

600 S. Stanton

City Plan Commission — October 9, 2025



CASE NUMBER:	PZST25-00008
CASE MANAGER:	Jose Beltran, (915) 212-1607, BeltranJV@elpasotexas.gov
PROPERTY OWNER:	Alicia Coronel and Luis Carlos Coronel
REPRESENTATIVE:	Enrique Escobedo, AIA
LOCATION:	600 S. Stanton St. (District 8)
PROPERTY AREA:	0.29 acres
EXISTING ZONING:	C-4 (Commercial)
REQUEST:	Special Permit and Detailed Site Development Plan approval for Infill Development with reduction to the side street setback and a 60% parking reduction in the C-4 (Commercial) zone district.
RELATED APPLICATIONS:	None
PUBLIC INPUT:	No support or opposition received as of October 2, 2025

SUMMARY OF REQUEST: The applicant is requesting approval of special permit for an infill development with a reduction to the side street setback and a 60% parking reduction for the use of a ballroom in a C-4 (Commercial) zone district.

SUMMARY OF STAFF'S RECOMMENDATION: Staff recommends **APPROVAL** of the special permit for infill development and reduction of setbacks and parking in the C-4 (Commercial) zone district. The proposal meets all the requirements of El Paso City Code Sections 20.04.320 – Special Permit, 20.04.150 – Detailed Site Development Plan, and 20.10.280 – Infill Development. The proposed development is consistent with *Plan El Paso*, the City's adopted Comprehensive Plan.

