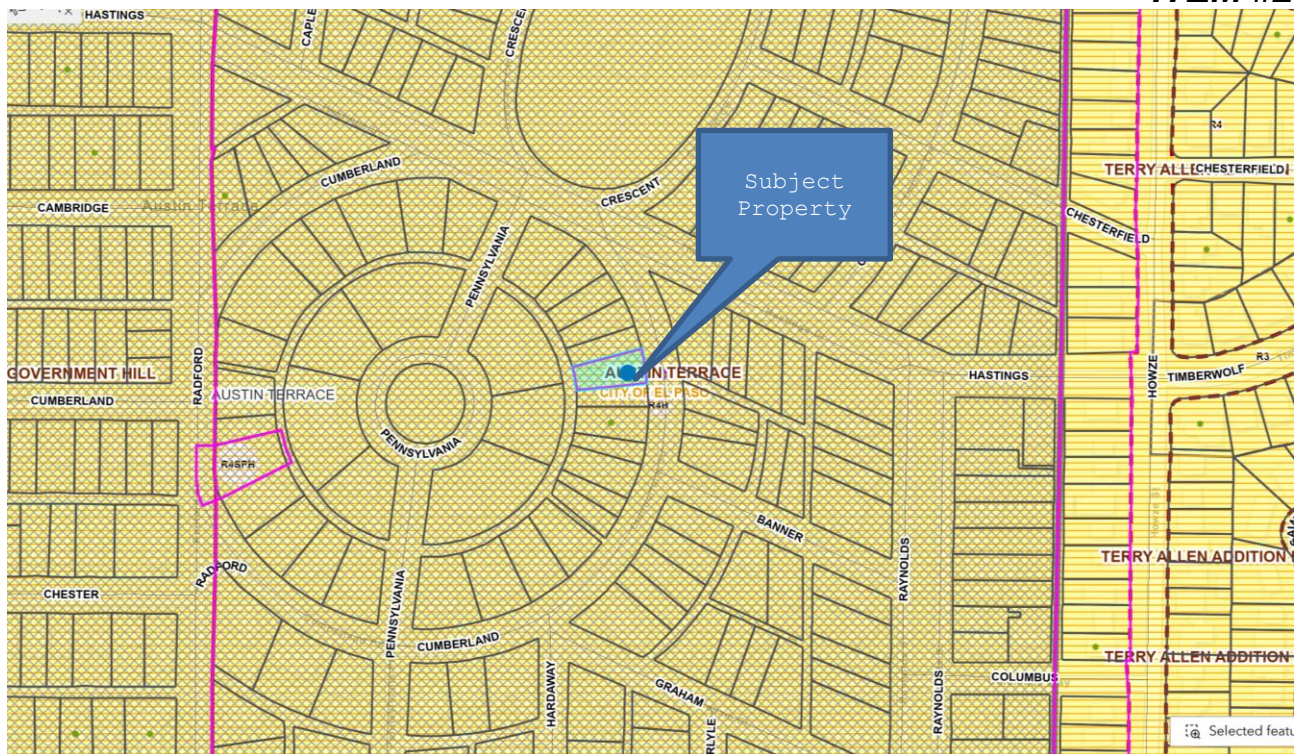




**PHAP25-00024**

**Date:** July 24, 2025  
**Application Type:** Certificate of Appropriateness  
**Property Owner:** Patricia Beltran  
**Representative:** Patricia Beltran  
**Legal Description:** 101 Government Hill N 10 Ft Of 15 & S 45 Ft Of 16 (6446.40 Sq Ft), City of El Paso, El Paso County, Texas  
**Historic District:** Austin Terrace  
**Location:** 4771 Cumberland Avenue  
**Representative District:** #2  
**Existing Zoning:** R-4/H (Residential/Historic)  
**Year Built:** 1937  
**Historic Status:** Contributing  
**Request:** Certificate of Appropriateness for construction of an addition on a secondary façade  
**Application Filed:** 6/26/2025  
**45 Day Expiration:** 8/10/2025

**ITEM #2**



**GENERAL INFORMATION:**

The applicant seeks approval for:

Certificate of Appropriateness for construction of an addition on a secondary facade

