

Mission Ridge Subdivision Unit One Replat C

City Plan Commission — August 13, 2026



CASE NUMBER/TYPE:	SUSU26-00043 – Resubdivision Combination
CASE MANAGER:	Alonso Hernandez, (915) 212-1585, HernandezJA5@elpasotexas.gov
PROPERTY OWNER:	EPT-Eastlake, LLC
REPRESENTATIVE:	Kimley-Horn and Associates, Inc.
LOCATION:	North of Rojas Dr. and West of Eastlake Blvd. Extraterritorial Jurisdiction (ETJ)
PROPERTY AREA:	15.06 acres
VESTED RIGHTS STATUS:	Not Vested
PARK FEES:	Park Fees Not Required
EXCEPTIONS/MODIFICATIONS:	Yes, see following section
ZONING DISTRICT(S):	N/A Property lies within ETJ

SUMMARY OF RECOMMENDATION: Staff recommends **APPROVAL** of Mission Ridge Subdivision Unit One Replat “C” on a Resubdivision Combination basis and **APPROVAL** of the exception requests.

1. To allow Block 1 to have a block perimeter in excess of 2,400 feet.
2. To waive the construction of one foot (1') of planter strip along Calvary Road.

Mission Ridge Subdivision Unit One Replat-C



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to draw accurate conclusions. Enlargements of this map to scales greater than its original can induce errors and may lead to misinterpretations of the data. The Planning & Inspections Department Planning Division makes no claim to its accuracy or completeness.



Subject Property

0 60 120 240 360 480 Feet



Figure A: Proposed plat with surrounding area

DESCRIPTION OF REQUEST: The applicant is proposing to resubdivide 15.06 acres in order to create three (3) nonresidential lots. The proposed lots sizes range from 1.32 to 12.28 acres. The proposal also includes the dedication of 0.0773 acres of additional right-of-way (ROW). Access to the subdivision will be from Eastlake Boulevard, Rojas Drive and Calvary Road. Stormwater drainage will be managed by surface flow to an existing regional pond outside of the subdivision. This development is being reviewed under the current Subdivision code.

CASE HISTORY/RELATED APPLICATIONS: N/A

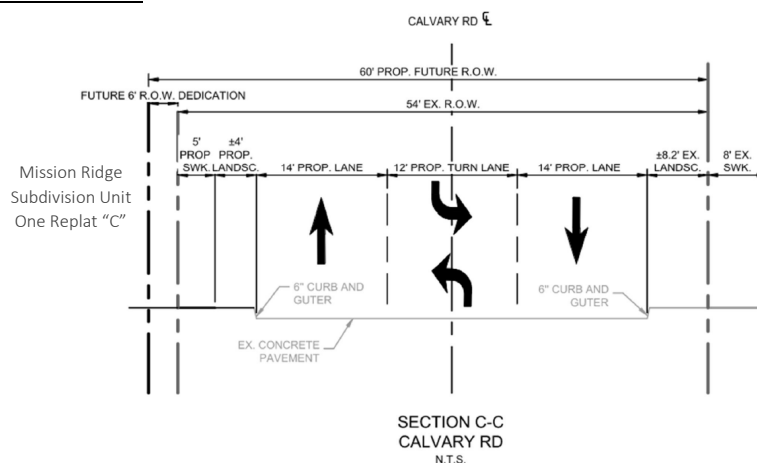
EXCEPTIONS, MODIFICATIONS, OR WAIVER REQUESTS: The applicant is requesting the following exception pursuant to El Paso City Code Section 19.48 – (Petition for waivers or exceptions) of the current code. The exceptions include the following:

- To allow Block 1 to have a block perimeter in excess of 2,400 feet.

EXCEPTIONS, MODIFICATIONS, OR WAIVER REQUESTS: The applicant is requesting the following exceptions pursuant to El Paso City Code Section 19.10.050 (A)(1)(a) – (Roadway participation policies— Improvement of Roads and Utilities Within and or Abutting the Subdivision) of the current code. The exceptions include the following:

- To waive the construction of one foot (1') of planter strip along Calvary Road.

PROPOSED CROSS-SECTION:



EVALUATION OF EXCEPTION REQUEST: The application meets the following criteria under El Paso City Code 19.48.030 – (Criteria for Approval) of the El Paso City Code.