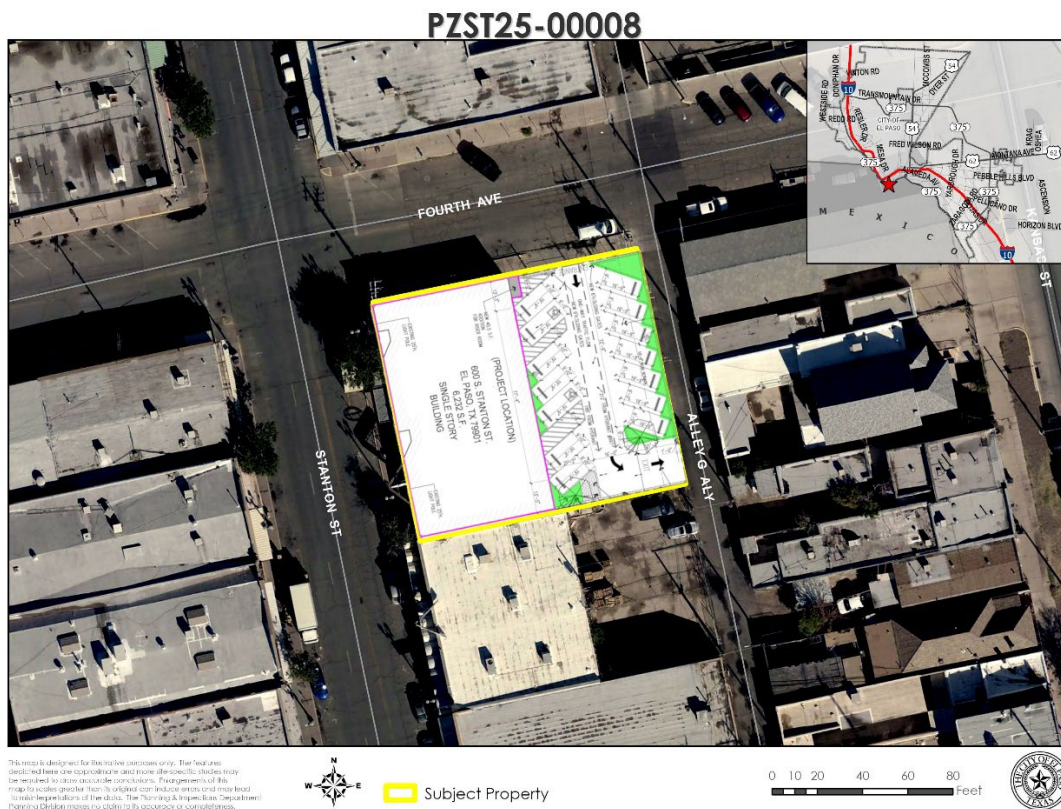


Figure A. Subject Property & Immediate Surroundings

DESCRIPTION OF REQUEST: The applicant is requesting review and approval of a Special Permit and Detailed Site Development Plan for Infill Development in a C-4 (Commercial) zoning district to allow for a proposed ballroom. The Detailed Site Development Plan illustrates the existing 6,252.5 square foot structure to be used as a ballroom with a maximum height of seventeen feet (17') and a proposed side street setback of zero feet (0') along with landscaping and parking areas.

The following table summarizes the reduction requested:

C-4 (Commercial) Zone District - Ballroom		
Density/Dimensional Standard	Required	Proposed
Front Yard Setback (min.)	0 ft.	No Change
Rear Yard Setback (min.)	10 ft.	No Change
Cumulative Front & Rear Yard Setback (min.)	No cumulative required.	N/A
Side Yard Setback (min.)	10 ft. when abutting residential or apartment district	N/A
Side Street Yard Setback (min.)	10 ft.	0 ft.
Height (max.)	60 ft.	17 ft.

Note: bold indicated requested reductions

In addition, the applicant is requesting a 60% parking reduction. A total of thirty-five (35) parking spaces are required, and the applicant is proposing to provide fourteen (14) parking spaces along with three (3) bicycle spaces. A parking study was submitted (Attachment 4), which shows twenty-eight (28) on-street parking spaces available per day on average. Pedestrian access to the property will be from Stanton Street and Fourth Avenue, with vehicular access through a one-way entrance along Fourth Avenue with exit through the alley.

COMPLIANCE WITH SPECIAL PERMIT FOR INFILL DEVELOPMENT STANDARDS (EL PASO CITY CODE SECTION 20.10.280)	
Criteria	Does the Request Comply?
Location Criteria: An infill development may be located on any parcel of land which meets at least one of the location criteria.	Yes. The subject property is located within the Downtown Plan Area and was annexed prior to 1955, thereby satisfying Mandatory Requirement 20.10.280.B.2 of the El Paso City Code.
Mandatory Design Requirement 1.1: Where on-site surface parking is proposed, it shall be located at the rear of the property and when possible accessed via alleyway; or at the side of the property and screened in accordance with Section 21.50.070.F.5.	Yes. The subject property has access through an entranceway located on the side of the property and the proposed parking will be located in the rear of the property. The principal building will screen the proposed parking from public view, ensuring compliance with the applicable requirement.
Mandatory Design Requirement 1.2: Buildings shall be placed on the parcels such that the principal orientation is toward the main street and the principal entrance is from the sidewalk.	Yes. The proposed development has the structure oriented towards Stanton Street, providing pedestrian access along the same frontage. The main entrance to the principal building will be accessed directly from the sidewalk along Stanton Street.
Mandatory Design Requirement 1.3: For proposals abutting existing residential development the front setback shall not deviate from the average front setback of lots within the same block as the proposed development by more than 15%.	Yes. The properties along this block have an average front setback of zero feet (0'). The proposed front setback of zero feet (0') is within the allowable 15% deviation from this average.
Selective Design Requirement 2.1: Any new structure with a ground floor commercial use shall demonstrate that building façades facing public rights-of-way have a	Yes. The proposed development will provide a majority transparent surface facing public rights-of-way via doors and non-opaque windows.

COMPLIANCE WITH SPECIAL PERMIT FOR INFILL DEVELOPMENT STANDARDS (EL PASO CITY CODE SECTION 20.10.280)	
majority (fifty percent or more) transparent surface on the ground floor. Transparent surface elements include, but are not limited to, doors and non-opaque windows.	
Selective Design Requirement 2.5: The total width of the primary structure shall be greater than or equal to 80% of the total lot width along the main street. For the purposes of this calculation, any necessary vehicular access driveway shall be subtracted from the total lot width.	Yes. The proposed development provides a primary structure with a total width of 100% of the lot's width along the main street frontage.
Selective Design Requirement 2.6: The project shall demonstrate compliance with one of the architectural styles defined in the Community Design Manual of Plan El Paso.	Yes. The proposed development complies with the architectural component requirements outlined in the Community Design Manual of <i>Plan El Paso</i> . The single-story structure will adhere to the Contemporary Style and will include the required features.

