

POWER OF DREAMS UNIT TWO

BEING A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, OF
SECTION 16, BLOCK 79, TOWNSHIP 3, TEXAS AND PACIFIC RAILWAY
COMPANY SURVEYS, EL PASO COUNTY, TEXAS.
CONTAINING 20.263 ± ACRES (882,640 SQ. FT.)

OWNER'S DEDICATION, CERTIFICATION AND ATTESTATION

We, 375 Properties LLC, owners of the 20.263± acres of land encompassed within the Power of Dreams Unit Two, do hereby present this plat and dedicate to the use of the Public the 25-foot public drainage easement as hereon laid down and designated.

We certify that we have complied with the requirements of Texas Local Government Code § 232.032 and that:

- (A) the water quality and connections to the lot meet, or will meet, the minimum state standards;
(B) electrical connections provided to the lot meet, or will meet, the minimum state standards;
(C) gas connections to the lot meet, or will meet, the minimum state standards;
(D) sewer connections to the lot will meet, the minimum state standards.

We attest that the matters asserted on this plat are true and correct.

Richard Poe II, Manager, 375 Properties LLC

ACKNOWLEDGMENT

STATE OF TEXAS
COUNTY OF EL PASO

This instrument was acknowledged before me on _____ by Richard Poe II, Manager for 375 Properties LLC.