**STAFF RECOMMENDATION:**

The Historic Preservation Office recommends APPROVAL WITH MODIFICATIONS of the proposed scope of work based on the following recommendations:

*The Design Guidelines for El Paso's Historic Districts, Sites, and Properties* recommend the following:

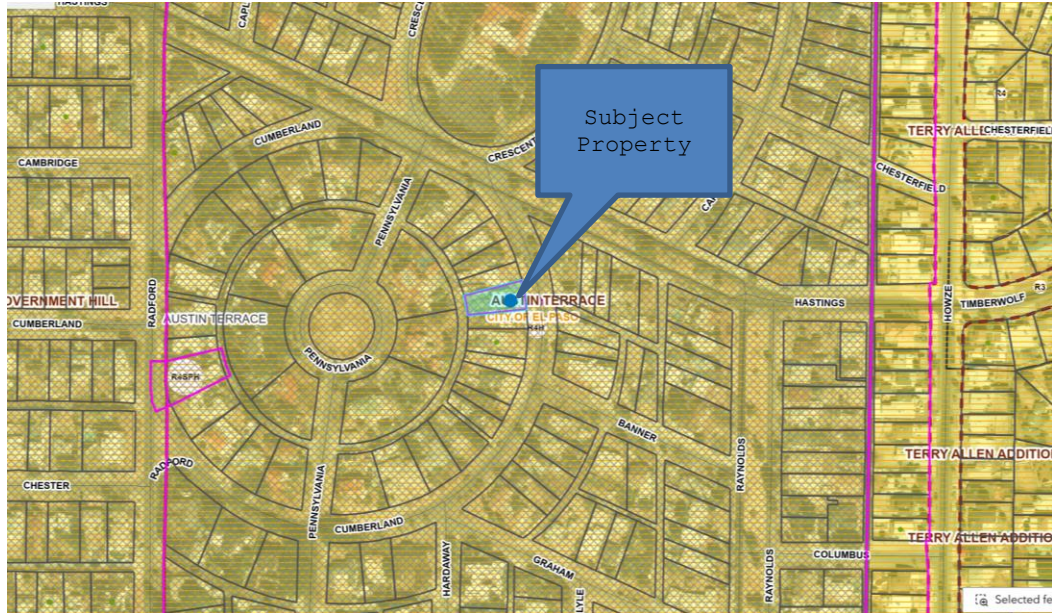
- *New additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged or destroyed in the process of rehabilitation.*
- *Any new addition should be planned so that it is constructed to the rear of the property or on a non-character defining elevation and is minimally visible from the public right of way.*
- *Introduce additions in locations that are not visible from the street-generally on rear elevations.*
- *Locate additions carefully so they do not damage or conceal significant building features or details.*
- *It is not appropriate to introduce an addition if it requires the removal of character-defining building features such as patios, mature vegetation or a detached structure.*
- *Design an addition so it is compatible in roof form, proportions, materials and details with the existing structure.*

*The Secretary of the Interior's Standards for Rehabilitation* recommend the following:

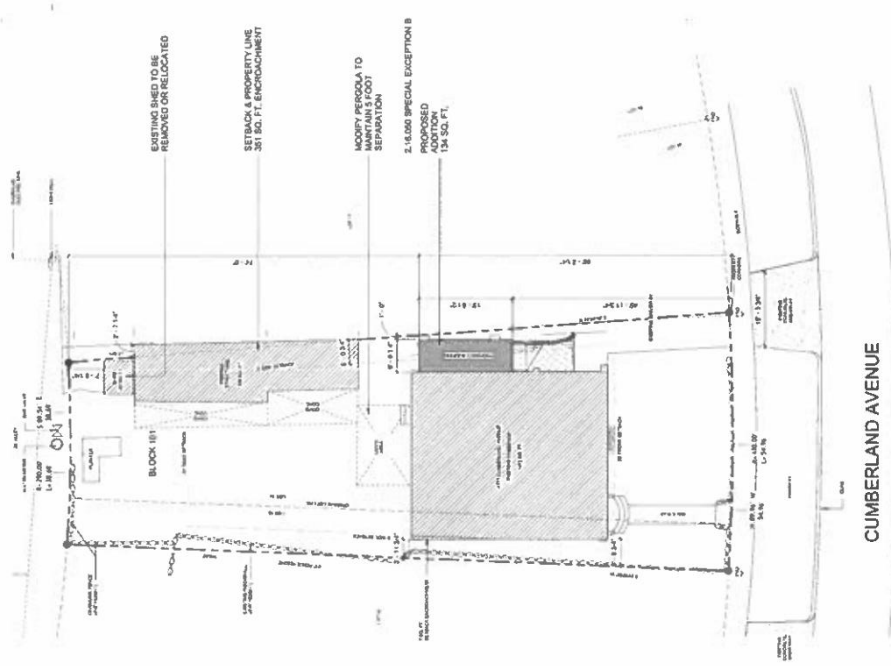
- *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
- *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