COMPLIANCE WITH SPECIAL PERMIT REQUIREMENTS (El Paso City Code 20.04.320.D)	
Criteria	Does the Request Comply?
1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located.	Yes. Aside from the reductions requested, the detailed site development plan demonstrates compliance with all applicable standards of the El Paso City Code.
2. Furthers <i>Plan El Paso</i> and applicable neighborhood plans or policies.	Yes. The request complies with recommendations of <i>Plan El Paso</i> and the G-2, Traditional Neighborhood (Walkable) Future Land Use designation. The proposed development will integrate with existing commercial uses along Stanton Street, while also permitting pedestrian and vehicular access.
3. Adequately served by and will not impose an undue burden upon public improvements.	Yes. The subject property fronts Stanton Street, a major arterial, as classified on the City of El Paso's Major Thoroughfare Plan (MTP). None of the reviewing departments had adverse comments and the existing infrastructure is deemed appropriate for the proposed use.
4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development.	No impact is anticipated from the approval of the proposed special permit and detailed site development plan. The proposed development will adhere to zoning requirements based on the detailed site development plan and will not impose a risk to neighboring properties.
5. The design of the proposed development mitigates substantial environmental problems.	Yes. The subject property does not involve greenfield/environmentally sensitive land or arroyo disturbance.
6. The proposed development provides adequate landscaping and/or screening where needed.	Yes. The proposed development will be complying with landscaping standards and will screen the parking area from the street and neighboring properties.
7. The proposed development is compatible with adjacent structures and uses.	Yes. The subject property is located adjacent to a variety of commercial uses under the same C-4 (Commercial) zoning district.

COMPLIANCE WITH SPECIAL PERMIT REQUIREMENTS (El Paso City Code 20.04.320.D)	
8. The proposed development is not materially detrimental to the property adjacent to the site.	Yes. The proposed use and building design are compatible with surrounding properties. The structure's scale, architectural style and placement will complement the character of the existing development and maintain neighborhood consistency.

COMPLIANCE WITH <i>PLAN EL PASO</i> GOALS & POLICIES – When evaluating whether a proposed special permit is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Criteria	Does the Request Comply?
<p>Future Land Use Map: Proposed zone change is compatible with the Future Land Use designation for the property:</p> <p>G-2, Traditional Neighborhood: This sector includes the remainder of Central El Paso as it existing through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in the Comprehensive Plan.</p>	<p>Yes. The proposed development meets the intent of the G-2, Traditional Neighborhood (Walkable) Future Land Use designation by integrating with nearby commercial and residential uses. Main access to the proposed development is through a pedestrian sidewalk along Stanton Street, while secondary access will be provided for vehicles and pedestrians through a side entryway along Fourth Avenue. This prioritizes pedestrian connectivity and supports the walkable character of the area.</p>
<p>Compatibility with Surroundings: The current zoning district is compatible with those surrounding the site:</p> <p>C-4 (Commercial) District: The purpose of these districts is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities.</p>	<p>Yes. The property is located in an area comprising mostly of other C-4 (Commercial) zoning districts to the north, south and west as well as SRR (Specialized Residential Revitalization) districts to the east. The surrounding uses consist mostly of commercial retail.</p>
THE PROPOSED PROJECT'S EFFECT ON THE PROPERTY AND SURROUNDING PROPERTY, AFTER EVALUATING THE FOLLOWING FACTORS:	
<p>Historic District or Special Designations & Study Area Plans: Any historic district or other special designations that may be applicable. Any adopted small areas plans, including land-use maps in those plans.</p>	<p>The proposed development is not located within historic districts or study area plan boundaries.</p>
<p>Potential Adverse Effects: Potential adverse effects that might be caused by approval or denial of the request.</p>	<p>The proposed development is not anticipated to pose any adverse effects on the surrounding community as it is predominantly commercial.</p>
<p>Natural Environment: Anticipated effects on the natural environment.</p>	<p>The subject property does not involve any greenfield areas, environmentally sensitive land, or arroyo disturbance.</p>