Notary Public, State of Texas

My Commission Expires _____

CITY OF EL PASO, TEXAS CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 212.009 (C) & 212.0115 (B)

We, the undersigned, certify that this plat of Power of Dreams Unit Two was reviewed and approved by the City of El Paso Plan Commission on _____, 20____.

Executive Secretary

Chairperson

Approved for filing this _____ day of _____, 20____.

Planning & Inspections Director

EL PASO COUNTY, TEXAS CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

We, the undersigned certify that this plat of Power of Dreams Unit Two was reviewed and approved by the El Paso County Commissioners Court on _____, 20____.

El Paso County Judge

Date

ATTEST:

El Paso County Clerk

Approved for filing this _____ day of _____, 20____.

Planning and Inspections Director

FILING

Filed and recorded in the office of the County Clerk of El Paso County, Texas, this

_____ day of _____ 20____, in File No. _____.

Plat Records, El Paso County, Texas.

County Clerk

Deputy

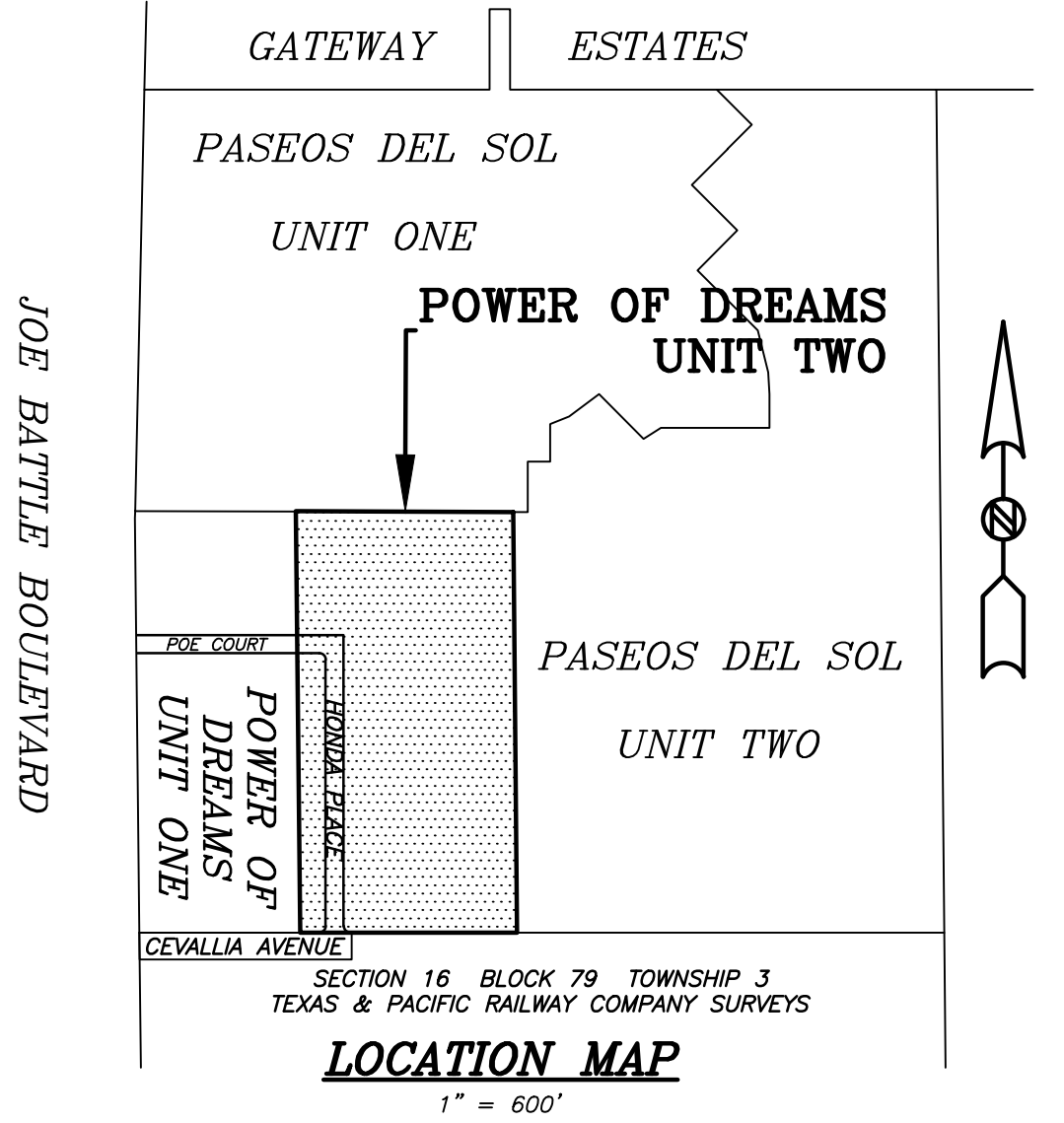
Subdivision improvement plans prepared by and under the supervision of CSA Design Group, Inc.