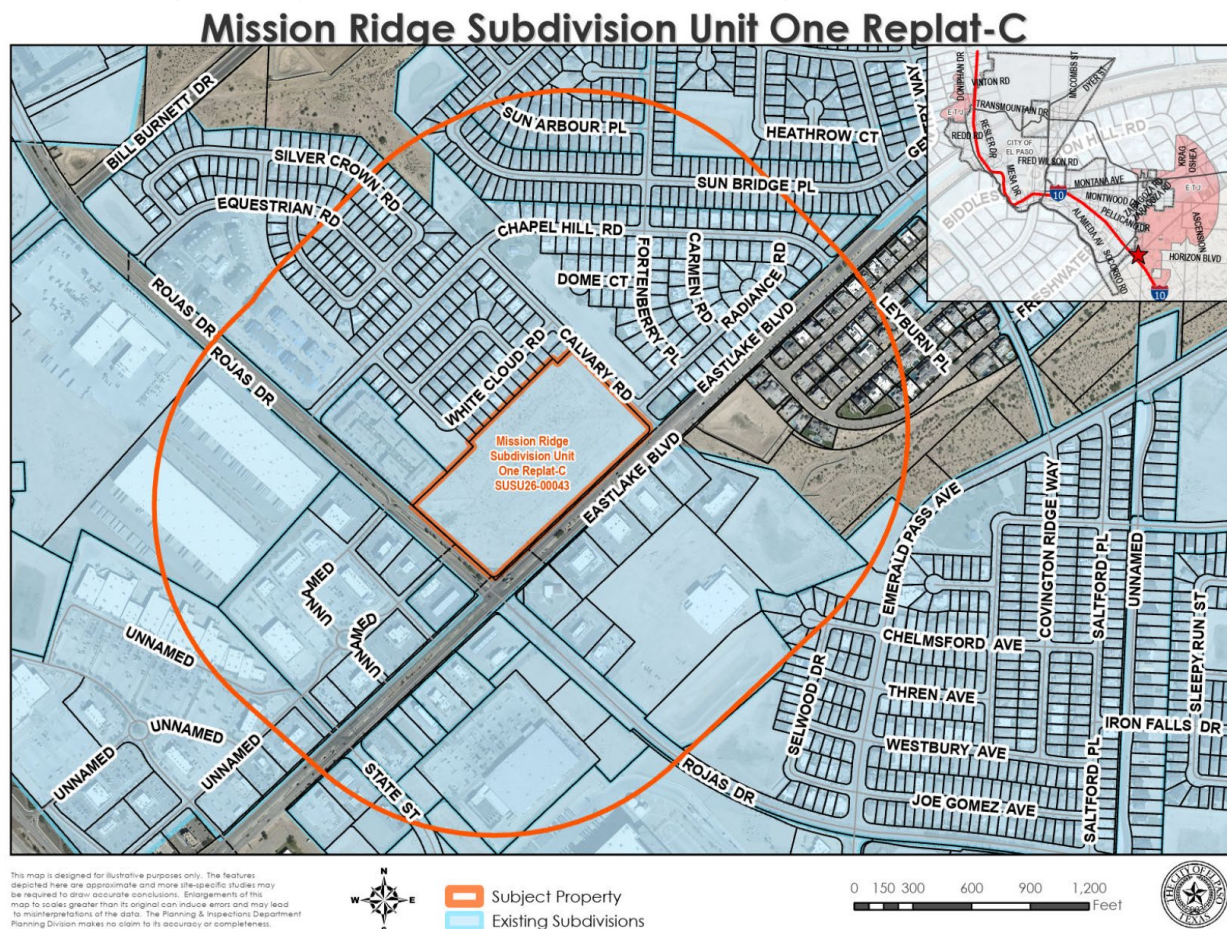
Per Chapter 6.1.3 of the Street Design Manual, the maximum length of any block or street segment (including a looped street) shall be one thousand six hundred feet along arterial streets, except that where lots are designed under Sub-section 6.2.5, blocks may not exceed eight hundred feet. Block faces shall not exceed one thousand feet along other streets and the full perimeter of a block shall not exceed two thousand four hundred feet except when Section 5.2 specifies otherwise or where topographic features or parcels of one-half acre or larger would justify an exception from this requirement.

EVALUATION OF EXCEPTION REQUEST: The exception request to waive right-of-way improvements meets the following criteria under El Paso City Code 19.10.050(A)(1)(a) – (Roadway Participation Policies— Improvement of Roads and Utilities Within and or Abutting the Subdivision). The section reads as follows:

Section 19.10.050(A)(1)(a)

The City Plan Commission may waive such requirements to provide rights-of-way or street improvements to adjacent substandard roads based on any of the following factors:

a: Fifty per cent of the lots within a quarter mile of the proposed development have already been developed and the existing street improvements are in character with the neighborhood.



NEIGHBORHOOD CHARACTER: Surrounding neighborhood characteristics are identified in the following table.

Surrounding Zoning and Use	
North	Extraterritorial Jurisdiction (ETJ) / Residential development
South	Extraterritorial Jurisdiction (ETJ) / Commercial development
East	Extraterritorial Jurisdiction (ETJ) / Vacant Lot
West	Extraterritorial Jurisdiction (ETJ) / Commercial development
Nearest Public Facility and Distance	
Park	Ranchos Del Sol (1.7 mi.)
School	SISD Education Center, Socorro ISD (0.43 mi.)
Plan El Paso Designation	
G-4, (Suburban Walkable)	
Impact Fee Service Area	
N/A	

PUBLIC COMMENT: N/A

PLAT EXPIRATION: This application will expire on **August 13, 2029**. If the final plat has not been nnnrecorded within the specified date, the final plat approval, unless extended in accordance with El Paso City Code Chapter 19.41 (Expiration, extension and reinstatement), shall expire and the applicable plat shall be deemed null and void.