COMPLIANCE WITH <i>PLAN EL PASO</i> GOALS & POLICIES – When evaluating whether a proposed special permit is in accordance with <i>Plan El Paso</i>, consider the following factors:	
Stability: Whether the area is stable or in transition.	The area is stable with no rezonings within the last 10 years.
Socioeconomic & Physical Conditions: Any changed social, economic, or physical conditions that make the existing zoning no longer suitable for the property.	The existing zoning will remain unchanged.

ADEQUACY OF PUBLIC FACILITIES, SERVICES AND INFRASTRUCTURE: The subject property has direct access to Stanton Street which is designated as a major arterial under the City of El Paso’s Major Thoroughfare Plan (MTP). The classification of this road is appropriate for the proposed development due to the existing infrastructure and services connecting commercial uses in the vicinity. Additionally, the subject property has quick access to the Stanton Bridge International Border Crossing which offers quick access to pedestrians and vehicles crossing to and from the international border. There are eleven (11) bus stops,) as well as one (1) El Paso Street Car stop within walking distance (0.25 miles). The closest bus stop is 0.06 miles away along Kansas Street. Sidewalks are currently present along Stanton Street and Fourth Avenue, as well as the majority of the surrounding area, providing primary access to the property. Secondary access will be from a proposed vehicular entranceway along Fourth Avenue that will exit through the rear alleyway. The alleyway will be improved and maintained for vehicular access.

SUMMARY OF DEPARTMENTAL REVIEW COMMENTS: No adverse comments were received from the reviewing departments. There is a portion of a roof canopy encroaching into the right-of-way which may require a special privilege. If any portion of the proposed building façade encroaches into the right-of-way, a special privilege will be required prior to the issuance of building permits.

PUBLIC COMMENT: The subject property lies within the bounds of three (3) recognized neighborhood associations including the El Paso Central Business Association, the Southside Neighborhood Association, and the Sunrise Civic Group Association. As of October 2, 2025, the Planning Division has not received any communication in support or opposition to the request.

CITY PLAN COMMISSION OPTIONS: The purpose of the Zoning Ordinance is to promote the health, safety, morals and general welfare of the City. The City Plan Commission (CPC) has the authority to advise City Council on Zoning matters. In evaluating the request, the CPC may take any of the following actions:

