</u>	<u>Multi-family; maximum of 145 units per acre</u>	<u>10</u>	<u>10</u>	<u>N/A</u>	<u>10 between structures</u>	<u>10</u>	<u>N/A</u>	<u>See Section 20.10.360 and 20.10.363</u>	<u>N/A</u>	<u>45; except as approved by City Council</u>
GG	P-C	No minimum	Neighborhood shopping center	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	Principal access shall be from collector or arterial streets. No access from a residential street.	N/A	25

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GG.1	P-C	No minimum	Community shopping center	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	Principal access shall be from collector or arterial streets. No access from a residential street.	N/A	45
GG.2	P-C	No minimum	Regional shopping center	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	Principal access shall be from collector or arterial streets. No access from a residential street.	N/A	100' or 8 stories, provided any building over 45' is located at least 300' from any residential or apartment district where the height limit is less than 100'
GG.3	P-C	No minimum	Other permitted uses, except as otherwise specified in this title	As approved on site development plan	As approved on site development plan	As approved on site development plan	See Development Standards in Section 20.10.360 of this title	10	10	N/A	10	10	N/A	See Chapter 20.10	N/A	Per approved site development plan
GG.4	P-C	No minimum	Apartments and Mixed Use Residential development	N/A	N/A	N/A	Multi-family: maximum of 145 units per acre	10	10	N/A	10	10	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	45; except as approved by City Council
HH	P-I	No minimum	All Uses, except as otherwise specified in this title	12,000	80	150	Floor area ratio not to exceed 50%; see Chapter 20.10	15	10, except that all structures shall be a minimum of 25 ft. from an abutting residential or apartment district	N/A	0, except that all structures shall be a minimum of 25 ft. from an abutting residential or apartment district	10	N/A	Where a P-I tract abuts railroad property containing a spur track on the rear or side property line, structures may extend to the property line for the purpose of receiving railroad service.	N/A	No building shall exceed 40', not including machinery rooms, spires, antennas, etc.
II	SRR	1,000 sf	Single-family attached & detached	1,000	N/A	N/A	See Development Standards in Section 20.10.360 of this title	0' when abutting more than 50 ft. street ROW; 20' when abutting 50 ft. or less street ROW	0' when abutting a dedicated alley; 20' when not abutting an alley	N/A	5	5	N/A	Reduction in side yard setbacks may be considered with site plan approval	N/A	35 feet; additional height may be granted by special permit
II.1	SRR	2,400	Two-family	2,400	N/A	N/A	See Development Standards in Section 20.10.360 of this title	0' when abutting more than 50 ft. street ROW; 20' when abutting 50 ft.	0' when abutting a dedicated alley; 20' when not abutting an alley	N/A	5	5	N/A	Reduction in side yard setbacks may be considered with site plan approval	N/A	35 feet; additional height may be granted by special permit

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								or less street ROW								
II.2	SRR	3,000	Apartments <u>and Mixed Use Residential development</u>	3000 sf site area; 500-sf lot area required per dwelling unit	N/A	N/A	Multi-family: maximum of 145 units per acreSee Development Standards in Section 20.10.360 of this title	0' when abutting more than 50 ft. street ROW; 20' when abutting 50 ft. or less street ROW	0' when abutting a dedicated alley; 20' when not abutting an alley	N/A	5	5	N/A	Reduction in side yard setbacks may be considered with site plan approval	N/A	35-45 feet; additional height may be granted by special permit
II.3	SRR	1,000 sf	Other permitted uses, except as otherwise specified in this title	No minimum	No minimum	No minimum	See Development Standards in Section 20.10.360 of this title	0	0	N/A	0	0	N/A	See Chapter 20.10	N/A	35 feet: additional height may be granted by special permit
JJ	R-MU	1 acre; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Determined by master zoning plan	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	See Chapter 20.10	N/A	No maximum; determined by master zoning plan
JJ.1	R-MU	1 acre; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Apartments and Mixed Use Residential development	No Minimum	No Minimum	No Minimum	Multi-family: maximum of 145 units per acre	No minimum	No minimum	N/A	No minimum	No minimum	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	No maximum
KK	G-MU	3 acres; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Determined by master zoning plan	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	See Chapter 20.10	N/A	No maximum; determined by master zoning plan
KK.1	G-MU	3 acres; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Apartments and Mixed Use Residential development	No Minimum	No Minimum	No Minimum	Multi-family: maximum of 145 units per acre	No Minimum	No Minimum	N/A	No Minimum	No Minimum	N/A	See Development Standards in Section 20.10.360 and 20.10.363 of this title	N/A	No Maximum
LL	I-MU	3 acres; except that City Council may approve a reduction in the minimum district area for a mixed-use development.	Determined by master zoning plan	N/A	N/A	N/A	See Development Standards in Section 20.10.360 of this title	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	No minimum; determined by master zoning plan	No minimum; determined by master zoning plan	N/A	See Chapter 20.10	N/A	No maximum; determined by master zoning plan
MM	NOS	1 acre; extensions to the original district from a common	See permitted uses in Section 20.10.385	43,560	N/A	N/A	See Development Standards in Section 20.10.385	10	10	N/A	10	10	N/A	See development standards in Section 20.10.385	N/A	35