Adrian I. Holguin-Ontiveros, P.E.
Registered Professional Engineer
Texas License No. 124089
Texas Registered Engineering Firm F-9997

I hereby certify that this plat represents an on-the-ground survey made under my supervision in compliance with current Texas Board of Professional Land Surveying Professional and Technical Standards.

Robert Seipel Associates, Inc.
Professional Land Surveyors

Mark U. Balansay, President
Registered Professional Land Surveyor
Texas License No. 6489
Texas Reg. Surveying Firm No. 10060500



RIGHTS-OF-WAY

STREET NAME	AREA (S.F.)	AREA (AC.)	JURISDICTION
CEVALLIA AVENUE	55,237	1.268	EL PASO CITY
HONDA PLACE	53,240	1.222	PRIVATE
POE COURT	3,701	0.085	PRIVATE

LOT TABLE

LOT NUMBER	SQ FT	ACRES
Lot 2 Block 1	755021	17.333

LOT TABLE

LOT NUMBER	SQ FT	ACRES
Lot 2 Block 2	70678	1.623

PLAT NOTES AND RESTRICTIONS:

- SET 5/8" REBAR WITH CAP MARKED "RPLS 6489" OR FOUND 5/8" REBAR WITH CAP MARKED "RPLS 4178" AT ALL EXTERIOR BOUNDARY CORNERS, UNLESS OTHERWISE INDICATED.
- BASIS OF BEARINGS IS THE MONUMENTED CENTERLINE OF PASEO LINDO DRIVE FROM THE PLAT OF PASEOS DEL SOL UNIT ONE RECORDED IN BOOK 78, PAGE 27, PLAT RECORDS, EL PASO COUNTY, TEXAS.
- PASEO LAGO DRIVE AND PASEO GRANDE STREET ARE FROM THE PLAT OF PASEOS DEL SOL UNIT TWO AMENDING SUBDIVISION, RECORDED IN BOOK 80, PAGE 6, PLAT RECORDS, EL PASO COUNTY, TEXAS.
- JOE BATTLE BOULEVARD (RIGHT-OF-WAY VARIES) IS DESCRIBED JANUARY 26, 1973, IN BOOK 433, PAGE 1417, DEED RECORDS, EL PASO COUNTY, TEXAS.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL 480214-46C, DATED FEBRUARY 18, 2006, AND 480212-250B, DATED SEPTEMBER 4, 1991, THIS PROPERTY LIES IN FLOOD HAZARD ZONE "X".
- THIS SUBDIVISION SHALL PROVIDE FOR POSTAL DELIVERY SERVICE. THE SUBDIVIDER WILL COORDINATE INSTALLATION AND CONSTRUCTION WITH THE UNITED STATES POSTAL SERVICE IN DETERMINING THE TYPE OF DELIVERY SERVICE FOR THE PROPOSED SUBDIVISIONS. IN ALL CASES, THE TYPE AND LOCATION OF DELIVERY SERVICE SHALL BE SUBJECT TO THE APPROVAL FOR THE UNITED STATES POSTAL SERVICE.
- WATER AND SEWER SERVICES WILL BE PROVIDED TO POWER OF DREAMS FROM EXISTING FACILITIES ON ADJACENT RIGHTS-OF-WAY BY THE EL PASO WATER UTILITIES/PUBLIC SERVICE BOARD IN ACCORDANCE WITH THEIR RULES AND REGULATIONS AND WITH SECTION 16.343 OF THE TEXAS WATER CODE.
- THE RETENTION OF ALL STORMWATER RUNOFF DISCHARGE VOLUME IS REQUIRED WITHIN THIS SUBDIVISIONS LIMITS IN COMPLIANCE WITH ALL PROVISIONS OF MUNICODE 19.19.010A, DSC, AND DDM SECTION 11.
- POWER OF DREAMS UNIT ONE IS RECORDED IN CLERK'S FILE NO. 20240059085, PLAT RECORDS, EL PASO COUNTY, TEXAS.
- THE EL PASO COUNTY AND CITY OF EL PASO JURISDICTION LINE SHOWN HEREON IS FROM THE EL PASO PDNMAPA INTERACTIVE MAP, EP MUNICIPALITIES LAYER.
- SUBJECT PROPERTY IS LOCATED WITHIN THE SOCORRO INDEPENDENT SCHOOL DISTRICT.
- THIS SURVEY WAS MADE WITHOUT BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS OR OTHER RESTRICTIONS OF RECORD.

DECLARATION OF USE RESTRICTIONS AND DEVELOPMENT CONDITIONS FOR THIS SUBDIVISION ARE RECORDED IN THE OFFICE OF THE CLERK OF EL PASO COUNTY, TEXAS, DEED AND RECORDS SECTION.

INSTRUMENT NO. _____, DATED _____

TAX CERTIFICATES FOR THIS SUBDIVISION ARE RECORDED IN THE OFFICE OF THE CLERK OF EL PASO COUNTY, TEXAS, DEED AND RECORDS SECTION.

INSTRUMENT NO. _____, DATED _____

CITY PLAN COMMISSION

This subdivision is hereby approved as to the platting and as to the conditions of the dedication in accordance with Chapter 212 of the Local Government Code of Texas this