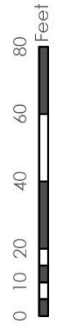
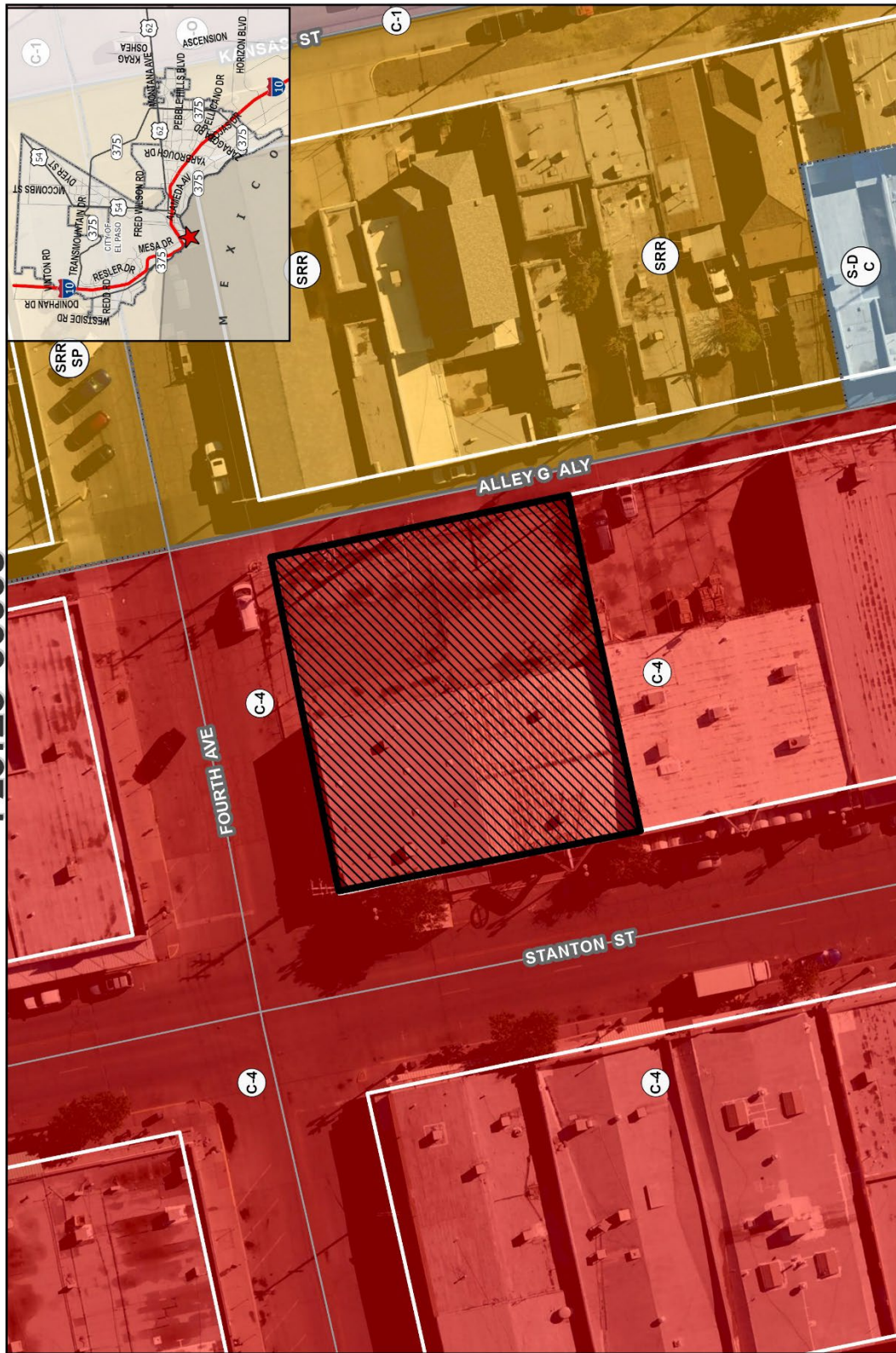
1. **Recommend Approval** of the special permit request, finding that the request is in conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or that the request is in conformance with other criteria that the CPC identifies from the Comprehensive Plan. **(Staff Recommendation)**
2. **Recommend Approval of the special permit request With Modifications** to bring the request into conformance with the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.
3. **Recommend Denial** of the special permit request, finding that the request does not conform to the review criteria of *Plan El Paso* as reflected in the Staff Report, or other criteria that the CPC identifies from the Comprehensive Plan.

ATTACHMENTS:

1. Zoning Map
2. Detailed Site Development Plan
3. Elevations
4. Parking Study
5. Department Comments
6. Neighborhood Notification Boundary Map

ATTACHMENT 1

PZST25-00008



Subject Property



This map is designed for illustrative purposes only. The features depicted here are approximate and more site-specific studies may be required to determine the exact location and boundaries of the property. The Planning & Inspection Department may lead to misinterpretations of the data. The Planning & Inspection Department makes no claim to its accuracy or completeness.