		boundary may be considered in increments of 1 acre or less.														
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(Ord. No. 17306, § 7, 4-6-2010; Ord. No. 17625, § 1, 8-16-2011; Ord. No. 17756, § 1(Exh. A), 3-20-2012; Ord. No. 18289, § 1, 12-16-2014; Ord. No. 18459, §§ 1, 2, 1-12-2016; Ord. No. 019578, § 73—77, 12-12-2023)

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Appendix C - TABLE OF PARKING REQUIREMENTS AND STANDARDS -REDLINES

13.00	Residential	Automobile & Light Truck		Bicycle	Heavy Truck Trailer	Gravel Screen Parking	
		Minimum	Maximum			Required	Notes
13.02	Apartments (5-3 or more units)	0.7/elderly apt; 1/efficiency apt; 1.5/one bedroom apt — 2/two or more <u>1/Residential Unit</u>		NOTE 3	None	Allowed	2C
13.235	<u>Mixed Use Residential development</u>	<u>1/dwelling unit, plus 1/288 sf GFA commercial</u>	<u>1/200 sf GFA commercial</u>	<u>NOTE 3</u>	<u>None</u>	<u>Allowed</u>	<u>2I</u>
13.25	<u>Quadrplex</u>	<u>2/dwelling unit</u>		<u>None</u>	<u>None</u>	<u>Allowed</u>	<u>2H</u>
13.315	<u>Single-family detached dwelling small lot development</u>	<u>1/dwelling unit</u>		<u>None</u>	<u>None</u>	<u>Allowed</u>	<u>2H</u>

Chapter 20.02 – Definition – Redlines

20.02.074 – Apartment/~~Multifamily residential~~ building (~~five three or more units~~).

"Apartment/~~Multifamily residential~~ building (~~five three or more units~~)" means a building or part of a building containing ~~five three~~ or more attached ~~or detached~~ dwelling units. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property.

20.02.252 - Condominium.

See "Apartment/Multifamily residential building" or "Mixed-use residential." "Condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property.

20.02.573 - Mixed-use residential

"Mixed-use residential" when used to describe land use or development, means the use or development, as applicable, of a site consisting of residential and nonresidential uses in which the residential uses are at least 65 percent of the total square footage of the development and meets the criteria found in El Paso City Code section 20.10.363. The term includes the use or development of a condominium. A "condominium" means a single dwelling unit in a multi-unit dwelling or structure, which is separately owned and which may be combined with an undivided interest in the common areas and facilities of the property. Developments not meeting the criteria listed above shall not be considered mixed-use residential and shall be required to meet the requirements of the base zoning or use requirements.

20.02.760 - Quadraplex.

See "Apartment/Multifamily residential building." "~~Quadraplex~~" means a building designed or occupied as four dwelling units.

20.02.988 Single-family attached dwelling (atrium, patio, townhouse,~~condominium~~).

See "Atrium house, patio house, townhouse, ~~condominium~~."

20.02.1003 – Small Lot

"Small lot" means a residential lot that is 4,000 square feet or less and meets the criteria found in El Paso City Code section 20.10.625.

20.02.1120 - Triplex.

See "Apartment/Multifamily residential building." ~~"Triplex (three family dwelling)" means a building designed or occupied as three dwelling units.~~

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Chapter 20.04 - ADMINISTRATIVE PROVISIONS

Article III. - Detailed Site Development Plan Approval Process

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for apartment or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363 or for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

20.04.150 Procedure.

- A. An application for detailed site development plan shall be prepared in accordance with the specifications outlined in Section 20.04.160, except where the development is for apartments, or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a detailed site development plan shall not be required.
- C. Administrative approval. Detailed site development plans meeting the following conditions shall be reviewed and approved by the zoning administrator:
 - 6. — Any site within the "U P" Union Plaza District.

20.04.170 Modification of detailed site development plan.

Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, approval of minor modifications shall not be required.

Article IV. - Master Zoning Plan Approval Process

20.04.200 Master zoning plan.

- B. Amendments to an Approved Master Zoning Plan. An applicant may request amendments to an approved MZP. These amendments shall be delineated as minor or major amendments according to the criteria set forth herein. Where the development is for apartments or mixed-use residential development that meet all minimum requirements set forth in Chapter 20.12 (Density and Dimensional Standards) and Section 20.10.363, a master zoning plan shall not be required.