CITY PLAN COMMISSION OPTIONS:

Subdivision

City Plan Commission (CPC) has sole and final authority on subdivision matters. Subdivision applications in conformance with all applicable code provisions shall be approved by the CPC. When a plat is brought forward to the CPC for review, the Commission may take any of the following actions:

1. **Approval:** The CPC finds that the proposed plat is in conformance with all applicable requirements of Title 19 of the El Paso City Code. (Staff Recommendation)
2. **Approval with Conditions:** The CPC may impose conditions that bring the proposed plat into conformance with all applicable requirements of Title 19 of the El Paso City Code.
3. **Denial:** The CPC finds that the proposed plat is not in conformance with all applicable requirements of Title 19 of the El Paso City Code.

Waiver, Exception, Modification Request(s)

The approval of waivers from, or exceptions or modifications to any applicable code provision is at the discretion of the CPC, in consideration of any criteria provided by the El Paso City Code for the review of such waivers, exceptions, or modifications. In evaluating the request(s), the CPC may take any of the following actions:

1. **Approval** of the waiver, exception, or modification request(s), finding that the request(s) is in conformance with the relevant review criteria provided by the El Paso City Code, as reflected in the Staff Report. (Staff recommendation)
2. **Partial approval of the waiver, exception, or modification request(s)**, finding that the request(s) is partially in conformance with the relevant review criteria provided by the El Paso City Code.
3. **Denial** of the waiver, exception, or modification request(s), finding that the request(s) does not conform to the review criteria provided by the El Paso City Code, as reflected in the Staff Report.

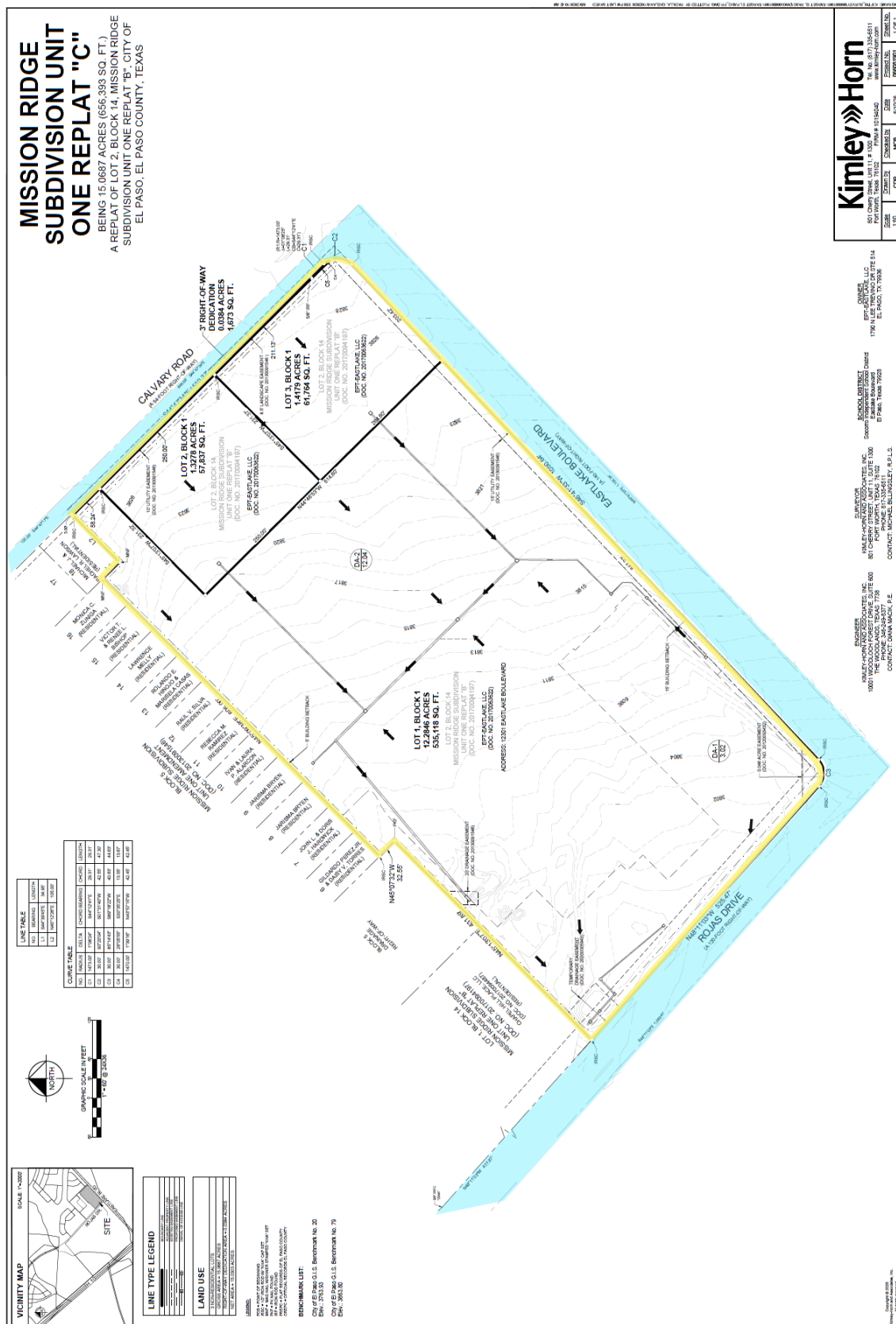
ATTACHMENTS:

1. Aerial Map
2. Preliminary Plat
3. Final Plat
4. Exception Request
5. Application
6. Department Comments

ATTACHMENT 1



ATTACHMENT 2



ATTACHMENT 3

MISSION RIDGE SUBDIVISION UNIT ONE REPLAT "C"

BEING 15.0687 ACRES (656,993 SQ. FT.)
A REPLAT OF LOT 2, BLOCK 14, MISSION RIDGE
SUBDIVISION UNIT ONE REPLAT "B", CITY OF
EL PASO, EL PASO COUNTY, TEXAS

VICTIM MAP

ENGINEERING CERTIFICATION

I, the undersigned, a duly licensed Professional Engineer in the State of Texas, having been duly sworn, depose and certify that the above plat and subdivision of the MISSION RIDGE SUBDIVISION UNIT ONE REPLAT "C" were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Texas, and that the plat is a true and correct copy of the original as the same appears on file in the office of the County Clerk of El Paso County, Texas.

Subscribed and sworn to before me this _____ day of _____, 2005.

Notary Public in and for the County of _____, State of _____.

PRELIMINARY

THIS DOCUMENT IS A PRELIMINARY PLAT AND IS NOT TO BE USED FOR ANY PURPOSES AND IS NOT TO BE RECORDED OR FILED FOR RECORDATION UNTIL IT IS APPROVED BY THE CITY OF EL PASO, TEXAS.

By: _____

For: _____

ENGINEERING CERTIFICATION

I, the undersigned, a duly licensed Professional Engineer in the State of Texas, having been duly sworn, depose and certify that the above plat and subdivision of the MISSION RIDGE SUBDIVISION UNIT ONE REPLAT "C" were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Texas, and that the plat is a true and correct copy of the original as the same appears on file in the office of the County Clerk of El Paso County, Texas.

Subscribed and sworn to before me this _____ day of _____, 2005.

Notary Public in and for the County of _____, State of _____.

VICTIM MAP

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Subscribed and sworn to before me this _____ day of _____, 2005.

Notary Public in and for the County of _____, State of _____.

PRELIMINARY

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By: _____

For: _____

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Subscribed and sworn to before me this _____ day of _____, 2005.

Notary Public in and for the County of _____, State of _____.

ATTACHMENT 4



August 5, 2026

Alonso Hernandez
Planner
801 Texas Avenue
El Paso, TX 79901

**RE: *Mission Ridge Subdivision Unit One Replat "C"*
*Exception Request***

Dear Mr. Hernandez,

This letter is to formally request an exception for the Subdivision Improvements plans to serve the proposed development El Paso Eastlake Retail in accordance with ordinance section 19.26.040.B. The list below also depicts an explanation of the modification being presented.

These alternative designs are requested as an effort to reduce impact on existing right-of-ways adjacent to the subject site.

Please feel free to contact me at (346) 249-8377 or diana.macik@kimley-horn.com should you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Diana Macik".

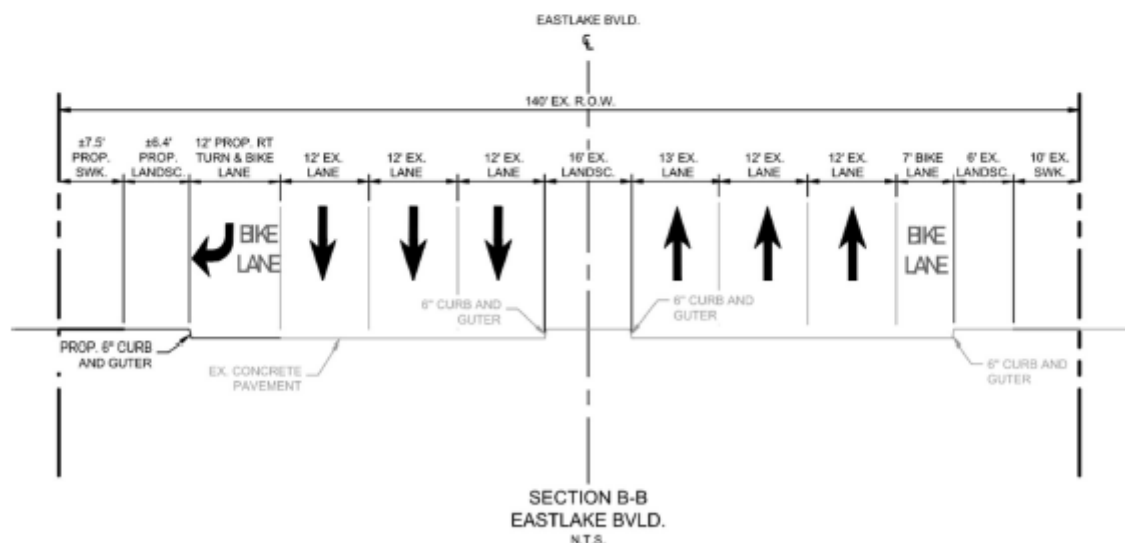
Diana Macik, P.E.
Project Manager

List of Design Exception items:

1. An exception to retain the current 140-ft right-of-way of Eastlake Boulevard as depicted in the cross section below. According to the SDM, Eastlake Boulevard is required to include four to six 12-foot lanes, as well as either two 12-foot shared-used paths (SUPs), each separated from the roadway by 5 feet, or two 6-foot sidewalks with two 5-foot landscape planter strips.