4. PARKING LOCATION AT THE REAR OF THE PROPERTY AND ACCESSIBLE BY THE ALLEY AND SIDE STREET.

EXISTING 35' H. POWER POLE

20' PAVED ALLEY
REPAIRING OF ALLEY IS REQUIRED AT THE TIME OF BUILDING AND GRADING PERMIT

NEW 6' H. ROCK WALL
NEW 6' H. SLIDING GATE
20'-0" DRIVEWAY WIDTH
1'-0"

EXISTING 35' H. POWER POLE

PAINTED TRAFFIC FLOW ARROWS
NEW 6' H. ROCK WALL
NEW PARKING TREE. SPECIE TO BE NOTED DURING PERMITTING.
TRAFFIC EXIT SIGN
4" THICK CONCRETE PAD
3-BICYCLE RACK, 35' FROM NEAREST DOOR
GRAVEL SCREENING AREA DEPICTED IN GREEN HATCH (LANDSCAPE AREA)

NEW PARKING TREE. SPECIE TO BE NOTED DURING PERMITTING.

NEW 6' H. ROCK WALL
NEW 6' H. SLIDING GATES
ONE-WAY TRAFFIC FLOW
NEW 6' H. SLIDING GATES
212' FROM HYDRANT #997
188' FROM HYDRANT
13'-3"
77'-4"
13'-5"

NEW 40.5 S.F. ADDITION FOR RISER ROOM

(PROJECT LOCATION)

600 S. STANTON ST.
EL PASO, TX 79901
6,232 S.F.
SINGLE STORY BUILDING

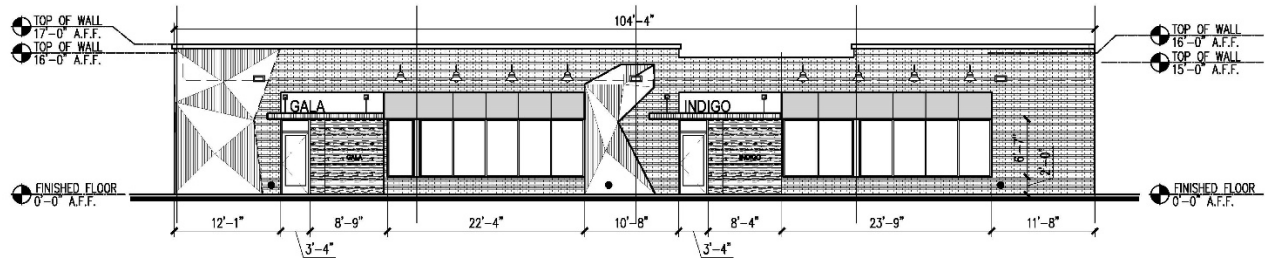
EXISTING 25' H. LIGHT POLE
EXISTING CANOPY TO BE REFURBISHED
EXISTING CANOPY TO BE REFURBISHED
EXISTING 25' H. LIGHT POLE