_____ day of _____, 20____.

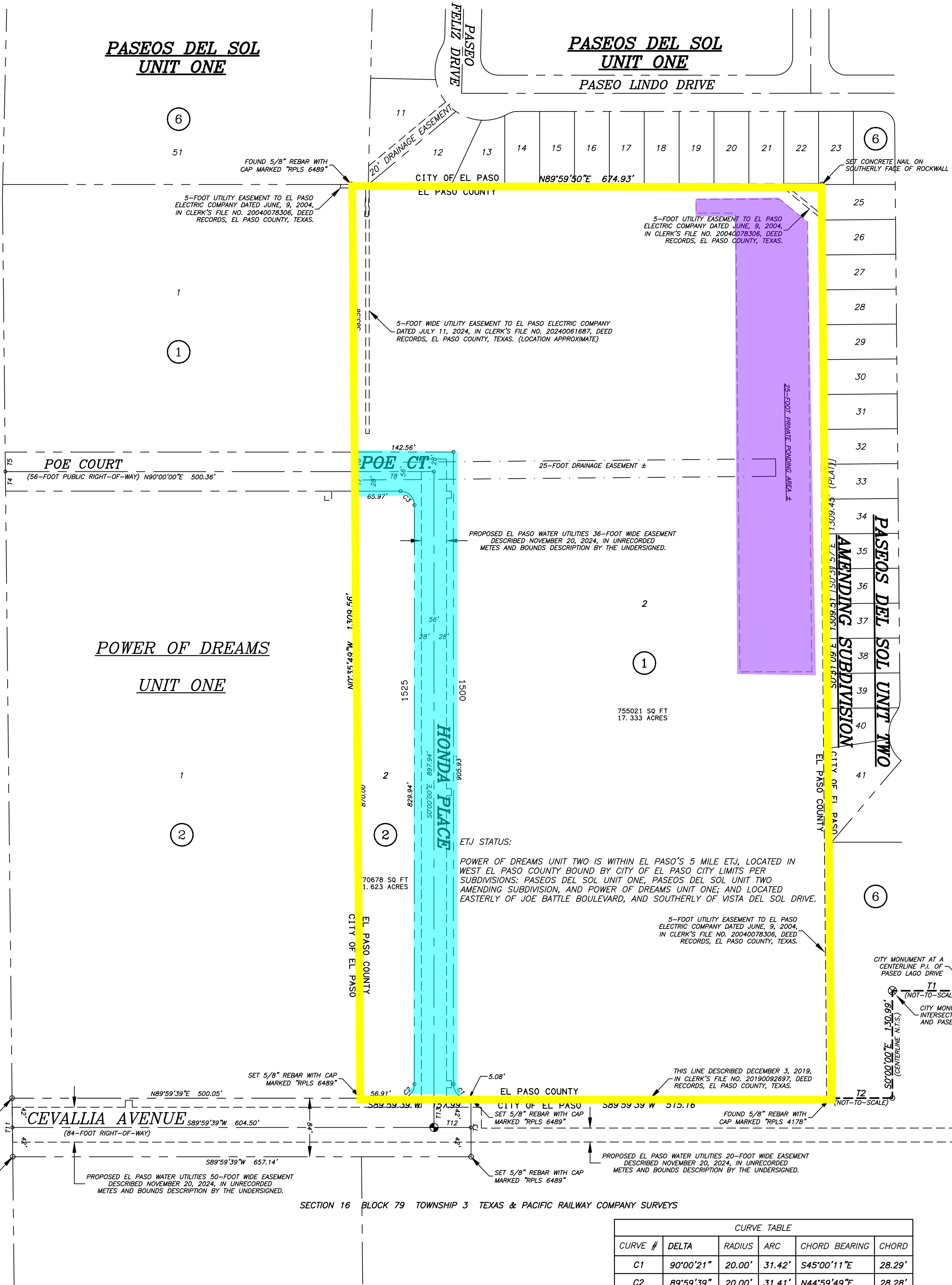
Chairperson

Executive Secretary

Approved for filing this _____ day of _____, 20____.

Planning & Inspections Director

REVISED: OCTOBER 1, 2025
REVISED: MAY 5, 2025
REVISED: APRIL 17, 2025
REVISED: FEBRUARY 19, 2025
DATE OF PREPARATION: MARCH 22, 2022



LINE #	BEARING	DISTANCE
T1	S89°59'49"W	419.06'
T2	S89°59'39"W	651.22'
T3	S0°00'21"E	84.00'
T4	S0°37'00"E	28.00'
T5	S0°37'00"E	28.00'
T6	S0°35'49"E	28.00'
T7	S0°35'49"E	28.00'
T8	N90°00'00"E	114.27'
T9	S89°59'39"W	48.00'
T10	S89°59'39"W	48.00'
T11	N0°37'00"W	84.00'
T12	S89°59'39"W	53.08'
T13	S0°00'00"E	42.00'

UTILITIES TO BE PROVIDED BY:

TEXAS GAS COMPANY
4700 POLLARD STREET
EL PASO, TEXAS 79902
PHONE # 915-680-7260

EL PASO ELECTRIC
P.O. BOX 982
EL PASO, TEXAS 79960
PHONE # 915-543-2075

EXISTING CITY MONUMENT

PROPOSED CITY MONUMENT

CURVE #	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C1	90°00'21"	20.00'	31.42'	S45°00'11"E	28.29'
C2	89°59'39"	20.00'	31.41'	N44°59'49"E	28.28'
C3	90°00'00"	20.00'	31.42'	N45°00'00"W	28.28'

ROBERT SEIPEL ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
220 BAGWELL COURT EL PASO TX 79932 PHONE (915) 877-1928 FAX (915) 877-2095