The existing 140' Eastlake Boulevard right-of-way currently exceeds the width required in the SDM, and in the existing conditions, provides a variable width sidewalk and landscape planter strip. We are proposing to retain the current right of way width and match the existing conditions of the sidewalk and landscape planter strip.

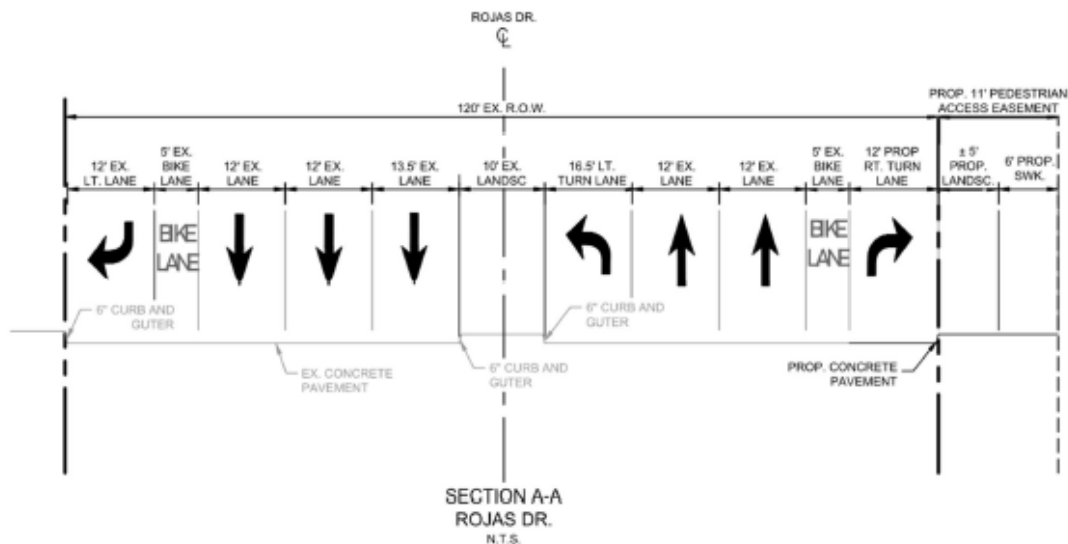
Our proposed design does not negatively impact existing conditions.



2. An exception to retain the current 120-ft right-of-way of Rojas Drive as depicted in the cross section below. According to the SDM, Rojas Drive is required to include four to six 12-foot lanes, as well as either two 12-foot SUPs, each separated from the roadway by 5 feet, or two 6-foot sidewalks with two 5-foot landscape planter strips.

The existing 120' Rojas Drive right-of-way currently exceeds the width required in the SDM, and in the existing conditions, provides a 6' sidewalk with a 5' landscape planter strip. We are proposing to retain the current right of way width and match the existing conditions of the 6' sidewalk and 5' landscape planter strip.

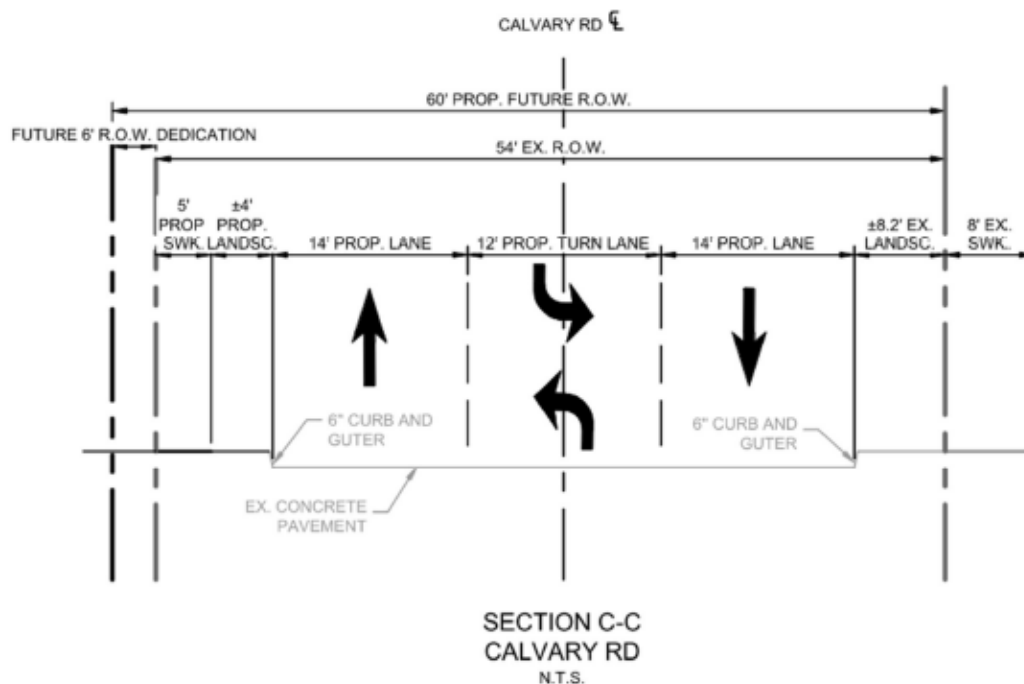
Our proposed design does not negatively impact existing conditions.