EXISTING SIDEWALK
EXISTING PARKWAY

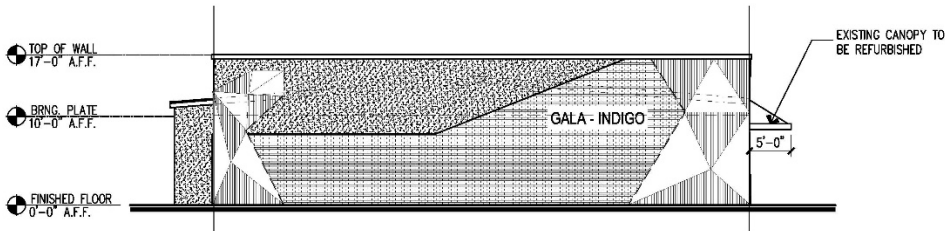
225' FROM HYDRANT

STANTON STREET

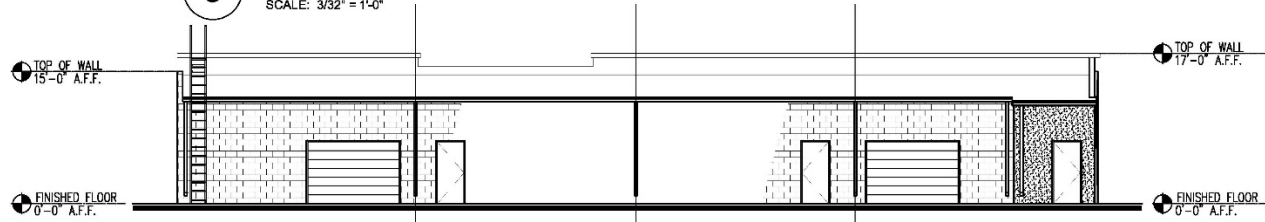
ATTACHMENT 3



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



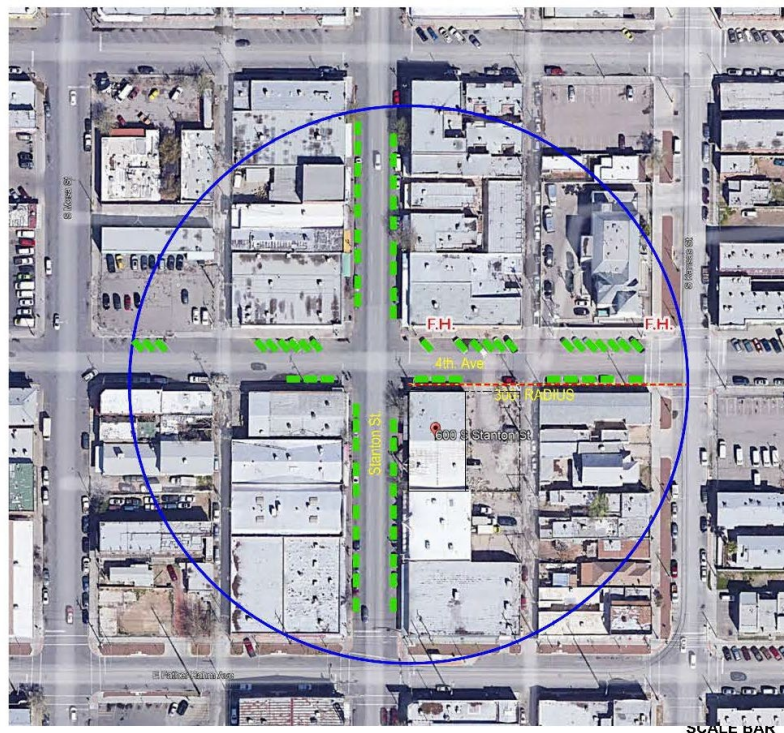
3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
SCALE: 3/32" = 1'-0"

ATTACHMENT 4

PARKING SURVEY MAY-31-2025					
TIME	STANTON 37 TOTAL AVAILABLE	4 th . AVENUE 33 TOTAL AVAILABLE			TOTAL 70 AVAILABLE
7 AM	32	18			50
8 AM	18	15			33
9 AM	16	12			28
10 AM	12	11			28
11 PM	10	11			21
12 PM	8	10			18
1 PM	8	9			17
2 PM	6	9			15
3 PM	6	9			15
4 PM	12	11			23
5 PM	17	12			29
6 PM	28	15			43
7 PM	32	18			50
TOTAL AVRG.	16	12			28
AVERAGE AVAILABLE					28



ATTACHMENT 5

Planning and Inspections Department - Planning Division

Staff recommends **APPROVAL** of the special permit for infill development and reduction of setbacks and parking in the C-4 (Commercial) zone district. The proposal meets all the requirements of El Paso City Code Sections 20.04.320 – Special Permit, 20.04.150 – Detailed Site Development Plan, and 20.10.280 – Infill Development. The proposed development is consistent with *Plan El Paso*, the City’s adopted Comprehensive Plan.

Planning and Inspections Department – Plan Review & Landscaping Division

No comments or objections to the proposed special permit request.

Planning and Inspections Department – Land Development

No objections to the proposed detailed site development plan.

Fire Department

No adverse comments.

Police Department

No comments received.

Environment Services

No comments received.

Streets and Maintenance Department

Transportation Engineering

No objections to the application. Parking study approved.