*The modifications are that the addition be relocated to the rear façade, that the exterior cladding be changed to a different material, and that the details (window, lantern, door, and railing) be altered to reflect the period of construction and not give a false sense of history.*

## AERIAL MAP



|                                 |                                                                                                                            |                   |                        |          |                |                        |       |           |    |
|---------------------------------|----------------------------------------------------------------------------------------------------------------------------|-------------------|------------------------|----------|----------------|------------------------|-------|-----------|----|
| <b>FABRIC</b><br>DESIGN - BUILD | 1449 S. 11th, Corvallis Ave., Ste. 4-2,<br>El Paso, TX 79903<br>Office 915-544-0771<br>Fax 915-544-0772<br>PROJECT 32-4600 | F71<br>CLASSIFIED | 10-15-2004<br>SCHEDULE | PREVIOUS | DATE:<br>PHASE | 10-15-2004<br>SCHEDULE | NORTH | SITE PLAN | A1 |
|                                 | 1449 S. 11th, Corvallis Ave., Ste. 4-2,<br>El Paso, TX 79903<br>Office 915-544-0771<br>Fax 915-544-0772<br>PROJECT 32-4600 | F71<br>CLASSIFIED | 10-15-2004<br>SCHEDULE | PREVIOUS | DATE:<br>PHASE | 10-15-2004<br>SCHEDULE | NORTH | SITE PLAN | A1 |



1  
A1  
SITE PLAN  
SCALE: 3/32" = 1'-0"

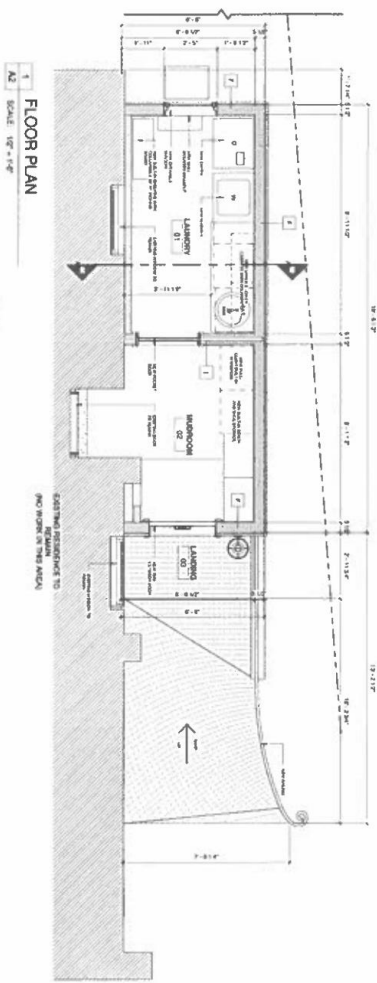
THE NORTH 10 FEET OF LOT 15 AND THE 4  
SOUTH 45 FEET OF LOT 16, BLOCK 101 ALTESSIN  
TERRACE, THIRD SUPPLEMENTARY  
GOVERNMENT HILL ADDITION, CITY OF EL  
PASO, EL PASO COUNTY, TEXAS.