3. An exception to retain the existing conditions along Calvary Road that provide a 5' sidewalk with a 4' landscape planter strip. According to the SDM construction guidelines, Calvary Road must have a 60-foot right-of-way and is required to include two 11-foot lanes, as well as two 5-foot sidewalks and two 5-foot planter strips.

An additional 6' of right-of-way is proposed to be dedicated to meet the required minimum conditions of the SDM for the right-of-way width, and this exception request pertains to retaining the existing conditions of the sidewalk and landscape planter strip only.

Our proposed design does not negatively impact existing conditions.



4. An exception to retain the existing block perimeter, which exceeds the current maximum allowed block perimeter per the SDM, as the property is only proposed to be subdivided and the external lot lines are proposed to remain as-is.

ATTACHMENT 5



DEVELOPMENT PLAT APPLICATION

DATE: 06/23/2026

FILE NO. _____

SUBDIVISION NAME: MISSION RIDGE SUBDIVISION UNIT ONE REPLAT "C"

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)

BLK 14 MISSION RIDGE #1 REPLAT B LOT 2

2. Property Land Uses:

	<u>ACRES</u>	<u>SITES</u>		<u>ACRES</u>	<u>SITES</u>
Single-family	_____	_____	Office	_____	_____
Duplex	_____	_____	Street & Alley	_____	_____
Apartment	_____	_____	Ponding & Drainage	_____	_____
Mobile Home	_____	_____	Institutional	_____	_____
P.U.D.	_____	_____	Other (specify below)	_____	_____
Park	_____	_____		_____	_____
School	_____	_____		_____	_____
Commercial	<u>15.069 AC</u>	<u>3</u>	Total No. Sites	_____	_____
Industrial	_____	_____	Total (Gross) Acreage	<u>15.069 AC</u>	_____

3. What is existing zoning of the above described property? N/A Proposed zoning? N/A

4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? N/A Yes ☐ No ☐

5. What type of utility easements are proposed: Underground ☐ Overhead ☐ Combination of Both ☒

6. What type of drainage is proposed? (If applicable, list more than one)

Proposed underground storm sewer system draining to existing regional detention facilities

7. Are special public improvements proposed in connection with development? Yes ☒ No ☐

8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes ☒ No ☐

If answer is "Yes", please explain the nature of the modification or exception The ROW widths of Rojas Dr. and Eastlake Blvd., along with the block perimeter, currently exceed the maximum allowed widths per the SDM. We are requesting that the ROWs and block perimeter remain as-is in existing conditions.

9. Remarks and/or explanation of special *circumstances*: Developer is proposing development of a retail anchor and two future outlots and is requesting a subdivision of the current property in the event that there will be different property owners in the future for the retail anchor and two future outlots.

10. **Improvement Plans submitted?** Yes ☒ No ☐

11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes ☐ No ☒

If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Rights

Planning & Inspections Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

915544 0100 *[Signature]*

12. Owner of record EPT-EASTLAKE LLC, 1790 N Lee Trevino Dr jimscherr@yahoo.com ~~855-783-3339~~
 Suite 514, El Paso, TX 79936-4558
 (Name & Address) (Email) (Phone)

13. Developer Jared Trozzo, 8811 Gaylord Dr Suite 200, jtrozso@propertycommerce.com 831-301-2550
 Houston, TX 77024
 (Name & Address) (Email) (Phone)

14. Engineer Diana Macik, 10001 Woodloch Forest Dr Suite 225, diana.macik@kimley-horn.com 346-249-8377
 The Woodlands, TX 77380
 (Name & Address) (Email) (Phone)

OWNER SIGNATURE: *EPT EASTLAKE LLC* *A licensed representative* *(see above)*
 (Email) (Phone)

REPRESENTATIVE SIGNATURE: *Diana Macik*

REPRESENTATIVE CONTACT (PHONE): 346-249-8377

REPRESENTATIVE CONTACT (E-MAIL): diana.macik@kimley-horn.com

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING
 UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND
 COMPLETENESS.