Traffic Division

We have communication lines at these locations: Contractor shall Email copy of 811 tickets to: LINESPOTS@ELPASOTEXAS.GOV and PAVEMENTCUT@ELPASOTEXAS.GOV, to schedule this work with the City of El Paso, Texas Traffic Signals line spotter’s staff.

Street Lights Department

Street Lights Department does not object to this request.

Stanton St. or US-85 or US-62 is a Texas Department of Transportation (TXDOT) right-of-way (ROW). Street Lights Department requires that all projects that involve a roadway are to be evaluated for lighting requirements based on the City of El Paso Street Design Manual (SDM) and the Design Standards for Construction (DSC) according to City of El Paso Codes (cited below). While developing a project or construction area the existing street illumination system shall be protected and preserved. Complete survey for street illumination system shall be shown on plans. Any change on existing street illumination systems shall be coordinated with Street Lights Department.

For the development of a project a complete set of plans shall be submitted to Street Lights Department for review showing the minimum requirements for street illumination proposals**. The submission shall contain but shall not necessarily be limited to plans indicating the location on the premises of all lighting fixtures, both proposed and existing on the site***. The description of all lighting fixtures, both proposed and existing. Photometric data. Plans shall show street illumination design and details. El Paso city code is applicable to this process, Street Design Manual (SDM)* and any other applicable standards or requirements of the city.

City of El Paso Codes to be followed:

*Title 19 - 19.16.010 - Streetlighting.

****18.18.190 – Submission contents.**

***** 19.02.040 Criteria for approval.**

Contract Management Section

Indicate that any infrastructure that is on city right of way must be done as per Design Standards for Construction and Municipal Code.

Indicate that any damaged structure must be restored to same or better condition, this goes for asphalt, concrete, manholes, or water valves.

Ensure that driveways comply with Municipal Code Chapter 13.12

When installing sidewalks, ensure compliance with Municipal Code Chapter 19.21 governing sidewalks and Chapter 13.04.020 specifying sidewalk standards.

Sun Metro

No comments received.

El Paso Water

EPWater-PSB does not object to this request.

There is an existing 8-inch diameter water main that extends along Stanton Street, this main is located approximately 45-feet west of the property. This main is available to provide service.

There is an existing 6-inch diameter water main that extends along Fourth Avenue, this main is located approximately 72-feet north of the property. This main is available to provide service.

There is an existing 4-inch diameter water main that extends along the alley G Aly between Kansas street and Stanton Street. This main is located approximately 14.5-feet east of the property. This main is available to provide service.

Previous water pressure reading from fire hydrant #1001, located on the northeast corner of Stanton Street and Fourth Avenue has yielded a static pressure of 96 psi, a residual pressure of 94 psi, and a discharge flow of 1,501 gallons per minute. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer, and relief valve, to be set for pressure as desired by the customer. The lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

EPWater records indicate an active ¾ -inch water meter serving the subject property. The service address for this meter is 600 S. Stanton Street.

Sanitary Sewer

There is an existing 8-inch diameter sanitary sewer main that extends along the alley G Aly between Kansas street and Staton Street. This main is located approximately 10-feet east of the property. This main is available to provide service.

General

EPWater-PSB requires a new service application to provide additional service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater-PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Stormwater:

EPWater-SW has reviewed the proposed plans and has no objections.

El Paso County 911 District

The 911 District has no comments or concerns regarding this special permit.

Texas Department of Transportation

No comments received.

El Paso County Water Improvement District #1

No comments received.

Texas Gas Service

In reference to case PZST25-00008 - 600 S. Stanton St., Texas Gas Service has 2 service lines at 600 & 604 S Stanton St.

Disclaimer: Texas Gas Service does not allow permanent structures nor trees to be installed on top of TGS gas mains or service lines. If a conflict is anticipated, the developer, contractors or owner representative should contact TGS to relocate the gas main and/or service at the developer's expense.

El Paso Electric

We have no comments for 600 South Stanton Street.

ATTACHMENT 6

PZST25-00008



Subject Property
300 Feet Notice Area
Notified Properties



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