R-4 H  
6,448.04 SQ. FT. (0.39 ACRES)

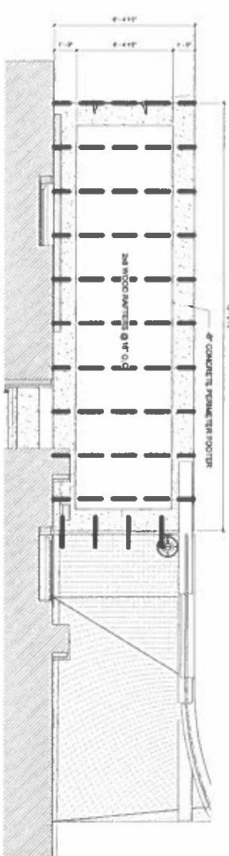
|  |        |
|--|--------|
|  | 20 FT. |
|  | 20 FT  |
|  | 60 FT  |
|  | 5 FT.  |
|  | 10 FT  |
|  | N/A    |

|      |                   |
|------|-------------------|
| AREA | 1,472 SQ. FT.     |
|      | 549 SQ. FT.       |
|      | <u>32 SQ. FT.</u> |
|      | 2,053 SQ. FT.     |

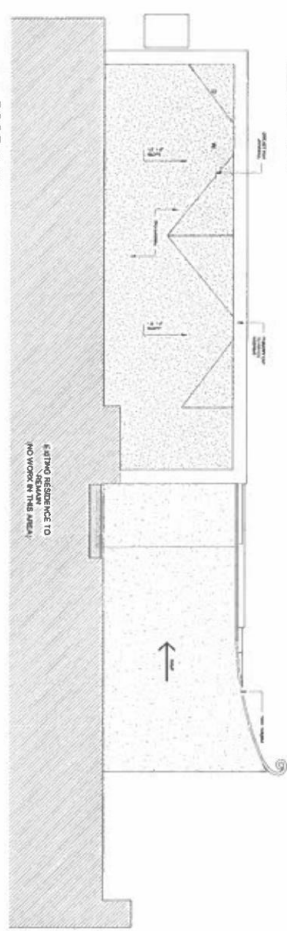
FLOOR PLAN



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"



3 ROOF PLAN  
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- 1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY FOR THE PROPER CONSTRUCTION OF THE PROJECT.
- 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES.
- 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- 6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

LEGEND

- (1) ROOF DIRECTION
- (2) WALL DIRECTION

WALL LEGEND

- 1. 1/2" EXTERIOR WALL, 1/2" INSULATION, 1/2" GYPSUM BOARD ON EXTERIOR SIDE, 1/2" GYPSUM BOARD ON INTERIOR SIDE.
- 2. 1/2" EXTERIOR WALL, 1/2" INSULATION, 1/2" GYPSUM BOARD ON EXTERIOR SIDE, 1/2" GYPSUM BOARD ON INTERIOR SIDE.
- 3. 1/2" EXTERIOR WALL, 1/2" INSULATION, 1/2" GYPSUM BOARD ON EXTERIOR SIDE, 1/2" GYPSUM BOARD ON INTERIOR SIDE.
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FABRIC  
CONCRETE

1100 E. Main Street, Suite 100  
Bloomington, IL 61820  
Phone: 312.331.1100  
Fax: 312.331.1101  
www.fabricconcrete.com

PROJECT: 20-0003  
4771  
COLUMBIA, MO

DATE: 10/20/2019  
BY: J. B. BROWN  
CHECKED: J. B. BROWN

REVISIONS

| NO. | DATE       | DESCRIPTION       |
|-----|------------|-------------------|
| 1   | 10/20/2019 | ISSUED FOR PERMIT |
| 2   | 10/20/2019 | ISSUED FOR PERMIT |
| 3   | 10/20/2019 | ISSUED FOR PERMIT |
| 4   | 10/20/2019 | ISSUED FOR PERMIT |
| 5   | 10/20/2019 | ISSUED FOR PERMIT |
| 6   | 10/20/2019 | ISSUED FOR PERMIT |
| 7   | 10/20/2019 | ISSUED FOR PERMIT |
| 8   | 10/20/2019 | ISSUED FOR PERMIT |
| 9   | 10/20/2019 | ISSUED FOR PERMIT |
| 10  | 10/20/2019 | ISSUED FOR PERMIT |

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FLOOR PLAN

A2

[illegible]