ATTACHMENT 6

Planning and Inspections Department- Planning Division

Developer / Engineer shall address the following comments:

1. Submit to the Planning & Inspections Department – Planning Division the following prior to recording of the subdivision:
 - a. Original and current certificate tax certificate(s) with zero balance.
 - b. Provide original copies of the restrictive covenants, if applicable.
2. Include the dedication of additional right-of-way (ROW) for Eastlake Blvd., Rojas Rd., and Calvary Rd. in the dedication statement block.
3. Include the cross-section cut lines on the face of the preliminary plat and/or indicate the corresponding side of the subdivision on the street cross sections provided. This information should be shown on the preliminary plat to improve clarity and facilitate the review process.
4. The dedication statement, City Plan Commission block, and County Clerk filing block are not required on the preliminary plat, please remove them.
5. Include all existing and proposed easements within the subdivision, and ensure they are appropriately labeled or identified. Please do the same for all proposed building setback lines.
6. Please remove the prior legal descriptions shown for Lots 1, 2, and 3 from the face of the final plat. The deed recordation number and property owner information are not required in this area and should also be removed.
7. Remove the “preliminary” plat note from the final plat prior to recordation.
8. Provide addresses for Lots 2 and 3, and update Plat Note 16 if necessary.
9. Please update the block and lot numbers as requested by the Central Appraisal District. See this department's comments for additional details.

Planning and Inspections Department- Land Development Division

SUSU26-00043 - MISSION RIDGE SUBDIVISION UNIT ONE REPLAT C - APPROVED

1. Relocate or widen proposed sidewalk abutting future ROW line on typical street cross section C-C for Calvary Road.
2. Illustrate and clarify if proposed stormwater pipes are to connect to existing systems outside of subdivision.
3. Extend contour lines two hundred feet outside and abutting the subdivision with drainage flow arrows.
4. Provide print-out of the mathematical closure of the exterior boundary of the subdivision indicating the error of closure.
5. Verify plat notes and restrictions 11 and 18 are similar.
6. Label plat sheet 1 of 2 and 2 of 2 on title block.

El Paso County

1. Calvary Rd was initially intended for residential use and that is why it is currently a 54' row. Section abutting project location will be for non-residential use and will need to be widened to a 60' row with 40' of pavement. 14' driving lanes and 12' center lane. Additional 6' row will need to be dedicated for widening of street.
2. For all public sidewalk that is shifted from the right of way into private property it will need either dedication of right of way or a pedestrian access easement.
3. Consider a common access easement for proposed drive between Lots 2 and 3.

4. Storm sewer lines will need a drainage easement.

Streets and Maintenance Department

SAM Traffic & Transportation Engineering has the following comments:

1. No proportional share costs analysis was completed, all recommendations are required to be funded 100% by developer.
2. Required to illustrate all the recommendation on a layout/map.
3. Analyze all eleven intersections for recommendations/improvements.
4. No mention of shared bike path on southbound Eastlake Boulevard and bike lane on Rojas Drive on Table 1.
5. State if median cuts are recommended and if yes, then analyze the proportional share costs, 100% funded by developer.

Streets lights:

Street Lights Department does not object to this request.

Rojas Dr. and Eastlake Blvd. are in the Major Thoroughfare Plan for the City of El Paso.

The property is within ETJ (Extraterritorial Jurisdiction).

For the development of the subdivision anything that will be maintained by the City of El Paso needs to follow the standards on the Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Code (cited below).

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

**18.18.190 – Submission contents.

*** 19.02.040 Criteria for approval.

Contract Management:

No objection to application.

1. Provide clarification on Calvary Rd cross section. Will only a portion of the existing sidewalk on the northbound side be in the R.O.W.? Will the southbound side of the proposed future R.O.W. include property past the sidewalk?
2. Provide detailed information on curbs and gutters, curb ramps, and sidewalks in compliance with DSC standards.
3. Indicate that any infrastructure located within the city right-of-way or within the city's five-mile Extra-Territorial Jurisdiction (ETJ) must comply with the Design Standards for Construction and the Municipal Code.

El Paso Water

EPWater does not object to this request.

The proposed subdivision is located within the East El Paso Extraterritorial Jurisdiction (ETJ) within one of the Paseo Del Este Municipal Utility Districts (MUDs) service area. The Paseo Del Este MUD receives wholesale water and wastewater service from the El Paso Water – Public Service Board (EPWater-PSB) in accordance with the Paseo del Este Wholesale Contract and EPWater-PSB Rules and Regulations No. 11.

There is a 36-inch sewer interceptor that extends along Eastlake Blvd. No direct service connections are allowed from this main as per the El Paso Water- Public Service Board Rules and Regulations.

Stormwater:

We have reviewed the subdivision described above and provided the following comments:

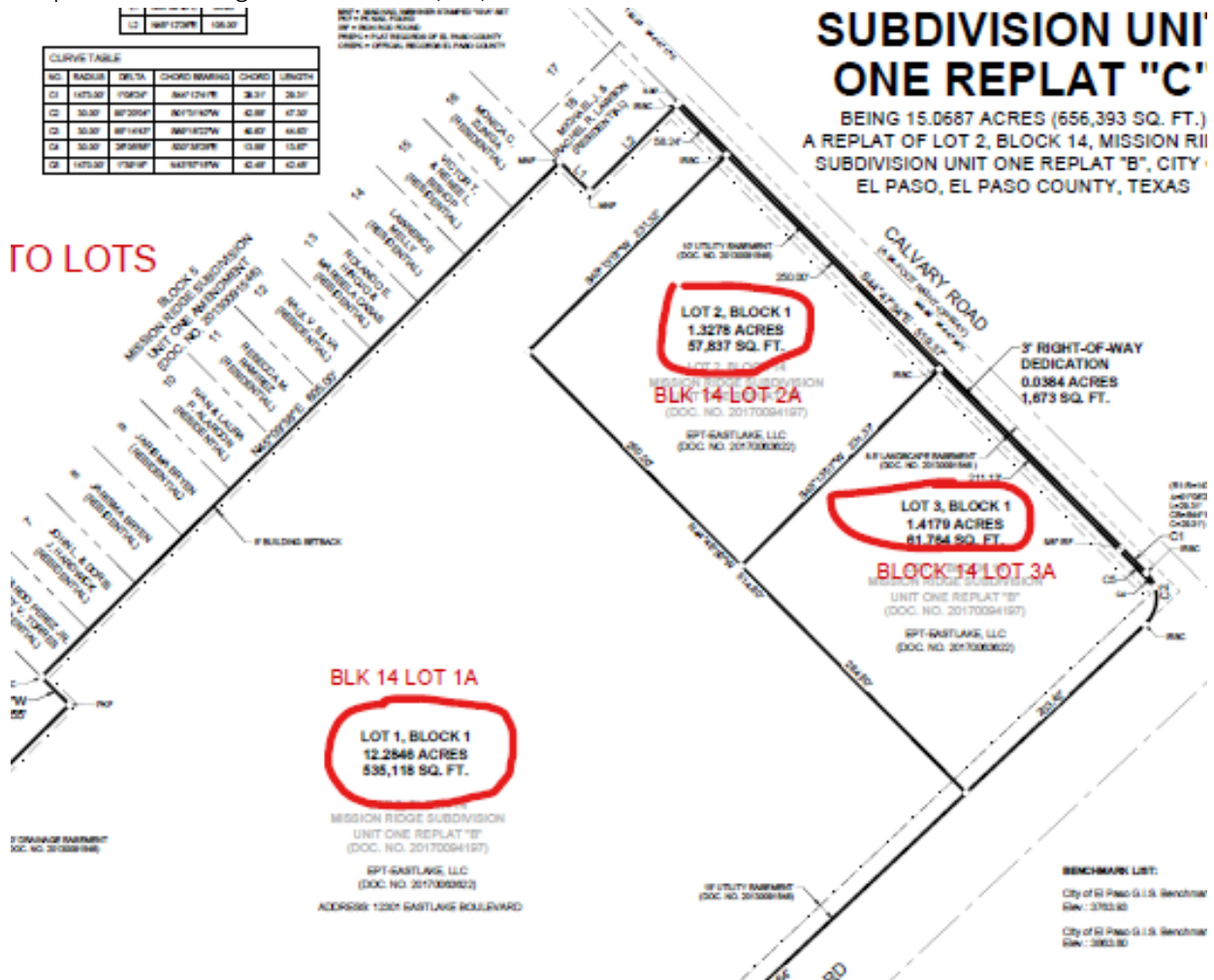
- EPWater – SW has reviewed the above-described subdivision and has no objection to its approval.

Texas Gas

In reference to case SUSU26-00046 - Mission Ridge Subdivision Unit One Replat "C", Texas Gas Service has an active service line at 12771 Eastlake Blvd, a High Pressure and a medium pressure mains along Eastlake Blvd.

El Paso Central Appraisal District

Keep Block 14 Change Lots to Lots 1A, 2A, 3A



El Paso Electric

Please add the existing 30' wide utility easement filed on the existing plat along Rojas Dr. We do have an existing line along Rojas Dr.

Parks and Recreation Department

We have reviewed **Mission Ridge Subdivision Unit 1 Replat C**, a major combination plat map and on behalf of Parks & Recreation Department, we offer Developer / Engineer the following comments:

Please note that this is a non-residential subdivision composed of 3 Commercial lots with a combined area of **15.06 Acres**; Per City Standards a total of **\$15,060.00** would have been required in the form of "Park fees" however.

This subdivision is located with-in the City of El Paso Extra Territorial Jurisdiction (ETJ) area but not with-in the areas of potential annexation by the city, therefore meeting the requirements **to be excluded from the calculation for "Parkland / fees"** as IT IS NOT identified on the official map as described per ordinance Title 19 – Subdivision & Development Plats, **Chapter 19.20 - Parks & Open Space** as noted below:

Section 19.20.020 - Dedication Required

- A. **Dedication Required.** All subdivisions located within the corporate limits of the City of El Paso and within those areas designated in the City's extra territorial jurisdiction (ETJ), as identified on an official map kept in the Development Services Department.

If density/acreage is increased /decreased or the property zoning /use changes, then "Park fees" will be re-assessed based on applicable conditions.

El Paso County 911 District

Show the proposed addressing for the two lots fronting Calvary Rd. Only the 12301 Eastlake Blvd address is shown.

El Paso County Water Improvement District No. 1

The above mentioned item is not within the boundaries of EPCWID.

Fire Department

No comments received.

Sun Metro

No comments received.

Capital Improvement Department

No comments received.

Texas Department of Transportation

No comments received.